



### Central Services Facility

313-267-8000 • [detroitmi.gov/DWSD](https://detroitmi.gov/DWSD)

## Date:

	Name	Title	Signature	Date
Reviewed by:			Mohammad Siddique	
Approved by:			Mohammad Siddique For Syed Ali	



## PROVISIONS FOR ENCROACHMENT

1. By approval of this petition the Detroit Water and Sewerage Department (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing, or inspection by DWSD shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hour notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
3. Construction under this petition is subject to inspection and approval by DWSD. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
4. DWSD prohibits the use of heavy construction equipment or the storage of building material directly over or near DWSD facilities. DWSD also prohibits the use of cranes and balls or hydraulic rams for pavement removal where DWSD facilities are involved. If the water main or sewer facilities are broken or damaged as a result of any action on the part of the contractor, the contractor shall be liable for all costs incidental to the repair of such broken or damaged water main or sewer facilities. If DWSD facilities located within the street shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
5. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.
6. If at any time in the future the petitioner shall request removal and / or relocation of DWSD's facilities in the street being encroached upon, the petitioner agrees to pay all costs for such removal and/or relocation.
7. Prior to construction, Easement Encroachment Permit (EEP) should be obtained and the insurance required by the EEP should not expire until after completion of the construction.
8. For any proposed work that involves DWSD water mains and/or sewers, an approval and a permit is required from DWSD before commencement of work.
9. It is DWSD's requirement that any proposed utility crossing DWSD water mains and/or sewers perpendicularly must maintain a minimum of 18 inches vertical clearance. Any proposed utility running adjacent to DWSD water mains and/or sewers must maintain a minimum of 10 feet lateral clearance including any conduit and/or manholes walls. No utility is allowed to run along the top of the water main or/or sewer.
10. It is DWSD's requirement that no encroachment has a vertical clearance of less than 16 feet from the ground surface over DWSD water mains and/or sewers.



Ian Redmond, Owner  
Galavant Spirits  
15411 East Warren Avenue  
Detroit, MI 48224  
(734) 658-9185

March 18<sup>th</sup>, 2025

Attn: Raven Wright  
City of Detroit  
Public Works Department: City Engineering Division  
Coleman A. Young Municipal Center  
2 Woodward Avenue  
Suite 611  
Detroit, MI 48226

RE: Encroachments into 15411 East Warren Avenue Public Right-of-Way

Ms. Wright:

It is my intention to renovate my building addressed to 15411 East Warren Avenue. The existing structure sits atop the southern property line. The following exterior improvements will cross the property line, and encroach into the Public Right-of-Way:

- An 8" tall by 12'-0" long Mapes awning, which will project 2'-1" into the Public Right-of-Way along E. Warren Ave. at 9'-5" above the walking surface.
- Building signage at 2'-10" tall by 9'-7 1/4" wide, composed of internally lit channel letters on an electrical raceway, and will project 8" into the Public Right-of-Way, and be situated 11'-4" above the finished walking surface.
- A Fire Department Connection will be installed on the Southern façade, adhering to City of Detroit Standards, and cross into the Public Right-of-Way
- 5'-0" tall custom planters will not be installed at this time; but in the future, I would like to have fabricated and install (3) 3'-0" long planters that would project 1'-1" into the Public Right-of-Way.

There is an existing gas meter on the south side of the building, which will remain, and currently encroaches +/-9" into the Public Right-of-Way, Installed and maintained by DTE Energy.

It is my understanding that should any future work require the removal of the canopy structure, building signage or planters within the East Warren Avenue Public Right-of-Way, It will be my responsibility, as the property owner, to cover the cost of removal and reinstallation of the encroaching element(s).

Thank you for your consideration in this matter.



Ian Redmond



15411 East Warren Avenue



4/25/2025

Transmission System Mains - GLWA

Active Water Main

Transmission System Valves - GLWA



Blowoff



Gate

Tapping Sleeve



Distribution System Hydrant

Distribution System Main

Active



Wastewater Catch Basin



Wastewater Manhole



Wastewater Fitting



Bend/Slope Change



Blind Connection



Material/Size Change



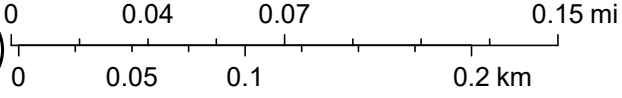
Crown/Main Point



Wastewater Gravity Main



Active



DWSD, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



# 15411 East Warren Avenue



4/25/2025, 10:33:04 AM

Wastewater Catch Basin (DWSD)

Wastewater Manhole (DWSD)

Wastewater Fitting (DWSD)

Bend/Slope Change

Blind Connection

Material/Size Change

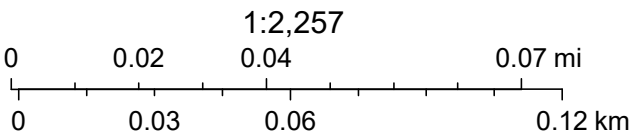
Crown/Main Point

Wastewater Gravity Main (DWSD)

Active

Parcels (Current)

DWSD Wastewater Flow Direction



Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



# 15411 East Warren Avenue



4/25/2025, 10:41:43 AM

Distribution System Main

Active

Distribution System Fitting

Bend



Cross



Coupling



Tee

Distribution System Valve

Gate

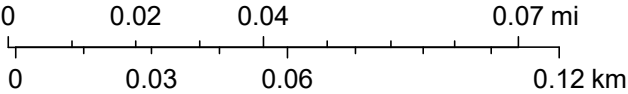
Hydrant

Distribution System Hydrant



DWSD

1:2,257



DWSD, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

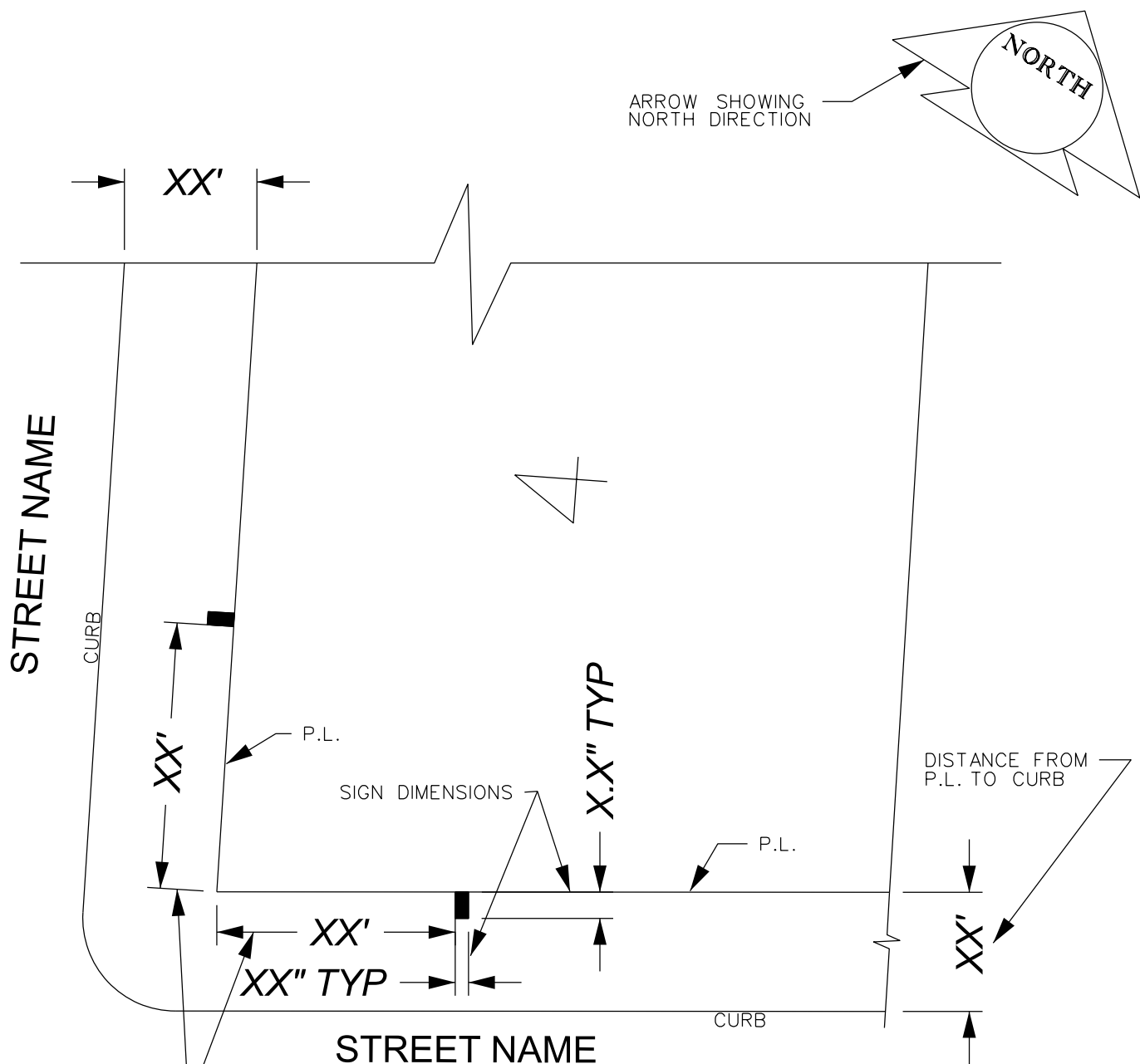










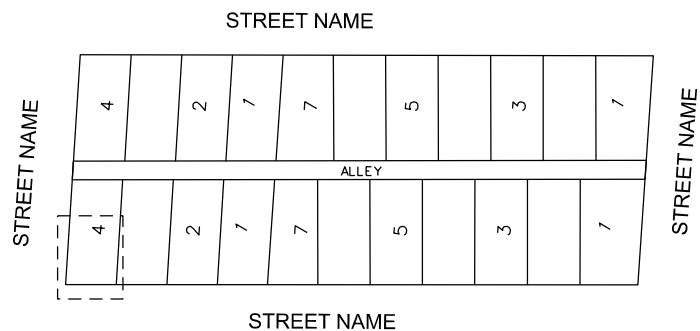


DISTANCE FROM SIGN TO PROPERTY LINE (P.L.)

NOTE: Describe Business Sign(s) (X' Length, X' Width, X' Height, X' Above Grade). Show distances from property lines and other on-street features such as street signs, light poles, fire hydrants, etc. that are located in the proposed encroachment area.



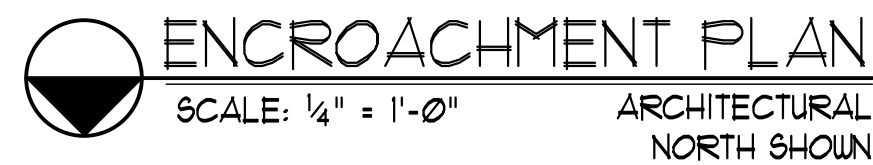
- REQUEST ENCROACHMENT



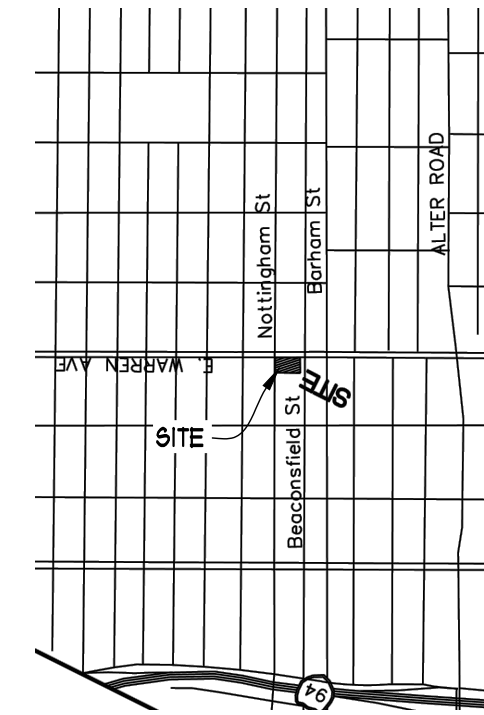
SAMPLE  
BUSINESS SIGN SKETCH



15411 EAST WARREN AVENUE,  
DETROIT, MI 48224



LOCATION MAP BACKGROUND  
PROVIDED BY STOREY  
ENGINEERING GROUP, LLC,  
PROJECT NO. 2023-007, DATED  
JANUARY 4, 2024.



SUBJECT TO EASEMENTS, RESERVATIONS, USE, BUILDING AND OTHER RESTRICTIONS OF  
RECORD, IF ANY



AN REDMOND  
ALAVANT SPIRITS  
411 EAST WARREN AVE.  
ETROIT, MI 48224

411 EAST WARREN AVE.  
DETROIT, MI 48224

03/10
$$A = \begin{pmatrix} 0 & 0 & 1 \end{pmatrix}$$



LEGAL DESCRIPTION (AS PROVIDED)

(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, AND STATE OF MICHIGAN, PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL A:  
LOTS 268 THROUGH 272, BOTH INCLUSIVE, AND THE WEST 5 FEET OF LOT 273, NOTTINGHAM SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 38, PAGE 26 OF PLATS, WAYNE COUNTY RECORDS.

PARCEL B:  
EAST 20 FEET OF LOT 104, AND ALL OF LOTS 105, AND 106. MOORE AND MOESTA'S SUBDIVISION AS RECORDED IN LIBER 38, PAGE 29, OF PLATS, WAYNE COUNTY RECORDS.

TAX PARCEL NO.: 1021002804-5 & 1021002806-9  
COMMONLY KNOWN AS: 15411 & 15435 EAST WARREN AVENUE, DETROIT, MI 48224

SUBJECT TO EASEMENTS, RESERVATIONS, USE, BUILDING AND OTHER RESTRICTIONS OF RECORD, IF ANY

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°23'57.03", LON: 82°56'58.33"W, ELEV: 597, SCALE FACTOR: 1.00008589).

UTILITY REFERENCES

WM: CITY OF DETROIT  
RECEIVED: (NO RESPONSE)

SAN: CITY OF DETROIT  
RECEIVED: (NO RESPONSE)

STORM: CITY OF DETROIT  
RECEIVED: (NO RESPONSE)

GAS: DTE ENERGY  
RECEIVED: 01/03/2024

ELEC: DTE ENERGY  
RECEIVED: (NO RESPONSE)

ELEC: DETROIT PUBLIC LIGHTING  
RECEIVED: (NO RESPONSE)

PHONE: AT&T  
RECEIVED: 01/02/2024

FIBER: NEXTEL COMMUNICATIONS  
RECEIVED: (NO RESPONSE)

BENCHMARKS

DATUM: NAVD88

TO ACHIEVE CITY OF DETROIT DATUM, SUBTRACT 479.60 FROM NAVD88

BM A: TOP OF NAIL IN NORTHWEST SIDE UP, 38'± NORTH OF NORTHWEST CORNER OF BUILDING # AND 3'± EAST OF BEAONSFIELD STREET  
ELEV = 596.65

BM B: TOP OF COVER OF NORTHWEST BOLT ON BASE OF LIGHT POLE MARKED X, 46'± SOUTH AND 61'± EAST OF SOUTHEAST CORNER OF BUILDING #15411  
ELEV = 595.90

BM C: IUD OF DETROIT CITY BENCHMARK MONBOX CEMENTED SHUT, 11'± NORTH OF THE NORTH CURB OF WARREN AVENUE AND 9'± EAST OF THE EAST CURB OF NOTTINGHAM ROAD  
ELEV = 595.37

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50000) MH	596.28	12" SW IE = 580.24 12" NE IE = 580.33 10" W IE = 584.06
(50001) CBS	596.33	NO VISIBLE PIPES BOTTOM=591.82
(50040) CBS	594.61	NO VISIBLE PIPES BOTTOM=590.21
(50100) CBS	594.46	NOT INVENTORIED AT TIME OF SURVEY
(50158) MH	595.74	FILLED WITH WATER AT TIME OF SURVEY
(50185) MH	595.18	24" SE IE = 585.66 24" NW IE = 585.48 12" NE IE = 588.68
(50296) CBS	595.95	FILLED WITH DIRT AT TIME OF SURVEY
(50370) CBS	595.08	NO VISIBLE PIPES BOTTOM=590.08
(50378) MH	595.79	MH ASPHALTED OVER AT TIME OF SURVEY

SITE INFORMATION:

- The project is a 2,105 sf Small Distillery with "consumption on the premises" with small kitchen & outdoor dining. The outdoor dining area is 125 sf. The site is located at 15411 E Warren Avenue in the B4 District (GENERAL BUSINESS).
- Parcel A Site Area = 6,600 sf = 0.1515 ac.  
Parcel B Site Area = 10,999.84 sf = 0.2525 ac.  
Total Land Area = 17,599.84 sf = 0.404 ac.
- Parking Calculations:  
REQUIRED PARKING: 3 PLUS 1/100 SF FOR EACH 100 SF IN EXCESS OF 1,000 SF PLUS ONE SPACE PER 100 SF OF OUTDOOR SEATING AREA = 3 + (2,105-1,000)/100 + 125/100 = 15 TOTAL SPACES REQUIRED (Note: Outdoor Seating Area = 125 sf)  
PROVIDED PARKING: 1 VAN ACCESSIBLE BARRIER FREE SPACE + 12 STANDARD SPACES + 3 ON STREET SPACES + 4 BIKE PARKING SPACES = 20 TOTAL SPACES PROVIDED

Notes: 1) Standard Spaces are 18' + 2' overhang = 20' Long x 9' Wide  
2) Barrier Free Spaces are 18' + 2' overhang = 20' Long x 8' Wide w/8' wide adjacent access aisle.

ON-SITE PAVING QUANTITIES:

4" CONCRETE SIDEWALK	3,668 SF
4" HEAVY DUTY ASPHALT ON 8" MDOOT 21AA AGG.	27,099 SF
18" WIDE CONC CURB + GUTTER	1,514 LF
TRASH ENCLOSURE	1 EA
HEAVY DUTY TRASH ENCLOSURE CONCRETE	206 SF

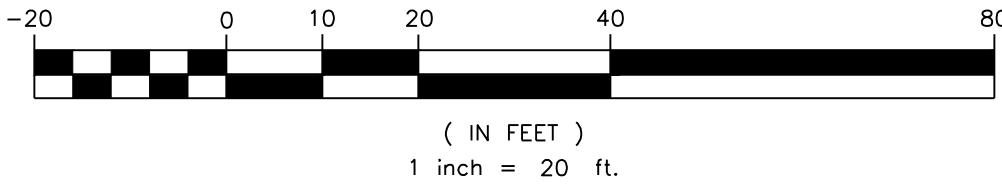
SIGN + RAMP NOTE KEY:

1 PROVIDE BARRIER FREE PARKING SIGN.  
REFER TO DETAIL ON SHEET C-7.1

A PROVIDE CURB RAMP TYPE "A".  
REFER TO DETAIL ON SHEET C-7.2.

NOTE:  
ALL RAMPS SHALL BE PROVIDED WITH ADA DETECTABLE WARNING PLATE, REFER TO DETAIL SHEET.

GRAPHIC SCALE

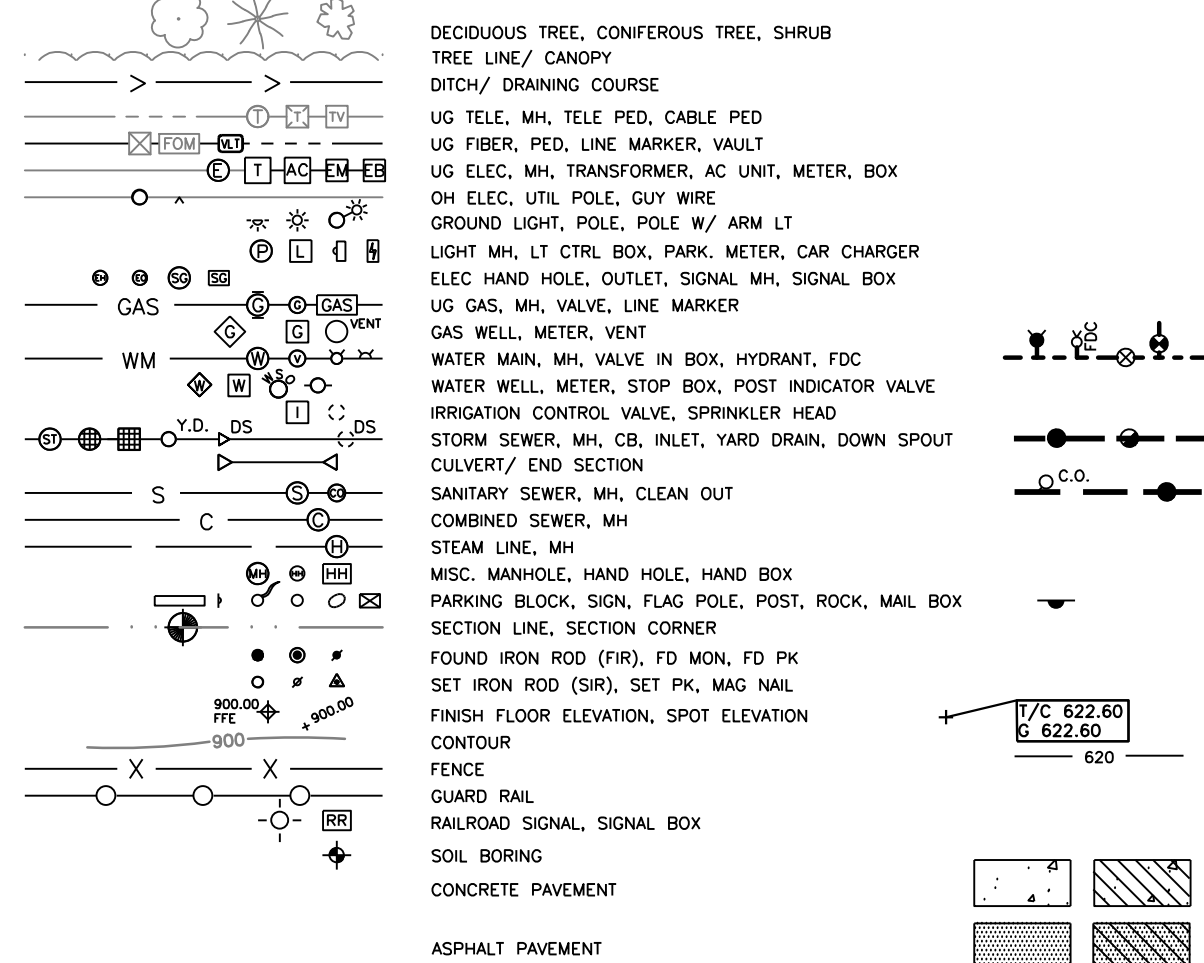


GENERAL NOTES:

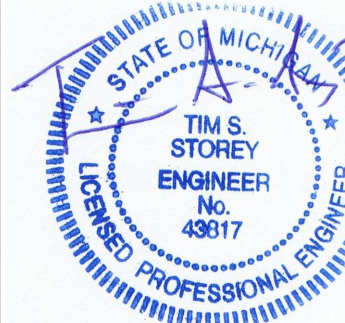
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS SITE.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEETS C-7.1 & C-7.2 FOR PAVING & SIDEWALK DETAILS.
- "NO PARKING FIRE LANE" SIGNS SHALL BE POSTED AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT, WAYNE COUNTY AND MDOOT CURRENT STANDARDS AND REGULATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE CITY AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET, ALLEY OR HIGHWAY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS, FIRE HYDRANTS, ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY AS AN ADDITIONAL COST.

EXISTING LEGEND



LOCATION MAP  
NOT TO SCALE



CAUTION!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN BY THE ENGINEER AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING BUT NOT LIMITED TO: THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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811  
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www.storey-engineering.com

GALAVANT SPIRITS  
15411 E WARREN AVE.  
DETROIT, MI 48224

SITE DIMENSION + PAVING PLAN  
GALAVANT SPIRITS  
15411 E WARREN AVE  
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

DES.	TSS	DN.	TSS	SUR.	AMP.	P.M.

8-1502-0023 PROJ-03-2023-007 GALAVANT SPIRITS - 15411 E WARREN AVE - DETROIT, MI 48224

ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER:

C-3.0



(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

PARCEL A:  
LOTS 268 THROUGH 272, BOTH INCLUSIVE, AND THE WEST 5 FEET OF  
LOT 273, NOTTINGHAM SUBDIVISION, ACCORDING TO THE PLAT  
THEREOF, AS RECORDED IN LIBER 38, PAGE 26 OF PLATS, WAYNE  
COUNTY RECORDS.

TAX PARCEL NO.: 1021002804-5 & 1021002806-9  
COMMONLY KNOWN AS: 15411 & 15435 EAST WARREN AVENUE,  
DETROIT, MI 48224

BEARING REFERENCE

## UTILITY REFERENCES

FIBER: NEXTEL COMMUNICATIONS  
RECEIVED: (NO RESPONSE)

DATUM: NAVD88

BM C: LID OF DETROIT CITY BENCHMARK MONBOX CEMENTED SHUT  
11'± NORTH OF THE NORTH CURB OF WARREN AVENUE AND 9'± EAST  
OF THE EAST CURB OF NOTTINGHAM ROAD  
ELEV = 595.37

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(50000) MH	596.28	12" SW IE = 580.24 12" NE IE = 580.33 10" W IE = 584.06
(50001) CBS	596.33	NO VISIBLE PIPES BOTTOM=591.82
(50040) CBS	594.61	NO VISIBLE PIPES BOTTOM=590.71
(50100) CBS	594.46	NOT INVENTORIED AT TIME OF SURVEY
(50158) MH	595.74	FILLED WITH WATER AT TIME OF SURVEY
(50185) MH	595.18	24" SE IE = 585.66 24" NE IE = 585.48 12" NE IE = 588.68
(50296) CBS	595.95	FILLED WITH DIRT AT TIME OF SURVEY
(50370) CBS	595.08	NO VISIBLE PIPES BOTTOM=590.08
(50378) MH	595.79	MH ASPHALTED OVER AT TIME OF SURVEY

DECIDUOUS TREE, CONIFEROUS TREE, SHRUB  
 TREE LINE/ CANOPY  
 DITCH/ DRAINING COURSE  
 UG TELE. MH, TELE PED, CABLE PED  
 UG FIBER, PED, LINE MARKER, VALVE  
 UG ELEC. MH, TRANSFORMER, ACUNT, UETER, BOX  
 OH ELEC. UTIL. POLE, GUY W/ ARM LT  
 GROUND LIGHT, POLE, POLE W/ ARM LT  
 LIGHT MH, LT, CTR. BOX, PARK. METER, CAR CHARGER  
 ELEC. HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX  
 UG GAS, MH, VALVE, LINE MARKER  
 GAS WELL, METER, VENT  
 PIREMAN MANH. MH, VALVE IN BOX, HYDRANT, FDC  
 WATER WELL, METER, STOP BOX, POST INDICATOR VALVE  
 IRRIGATION CONTROL VALVE, SPRINKLER LEAD  
 STORM SEWER, MH, CB, INLET, YARD DRAIN, DOWN SPOUT  
 CULVERT/ END SECTION  
 SANITARY SEWER, MH, CLEAN OUT  
 COMBINED SEWER, MH  
 STEAM LINE, MH  
 WSC. MANHOLE, HAND HOLE, HAND BOX  
 PARKING BLOCK, SIGN, FLAG POLE, POST, ROCK, MAIL BOX  
 SECTION LINE, SECTION CORNER  
 FOUND IRON ROD (FIR), FD MON, FD PK  
 SET IRON ROD (SIR), SET PK, MAG MAIL  
 FINISH FLOOR ELEVATION, SPOT ELEVATION  
 CONTOUR  
 FENCE  
 GUARD RAIL  
 RAILROAD SIGNAL, SIGNAL BOX  
 SOIL BORING  
 CONCRETE PAVEMENT  
 ASPHALT PAVEMENT

## PROPOSED

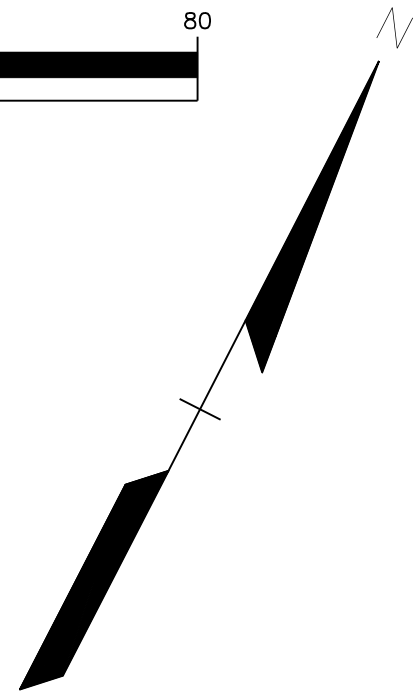
**GENERAL UTILITY NOTES:**

1. ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF DETROIT. REFER TO DETAIL SHEETS C-7.1 AND C-7.2 FOR ADDITIONAL INFORMATION.
2. THE CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWER DEPARTMENT AT (313) 833-4682 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION ON THE SEWER AND WATER SYSTEMS.
3. ALL SANITARY SEWER & STORM LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3034 UNLESS OTHERWISE NOTED. MINIMUM PIPE SLOPE IS 1.04%.
4. ANY NECESSARY CLEANOUTS SHALL BE PROVIDED WITH METAL BOXES (EJW #1565 OR EQUAL). REFER TO SHEET C-7.1 FOR SEWER CLEANOUT DETAIL.
5. PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF DETROIT. CONTRACTOR SHALL ALLOW FOR SUBMITTING PLANS TO ENGINEERING/DPW/RIGHT OF WAY/DWSD/PARKING DEPARTMENTS FOR FINAL APPROVAL AND ISSUANCE OF PERMITS.
7. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5') DEGREE BENDS, PROPERLY ANCHORED.
8. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
9. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET TO THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
10. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
11. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
12. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY/COMBINED SEWER OR STRUCTURE.
13. ALL WATER SERVICES 2" AND SMALLER SHALL BE TYPE K COPPER. WATER LINES 3" AND LARGER SHALL BE DUCTILE IRON WATER MAIN, CLASS 54.
14. ALL STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF DETROIT STANDARDS. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR PRIOR TO CONSTRUCTION TO CONFIRM THAT ALL MATERIALS ARE IN ACCORDANCE WITH CITY REQUIREMENTS.

GRAPHIC SCALE



( IN FEET )  
inch = 20 ft.



LOCATION MAP  
NOT TO SCALE

### UTILITY CROSSING INFORMATION

- ① PR 3" ST B/P=592.10  
EX 6" SAN T/P=590.10±  
CLEARANCE=2.00"  
(FIELD VERIFY EXACT DEPTH OF  
SANITARY SEWER LEAD  
PRIOR TO CONSTRUCTION)
- ② PR 8" ST T/P=588.30  
EX GAS LINE B/P=594.20±  
CLEARANCE=5.90"
- ③ EX 4" WM T/P=590.05  
EX GAS LINE B/P=594.05±  
CLEARANCE=4.00"
- ④ EX 4" WM T/P=590.01  
EX GAS LINE B/P=594.01±  
CLEARANCE=4.00"
- ⑤ PR 2" WM T/P=590.05  
EX GAS LINE B/P=594.05±  
CLEARANCE=4.00"
- ⑥ PR 2" WM T/P=590.01  
EX GAS LINE B/P=594.01±  
CLEARANCE=4.00"

A circular blue ink seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the text "TIM S. STOREY", "ENGINEER", and "No. 49817". There are handwritten initials "TAS" in blue ink over the seal.

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN CONFORMANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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**GALAVANT SPIRITS**  
 15411 E WARREN AVE.  
 DETROIT, MI 48224

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**UTILITY PLAN**

**GALAVANT SPIRITS**  
 15411 E WARREN AVE  
 DETROIT, WAYNE COUNTY, MI

ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. No. 2023-007

SCALE: 1" = 20'

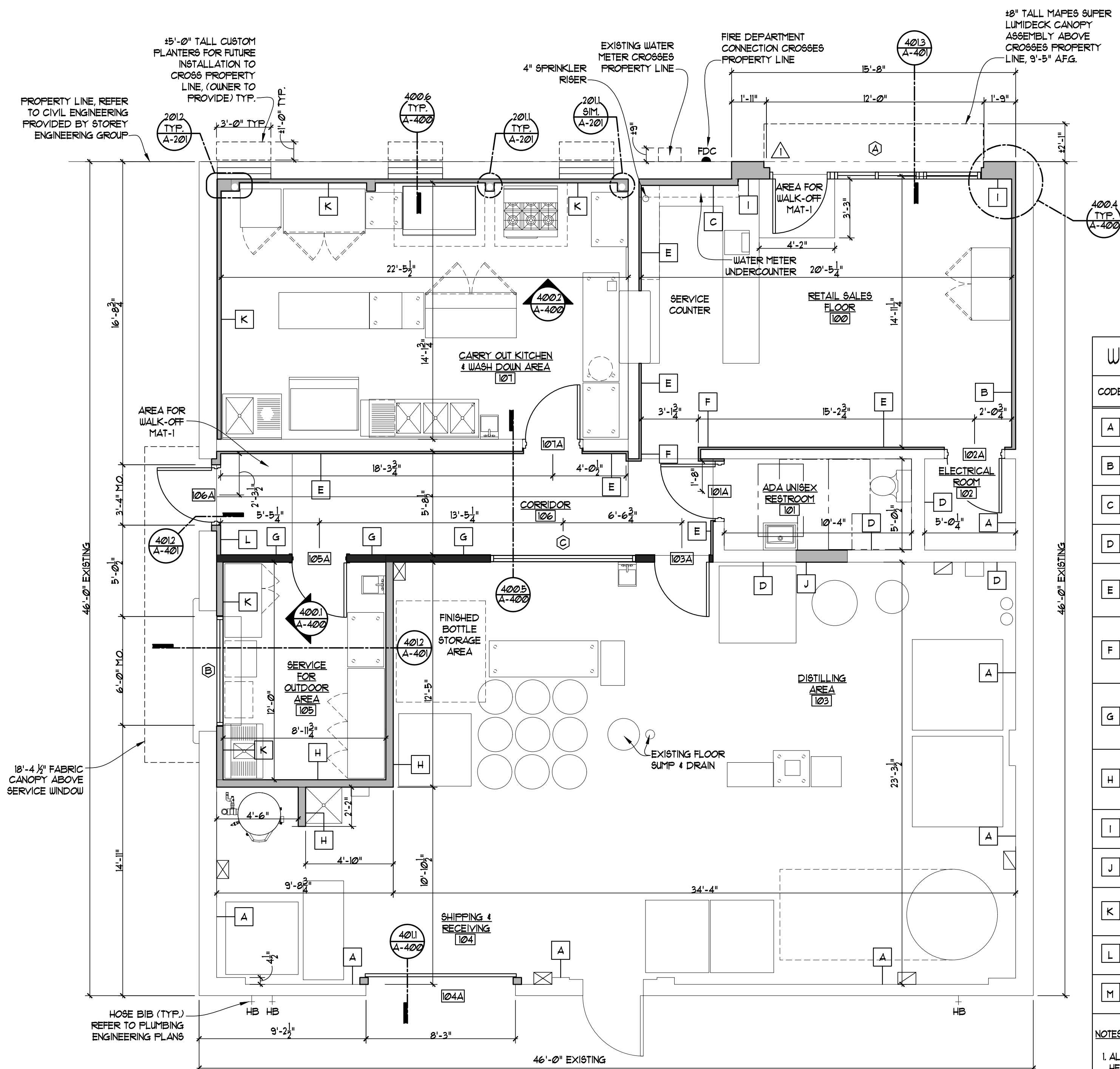
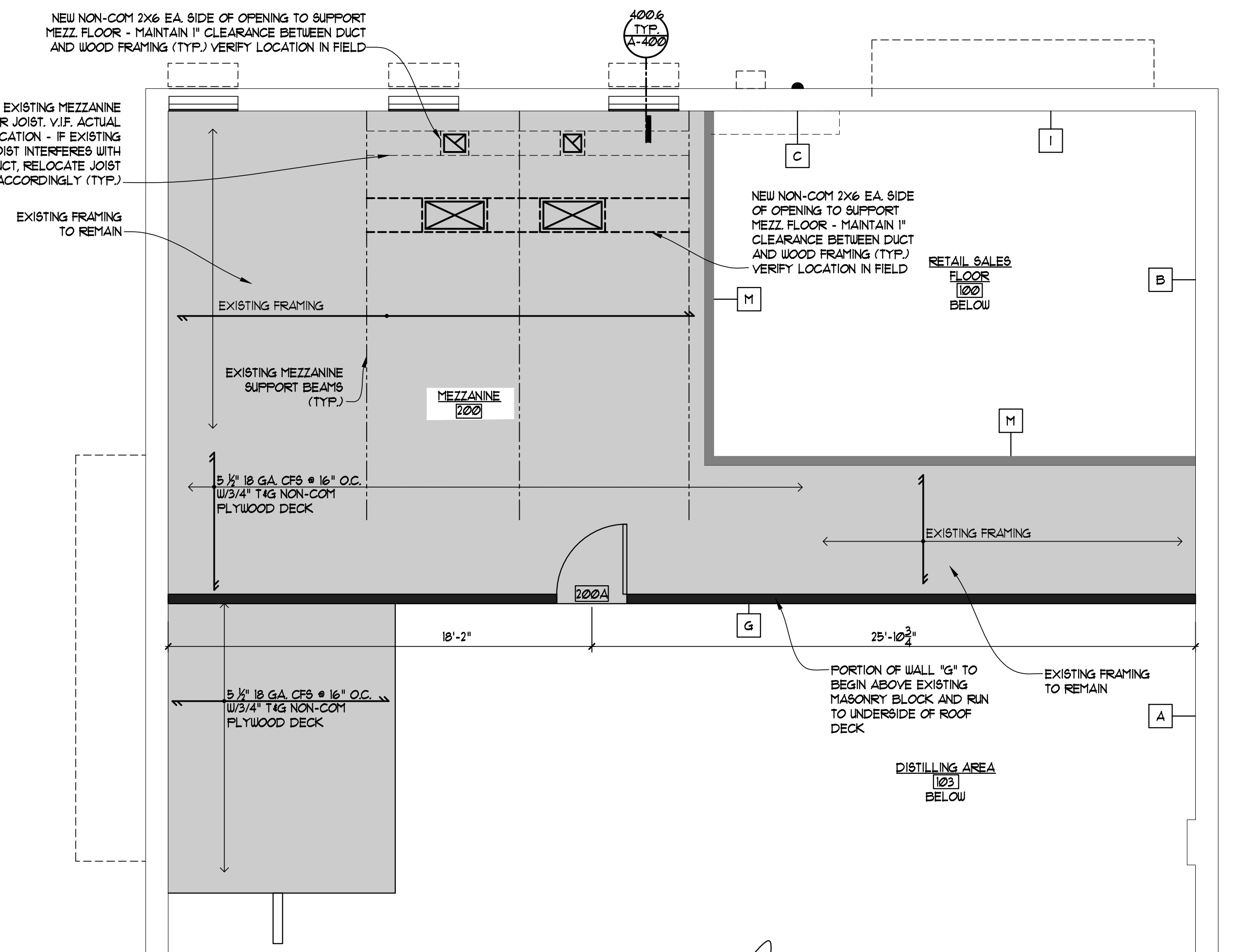
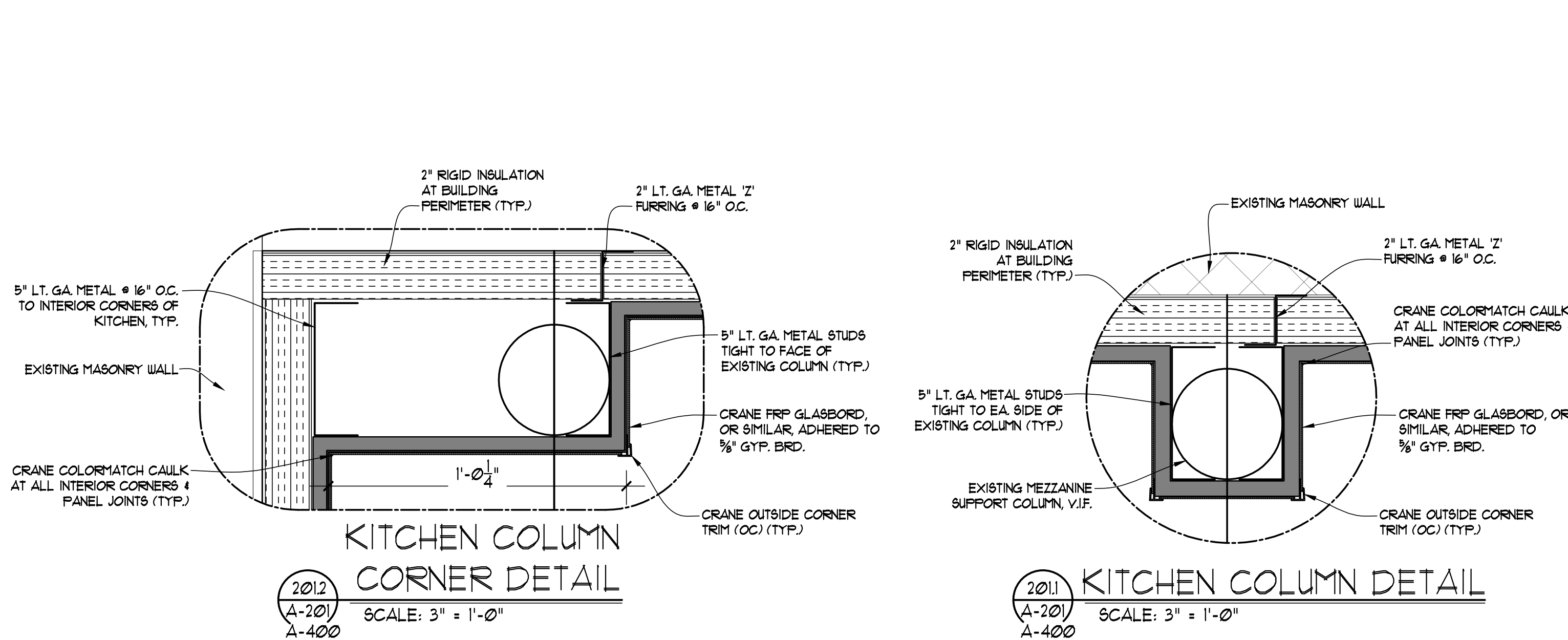
DRAWING NUMBER:

C-5.0

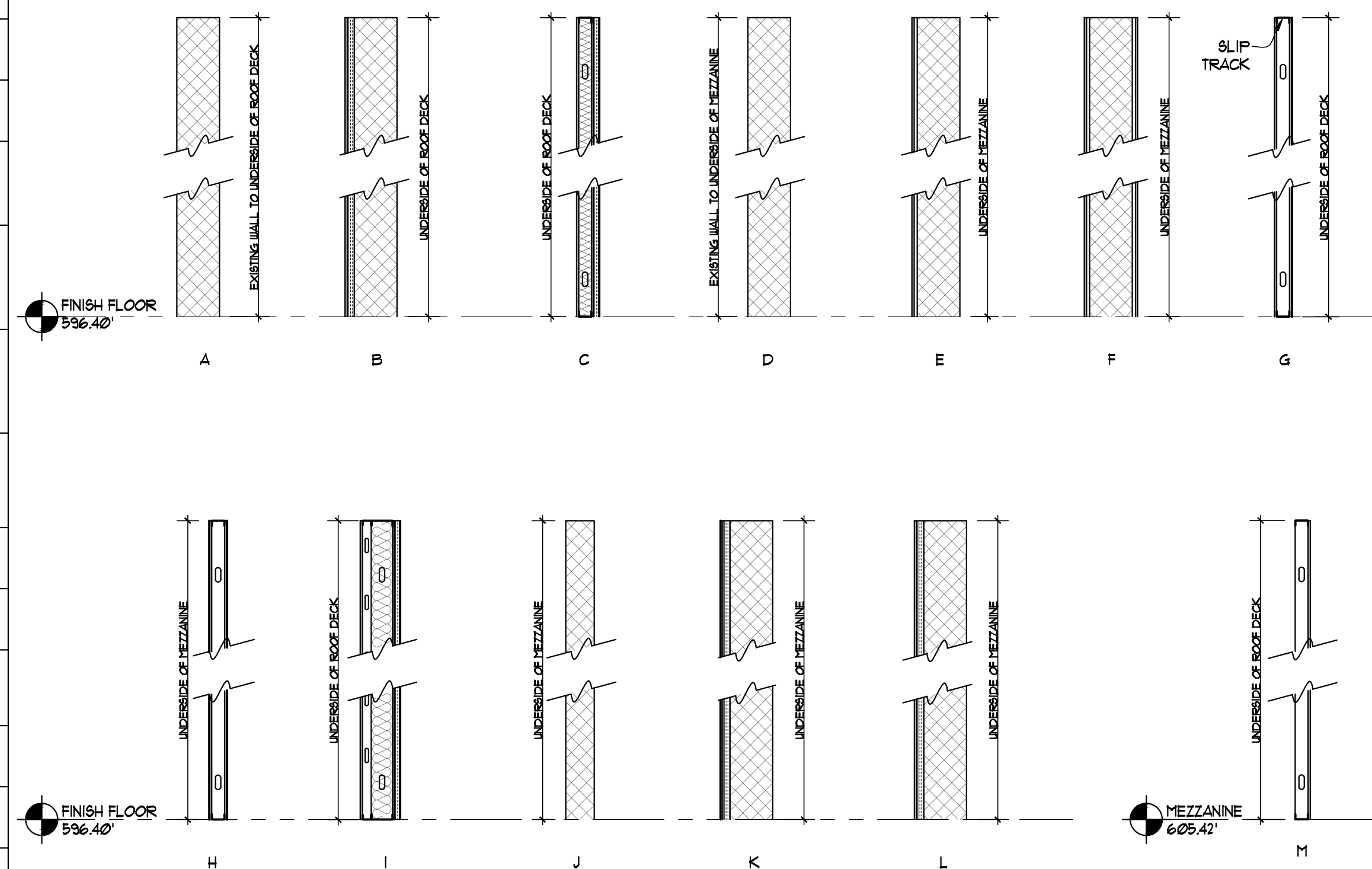
## REVISIONS

DES:	QTY:	UNIT:	AMT:	TOTAL:
DES:	QTY:	UNIT:	AMT:	TOTAL:





WALL TYPES	
CODE	DESCRIPTION
A	EPOXY PAINT EXISTING CMU BLOCK WALL
B	3/4" GYP. BOARD, PTD. 2" Z-FURRING STRIPS W/ RIGID INSULATION EXISTING CMU BLOCK WALL
C	3/4" GYP. BOARD, PTD. 3 3/8" LT. GA. METAL STUDS W/ R-20 INSULATION STO THERM CI GFS EIFS
D	EPOXY PAINT EXISTING CMU BLOCK WALL EPOXY PAINT
E	3/4" GYP. BOARD, PTD. 3/4" HAT CHANNELS EXISTING CMU BLOCK WALL EPOXY PAINT
F	3/4" GYP. BOARD, PTD. 3/4" HAT CHANNELS EXISTING CMU BLOCK WALL 3/4" GYP. BOARD, PTD.
G	UL 1451 1-HOUR RATED WALLS: 3/4" GYP. BOARD TYPE X, PTD. (CORRIDOR SIDE) 3 3/8" LT. GA. METAL STUDS 3/4" GYP. BOARD TYPE X, PTD. FRP UP TO 8'-0" AFF.
H	FRP 3/4" GYP. BOARD 3 3/8" LT. GA. METAL STUDS 3/4" GYP. BOARD FRP
I	3/4" GYP. BOARD 2 3/8" LT. GA. METAL STUDS & 6" LT. GA. METAL STUDS STO THERM CI GFS SYSTEM, REFER TO 400.4
J	EPOXY PAINT NEW CMU BLOCK WALL EPOXY PAINT
K	FRP 3/4" GYP. BOARD 2" HAT CHANNELS W/RIGID INSULATION EXISTING CMU BLOCK WALL
L	3/4" GYP. BOARD, PTD. 2" Z-FURRING STRIPS W/ RIGID INSULATION EXISTING CMU BLOCK WALL
M	3/4" GYP. BOARD - ALIGN WITH WALL BELOW 3 3/8" LT. GA. METAL STUDS
NOTES:	
1. ALL WALL FRAMING TO BE 16" ABOVE FINISHED CEILING HEIGHT 101.	
2. PROVIDE DIAGONAL KICKERS TO PROVIDE LATERAL STABILITY TO NEAREST JOIST	
3. WALLS FRAMED TO B.O. DECK TO HAVE SLIP TRACKS AT TOP OF WALL.	

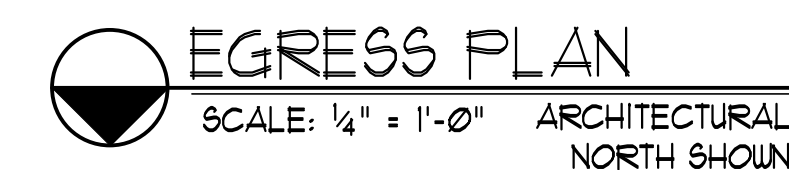
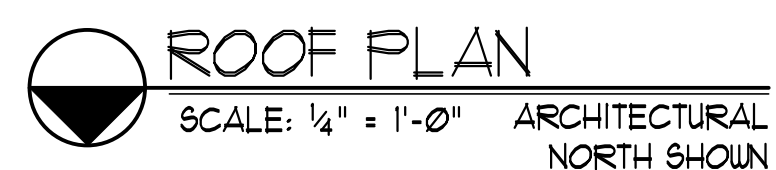




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SHEET:





STATE OF MICHIGAN  
FELINO A. PASCUAL  
LANDSCAPE ARCHITECT  
No. 1433  
REGISTERED LANDSCAPE ARCHITECT

## Galavant Spirits

15411 W Warren  
Avenue

LANDSCAPE PLAN

LS24.052.04 SPA 4-30-2024

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JP

FP  
date:

4-18-2024

notice:  
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1-800-482-7171**  
For free location of public utility lines

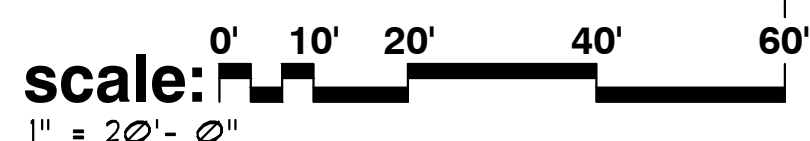
The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

sheet no:

LS-1

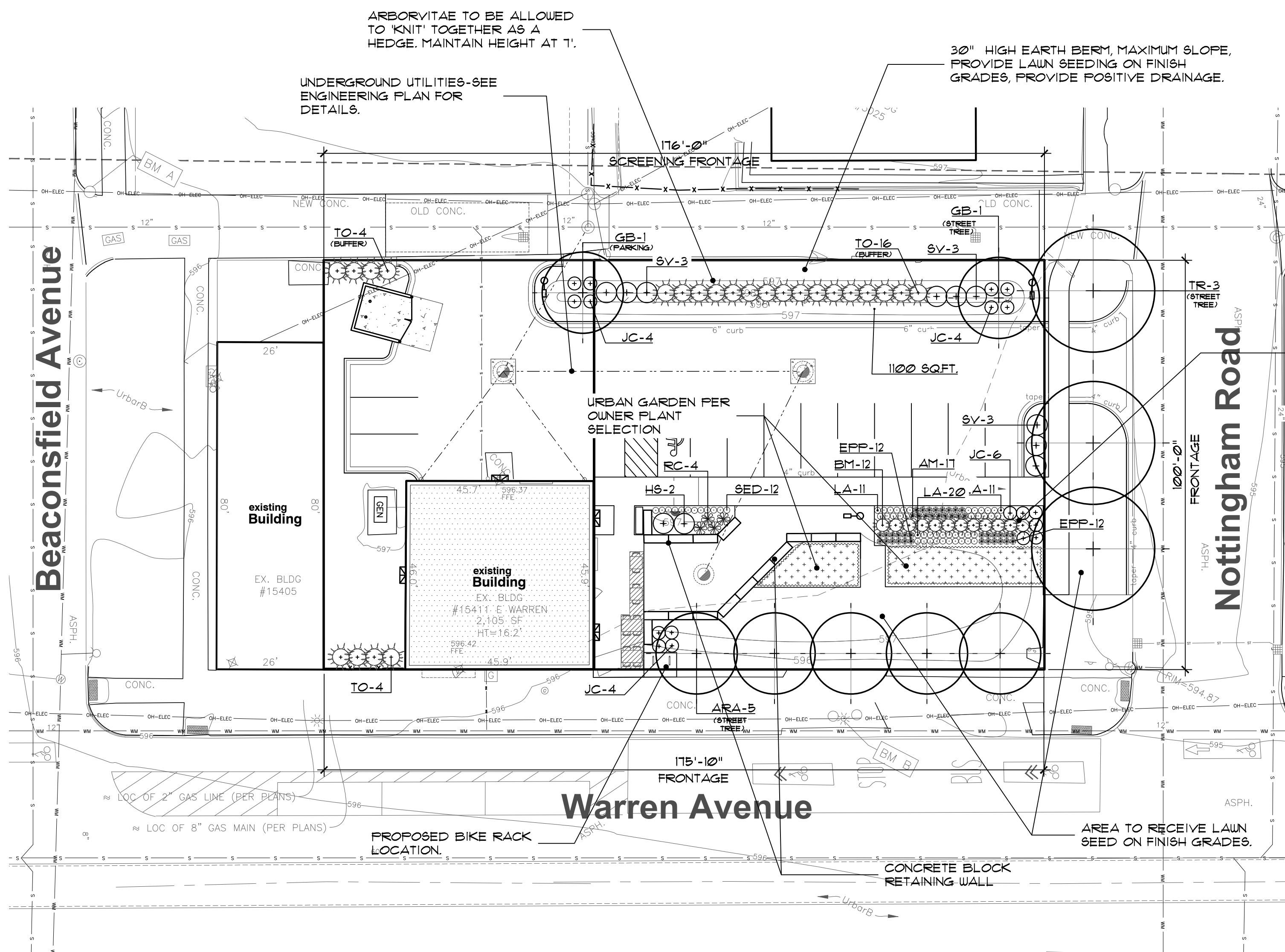
# Galavant Spirits

## City of Detroit, Michigan



unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.

1. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
2. PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING 1-800-482-1111. ANY DAMAGE OR INTERRUPTION OF UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
3. NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
4. ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
5. ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF DETROIT AND LANDSCAPE ARCHITECT.
6. ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
7. PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
8. DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
9. NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
10. REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
11. PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSESMEN LANDSCAPE STANDARDS.
12. PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
13. ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
14. PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, DRIVEWAYS AND PARKING STALLS:
  - a). SHADE TREES \_\_\_\_\_ 5 FT.
  - b). ORNAMENTAL AND EVERGREEN TREES  
(CRAB, PINE, SPRUCE, ETC.) \_\_\_\_\_ 10 FT.
  - c). SHRUBS THAT ARE LESS THAN 1 FOOT TALL  
AND WIDE AT MATURITY \_\_\_\_\_ 2 FT.
15. NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
16. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING. EDGING SHALL BE 4" x 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
17. ALL NEW PARKING ISLANDS & LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND FLOOR SOILS A MIN. OF 16"-18" DEPTH, BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
18. WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
19. ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
20. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.



key	quant. LS-1	botanical name	common name	size	comments
		<u>LARGE AND SMALL DECIDUOUS TREES</u>			
ARA	5	ACER R. 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" BB	
TR	3	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" BB	
GB	2	GINGKO BILOBA	MAIDENHAIR TREE	2 1/2" BB	
		<u>SHRUBS</u>			
JC	18	JUNIFERUS COMMUNIS	COMMON JUNIPER	18" BB	36" O.C. SPACING
BW	12	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	24" BB	36" O.C. SPACING
H5	2	HIBISCUS SYRIACUS	ROSE OF SHARON	30" HIGH CONT.	60" O.C. SPACING
RC	4	ROSA CANINA	DOG ROSA	18" HIGH CONT.	36" O.C. SPACING
SV	9	SYRINGA VULGARIS	COMMON PURPLE LILAC	30" HIGH CONT.	48" O.C. SPACING
TO	20	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBOVITAE	6' BB	48" O.C. SPACING
		<u>PERENNIALS AND GRASSES</u>			
EFF	24	ECHINACEA PURPUREA	PURPLE CONEFLOWER	4" CONT.	18" O.C. SPACING
LA	46	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	4" CONT.	18" O.C. SPACING
AM	17	ACHILLEA MILLEFOLIUM	YARROW	4" CONT.	18" O.C. SPACING
SED	12	SEDUM X 'NEON'	NEON SEDUM	4" CONT.	18" O.C. SPACING

street tree	REQUIRED	PROVIDED
TOTAL LNFT. OF NOTTINGHAM ROAD FRONTAGE _____ 100' ± (100' - 30' (ACCESS DRIVE) = 80' )		
ONE (1) 3" DECIDUOUS OR EVERGREEN TREE PER 30 LNFT. _____ (80' / 30 LNFT. = 2.66 TREES)	3	3
<b>street tree</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TOTAL LNFT. OF WARREN AVENUE FRONTAGE _____ 176' ±		
ONE (1) 3" DECIDUOUS OR EVERGREEN TREE PER 30 LNFT. _____ (176' / 30 LNFT. = 5.8 TREES)	6	6
<b>buffer</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TOTAL LNFT. OF SCREENING FRONTAGE _____ 176' ± (176' - 31' (ACCESS DRIVE) = 145' )		
ONE (1) SHRUB PER 5 LNFT. _____ (145 LNFT. / 5 LNFT. = 29 SHRUBS)	27	28
<b>parking</b>	<b>REQUIRED</b>	<b>PROVIDED</b>
TOTAL NO. OF PARKING PROVIDED _____ 13	234	1100
INTERIOR PARKING LANDSCAPE AREA _____ (10 SQFT PER SPACE X 13-SPACES = 234 SQFT.)	SQFT.	SQFT.
INTERIOR PARKING TREES _____	1	1
1-TREE PER 250 SQFT. OF INTERIOR LANDSCAPE AREA _____ (234 SQFT. / 250 SQFT. = .93 TREES)		

ASSORTED HERBS	HIBISCUS
BACHELOR BUTTONS	ROSA CANINA (VINES FOR FENCING)
MARGOLDS	SCHISANDRA (ALSO VINES)
ANISE HYSSOP	CHAMOMILE
NASTURTIUM	YARROW
SHISO, SORRE,	LEMON VERBENA
VIOLAS	BORAGE
	BERGAMOT

FINAL PLANT MATERIAL PER OWNER SELECTION  
AND LOCATION. NO FRUIT TREE TO BE INSTALLED  
PER CITY OF DETROIT REQUIREMENT



seal:



project sponsor:  
**GALAVANT SPIRITS**  
15411 Warren Avenue,  
Detroit, Michigan

project:

## Galavant Spirits

project location:

City of Detroit,  
Michigan

15411 W Warren  
Avenue

sheet title:

### PLANTING DETAILS AND LANDSCAPE NOTES

job no. / issue / revision date:

LS24.052.04 SPA 4-30-2024

drawn by:

JP

checked by:

FP

date:

4-18-2024

notice:

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The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:

LS24.052.04

sheet no:

LS-2

### planting landscape notes:

#### GENERAL NOTES:

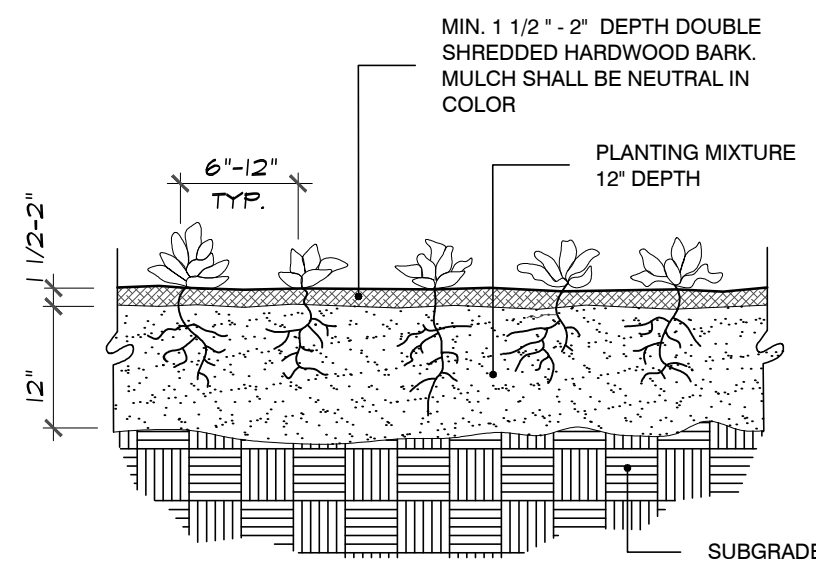
- 1) PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE CITY OF DETROIT AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- 2) PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
- 3) PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSERY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
- 4) MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
- 5) CALL MISS DIG AT 1-800-482-7171 PRIOR TO ANY CONSTRUCTION.

#### DECIDUOUS & EVERGREEN TREE:

- 1) TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- 2) DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- 3) REMOVE ALL TAGS, STRINGS, PLASTICS AND OTHER MATERIALS THAT ARE UNBLIGHTLY AND COULD CAUSE GIRDLING.
- 4) REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.

#### SHRUB:

- 1) SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
- 2) DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- 3) REMOVE ALL TAGS, STRINGS, PLASTICS AND OTHER MATERIALS THAT ARE UNBLIGHTLY AND COULD CAUSE GIRDLING.



### perennial planting detail

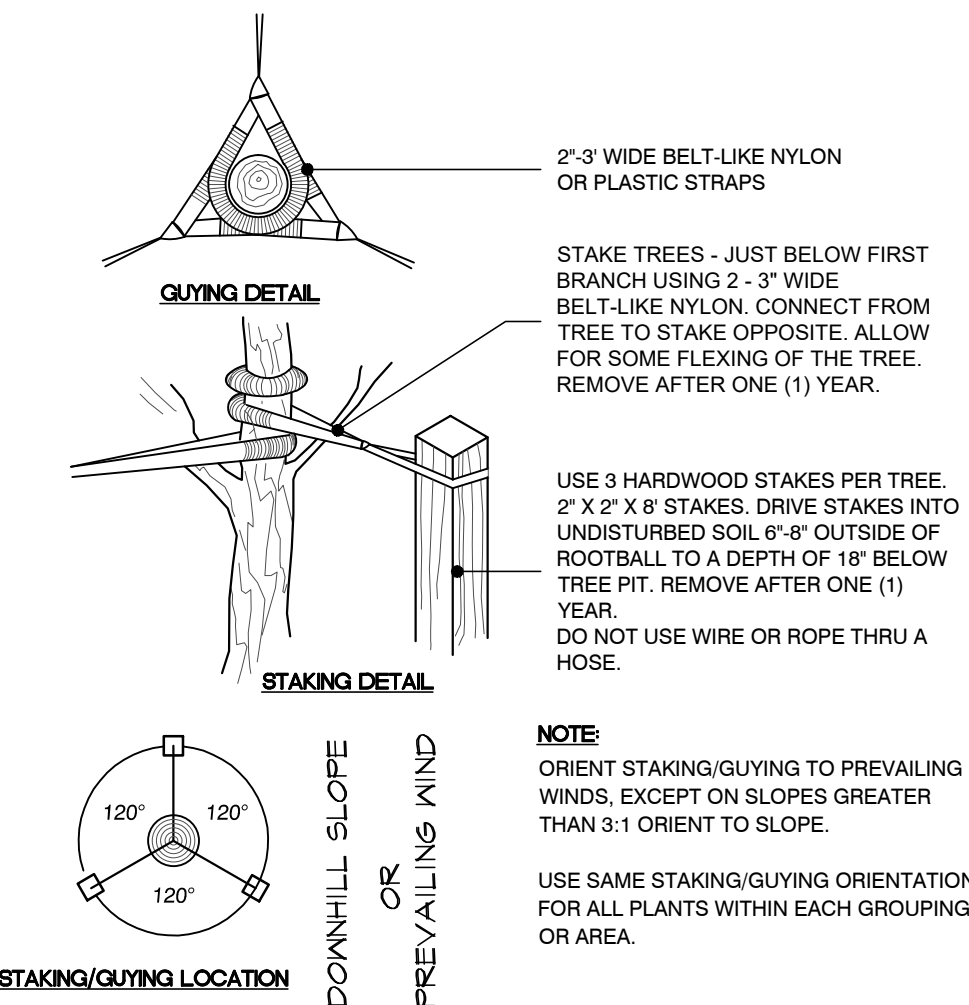
no scale

### lawn area:

SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

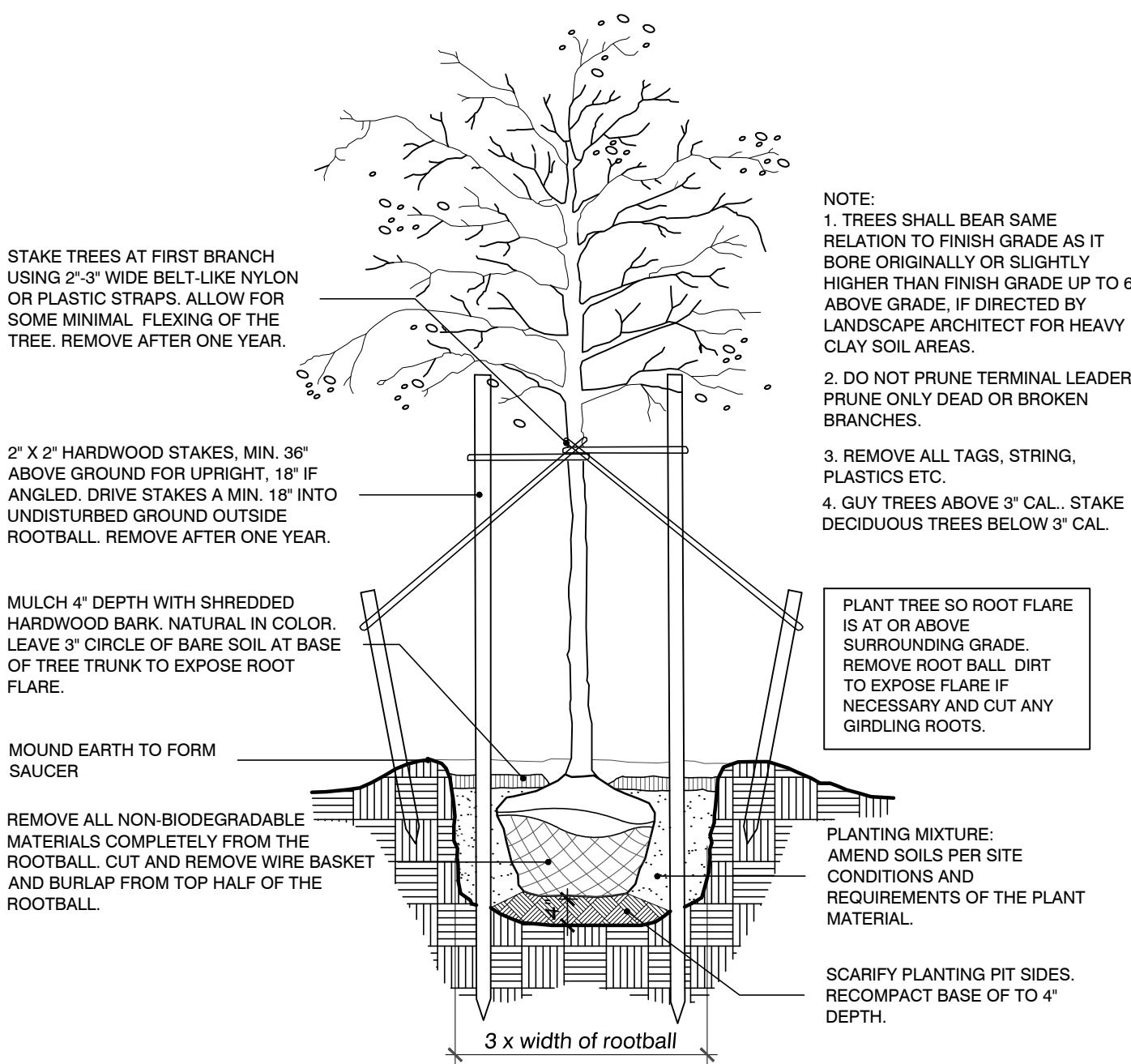
5% PERENNIAL RYE GRASS  
10% RED PESCUE  
25% CHEWING PESCUE  
60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED, PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA



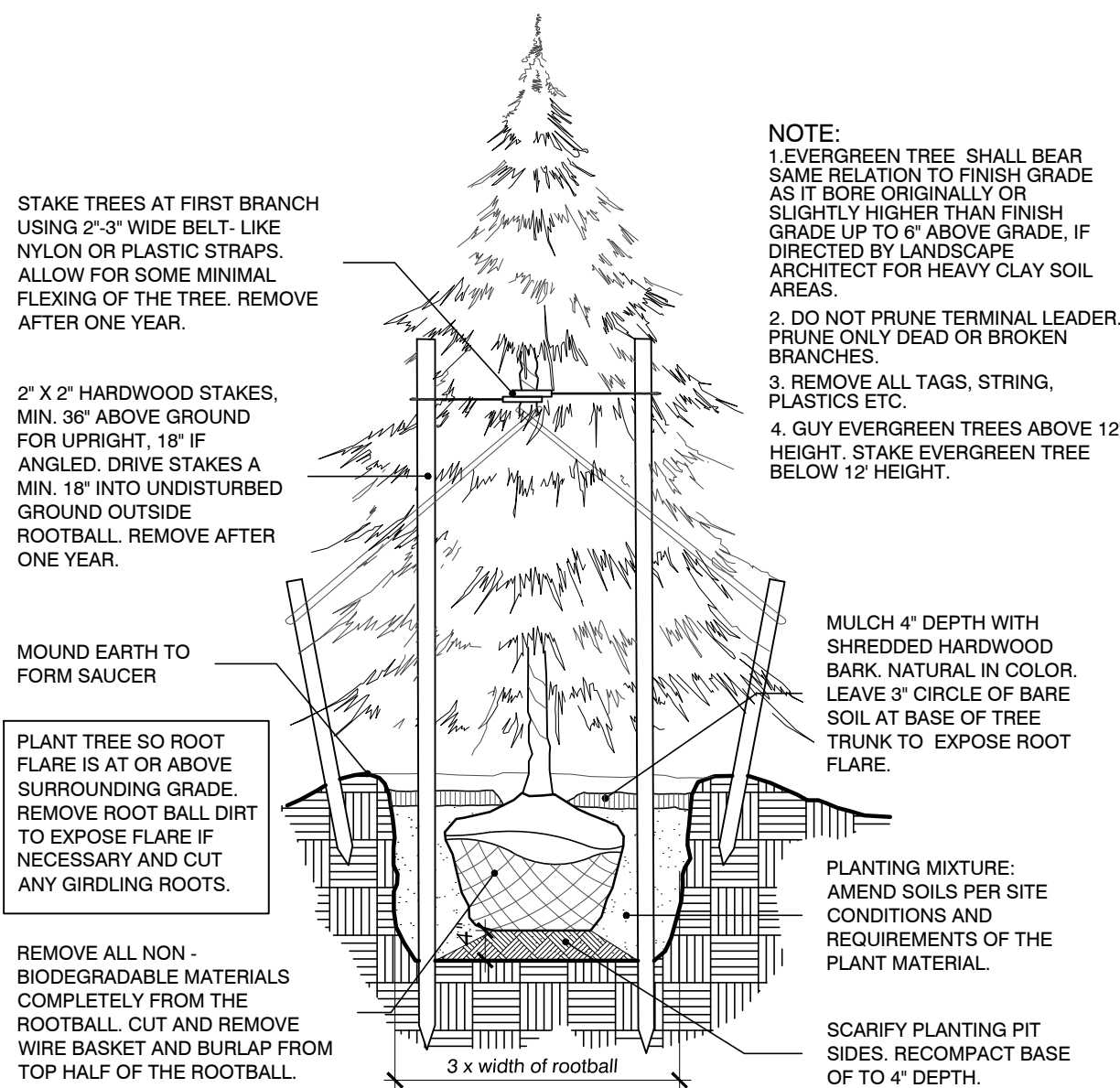
### tree staking detail

no scale



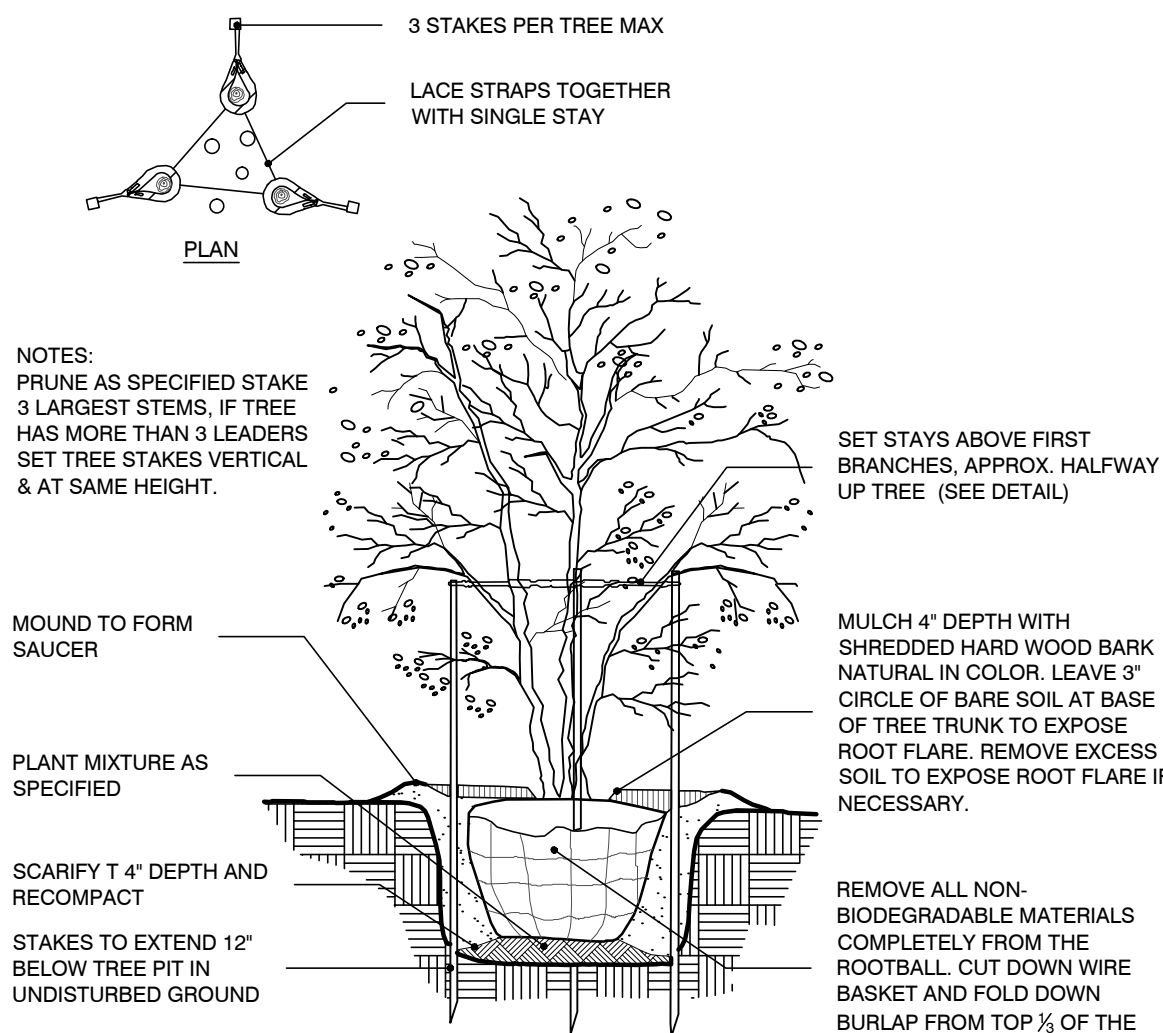
### tree planting detail

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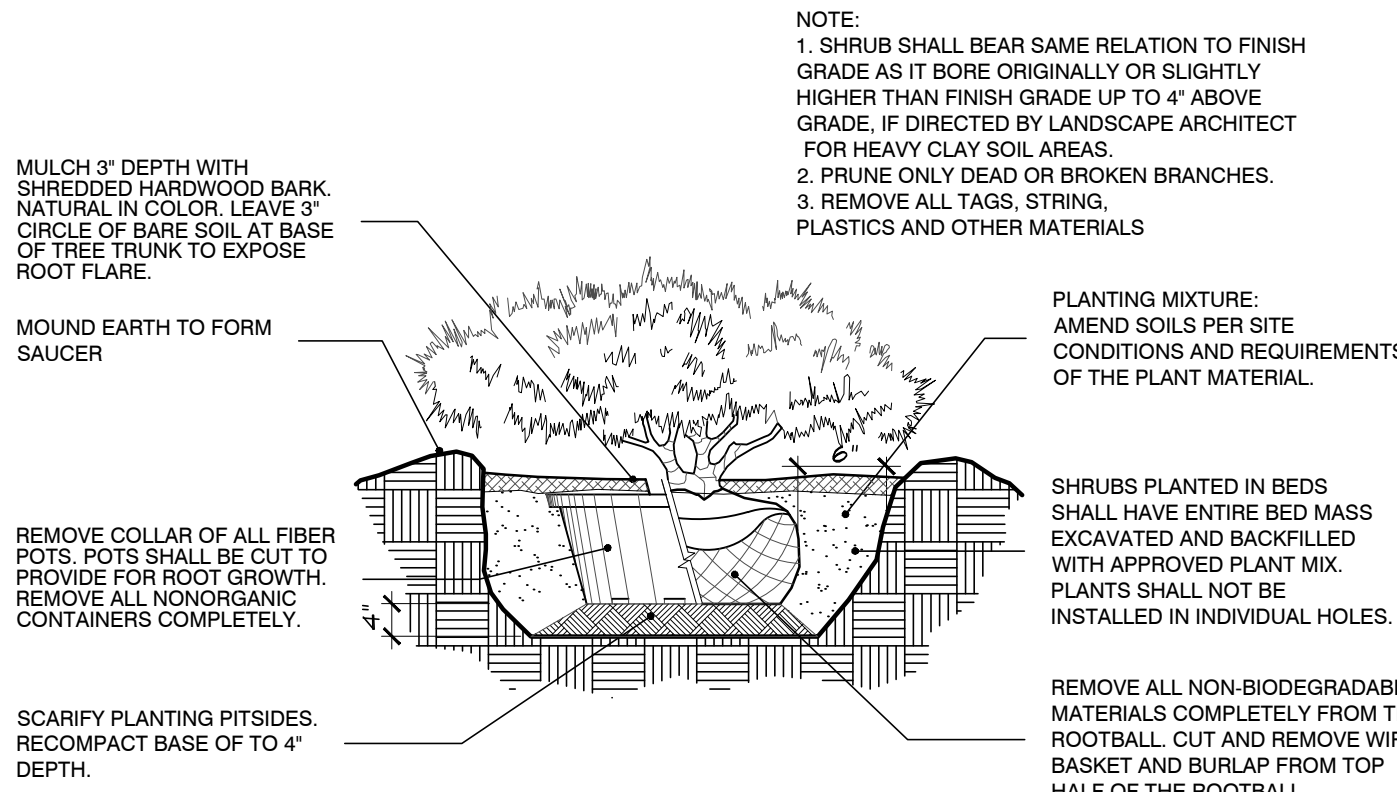
### evergreen planting detail

no scale



### multi-stem tree planting detail

no scale



### shrub planting detail

no scale





City of Detroit  
Department of Public Works  
City Engineering Division

COLEMAN A. YOUNG MUNICIPAL CENTER  
2 Woodward Ave. Suite 601  
Detroit, Michigan 48226  
Phone: (313) 224-3949 TTY: 711  
www.detroitmi.gov

WRITTEN ACCEPTANCE OF THE TERMS AND CONDITIONS OF  
DETROIT CITY COUNCIL RESOLUTION  
PETITION NUMBER , ADOPTED

Ian Redmond / Galavant Spirits / Galavant Properties, whose address is

15411 E Warren, Detroit, MI 48224, (hereinafter referred to as the "Permittee") do hereby accept the terms and conditions of the City Council Resolution granting Petition Number , and agrees to comply with its requirements; and further, that pursuant to the said Resolution, Permittee does hereby agree to defend, indemnify and save harmless the City of Detroit from any and all claims, liabilities, obligations, penalties, costs, charges, demands, losses, damages, or expenses (including without limitation, fees, and expenses of attorneys, expert witness and other consultants) that may be imposed upon, incurred by or asserted against the City of Detroit or its departments, officers, employees, or agents by reason of the issuance of said permit(s), or the performance or non-performance by the Permittee of the terms of the permit(s) hereof, or that may rise out of its activities described in said Resolution by Permittee and its personnel, agents, representatives and employees.

Permittee agrees to waive, release and discharge the City of Detroit or its departments, officers, employees, or agents from any and all liability, claims, demands, and causes of action whatsoever, legal and equitable, because of damages, losses, or injuries to Permittee or Permittee's property or both, arising from or related to Permittee's activities described in said Resolution. Permittee agrees and covenants not to sue the City of Detroit or its departments, officers, employees, or agents, and to refrain from instituting, continuing, presenting, subrogating, collecting or in any way aiding or proceeding upon any claims, judgments, debts, causes of action, suits and proceedings of any kind at law or in equity arising from or related to Permittee's activities described in said Resolution.

Date April 24, 2025

Permittee Signature: \_\_\_\_\_



CONSTRUCTION PLANS FOR

# GALAVANT SPIRITS

15411 WARREN AVE  
DETROIT, MICHIGAN

## LEGAL DESCRIPTION (AS PROVIDED)

(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, AND STATE OF MICHIGAN, PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL A:  
LOTS 268 THROUGH 272, BOTH INCLUSIVE, AND THE WEST 5 FEET OF LOT 273, NOTTINGHAM SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 38, PAGE 26 OF PLATS, WAYNE COUNTY RECORDS.

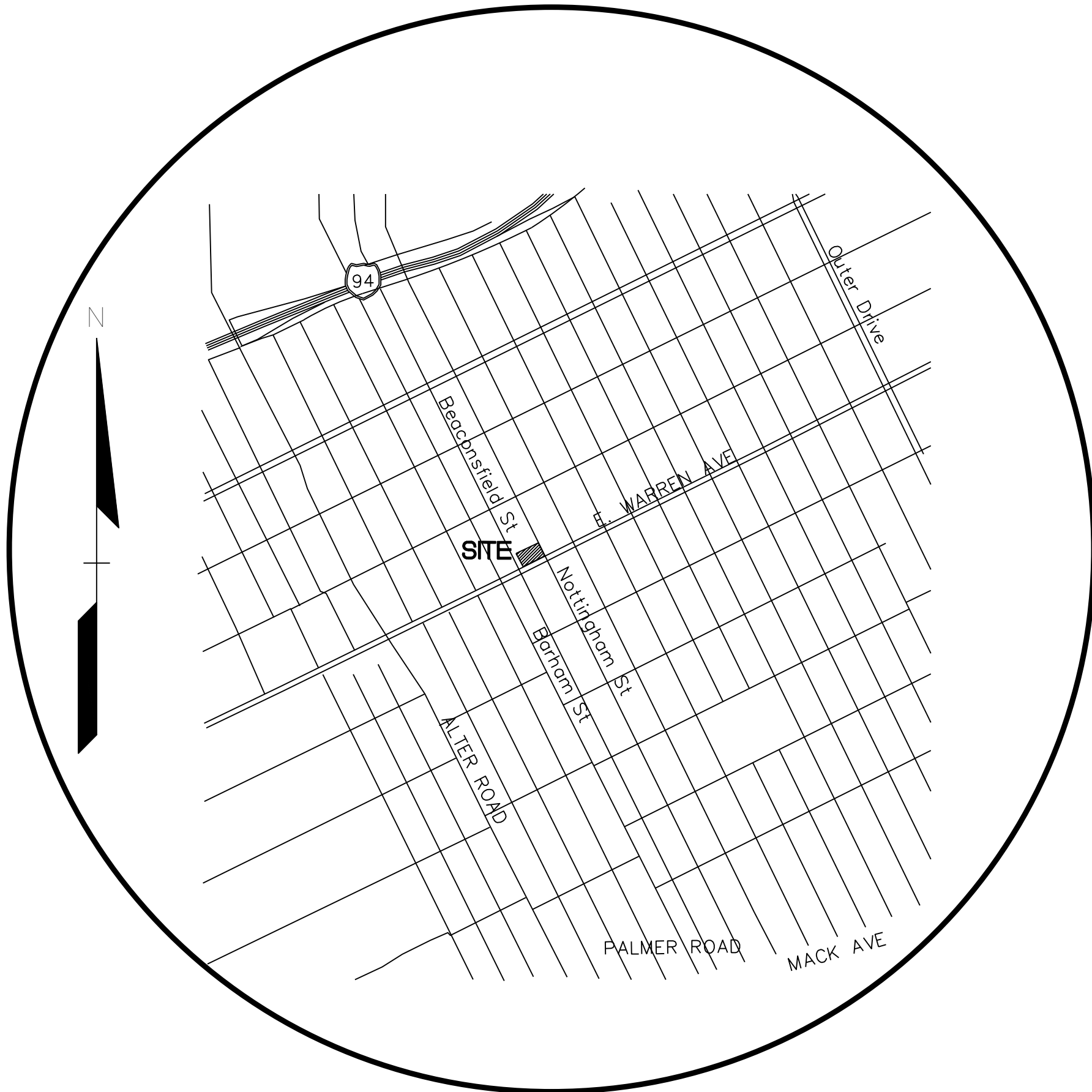
PARCEL B:  
EAST 20 FEET OF LOT 104, AND ALL OF LOTS 105, AND 106. MOORE AND MOESTA'S SUBDIVISION AS RECORDED IN LIBER 38, PAGE 29, OF PLATS, WAYNE COUNTY RECORDS.

TAX PARCEL NO.: 1021002804-5 & 1021002806-9  
COMMONLY KNOWN AS: 15411 & 15435 EAST WARREN AVENUE, DETROIT, MI 48224

SUBJECT TO EASEMENTS, RESERVATIONS, USE, BUILDING AND OTHER RESTRICTIONS OF RECORD, IF ANY

## BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°23'57.03", LON: 82°56'58.33"W, ELEV: 597, SCALE FACTOR: 1.00008589).



LOCATION MAP  
NO SCALE

### INDEX OF DRAWINGS:

- C-0.0 COVER SHEET  
C-1.0 TOPOGRAPHIC SURVEY  
C-2.0 SITE DEMOLITION PLAN  
C-3.0 SITE DIMENSION + PAVING PLAN  
C-3.1 TRUCK ACCESS PLAN  
C-4.0 GRADING PLAN  
C-5.0 UTILITY PLAN  
C-6.0 SESC PLAN  
C-7.1 NOTES + DETAILS  
C-7.2 DETAILS  
C-7.3 CITY OF DETROIT DETAILS

- LS-1 LANDSCAPE PLANTING DETAILS  
LS-2 PLANT DETAILS AND LANDSCAPE NOTES

- PH-1 SITE PHOTOMETRIC PLAN

### CONSTRUCTION PERMITS REQUIRED:

- CITY OF DETROIT – ENGINEERING/PLANNING APPROVAL  
CITY OF DETROIT – RIGHT OF WAY PERMIT (ALLEY & NOTTINGHAM & E WARREN AVE)

#### DEVELOPER

GALAVANT SPIRITS  
2285 ATKINSON  
DETROIT, MI 48206  
PHONE: (313) XXX-XXXX  
CONTACT: IAN REDMOND  
EMAIL: ian.p.redmond@gmail.com

#### ARCHITECT:

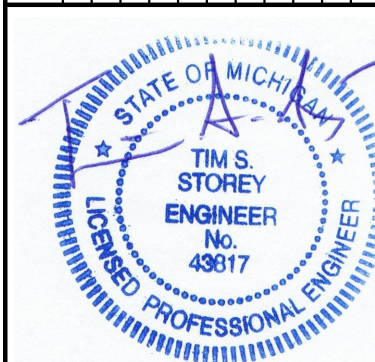
DESIGN TEAM PLUS  
975 EAST MAPLE RD  
SUITE 210  
BIRMINGHAM, MI 48009  
PHONE: (248) 559-1000  
CONTACT: HAROLD REMLINGER, AIA  
EMAIL: harold@designteamplus.com

#### ENGINEER:

STOREY ENGINEERING GROUP, LLC  
48264 MANCHESTER  
MACOMB, MI 48044  
PHONE: (586) 216-1043  
CONTACT: TIM S. STOREY, P.E.  
EMAIL: timsstorey@gmail.com

#### LANDSCAPE ARCHITECT

FELINO PASCUAL ASSOC.  
24333 ORCHARD LAKE RD  
SUITE G  
FARMINGTON HILLS, MI 48336  
PHONE: (248) 557-5588  
CONTACT: FELINO PASCUAL (JOEL)  
EMAIL: felino@fpa.la



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GALAVANT SPIRITS 15411 E WARREN AVE, DETROIT, MI 48224		COVER SHEET GALAVANT SPIRITS 15411 E WARREN AVE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN		DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
PROJECT: 2023-007 GALAVANT SPIRITS - 15411 E WARREN AVE - DETROIT, MI 48224											

ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. No. 2023-007

DRAWING NUMBER:

C-0.0



(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

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PARCEL A:  
LOTS 268 THROUGH 272, BOTH INCLUSIVE, AND THE WEST 5 FEET OF  
LOT 273, NOTTINGHAM SUBDIVISION, ACCORDING TO THE PLAT  
THEREOF, AS RECORDED IN LIBER 38, PAGE 26 OF PLATS, WAYNE  
COUNTY RECORDS.

PARCEL B:  
EAST 20 FEET OF LOT 104, AND ALL OF LOTS 105, AND 106. MOORE  
AND MOESTA'S SUBDIVISION AS RECORDED IN LIBER 38, PAGE 29, OF  
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TAX PARCEL NO.: 1021002804-5 & 1021002806-9  
COMMONLY KNOWN AS: 15411 & 15435 EAST WARREN AVENUE,  
DETROIT, MI 48224

SUBJECT TO EASEMENTS, RESERVATIONS, USE, BUILDING AND OTHER  
RESTRICTIONS OF RECORD, IF ANY

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)  
(MOL) (GRS50), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND  
(LAT: 42°23'57.03", LON: 82°56'58.33"W, ELEV: 597, SCALE FACTOR:  
1.00008589).

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SAN: CITY OF DETROIT  
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STORM: CITY OF DETROIT  
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GAS: DTE ENERGY  
RECEIVED: 01/03/2024

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ELEC: DETROIT PUBLIC LIGHTING  
RECEIVED: (NO RESPONSE)

PHONE: AT&T  
RECEIVED: 01/02/2024

FIBER: NEXTEL COMMUNICATIONS  
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DATUM: NAVD88

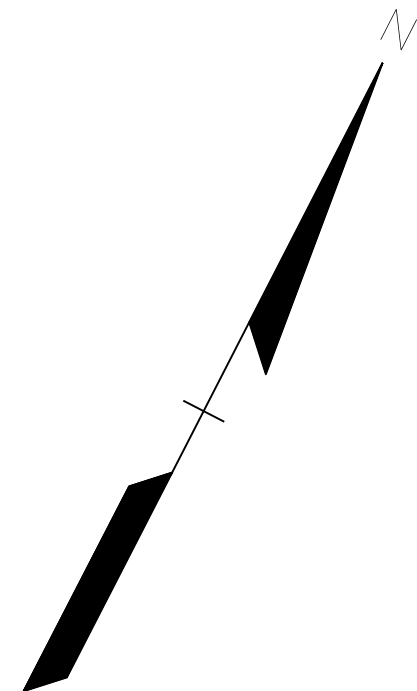
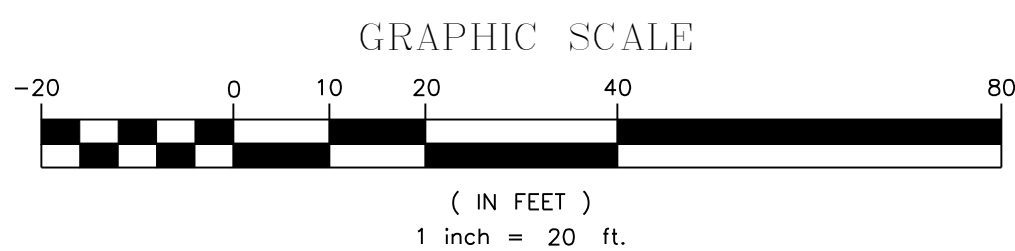
TO ACHIEVE CITY OF DETROIT DATUM, SUBTRACT 475.00 FROM  
NAVD88

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ELEV = 595.90

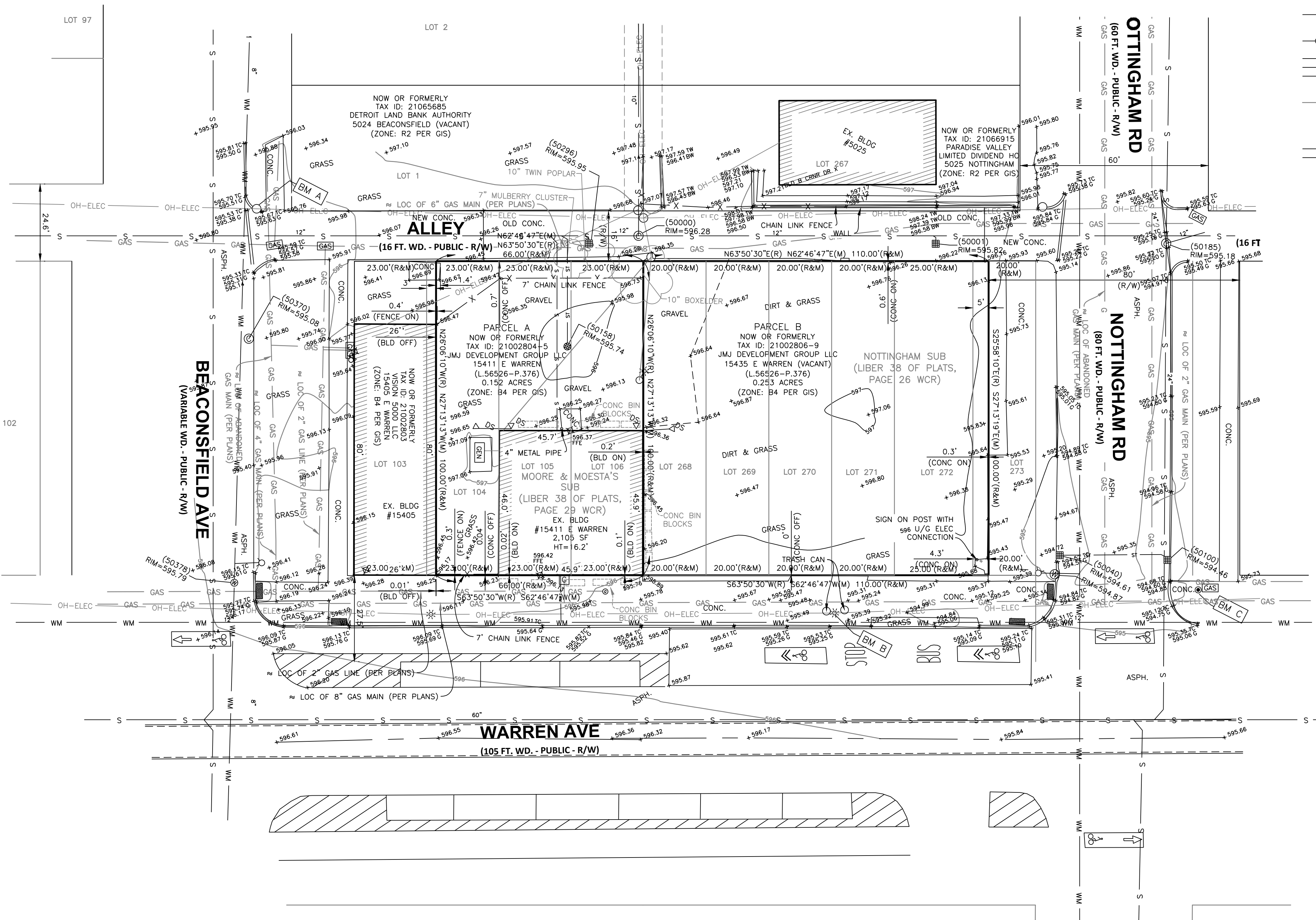
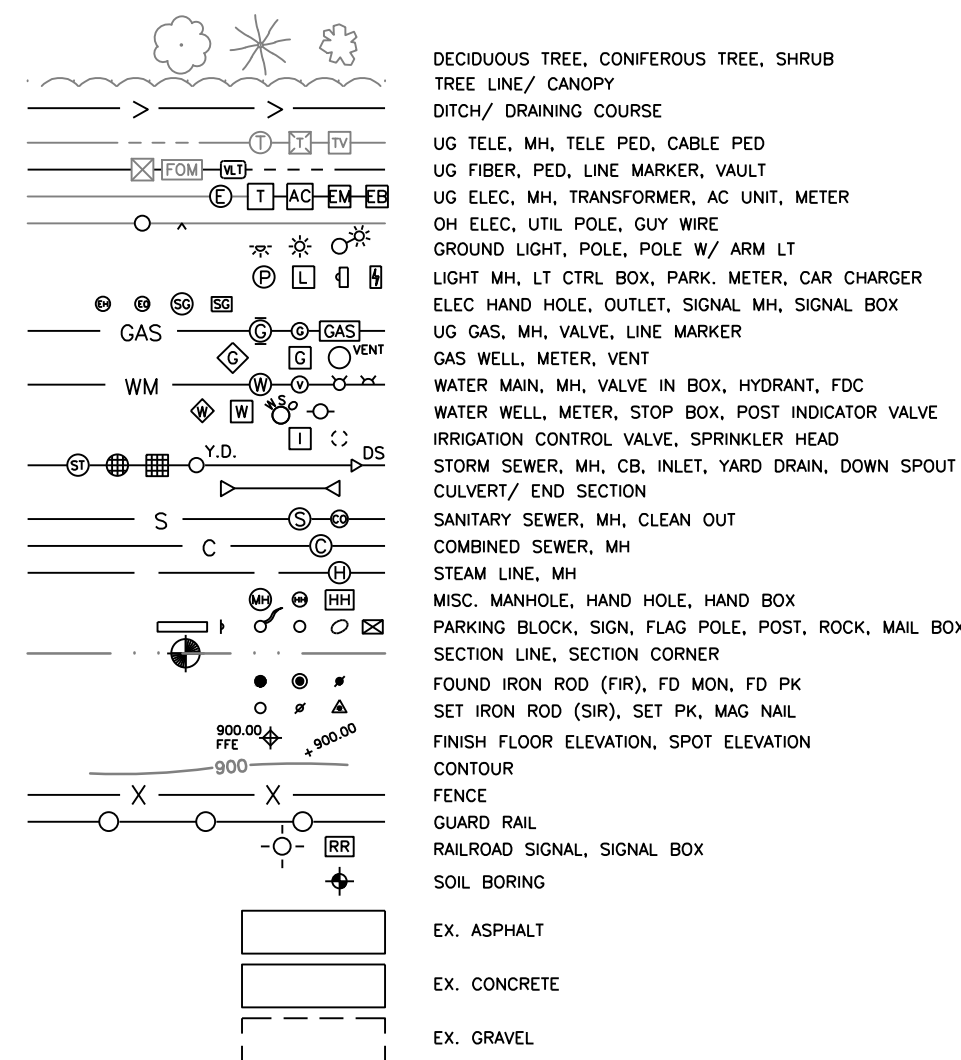
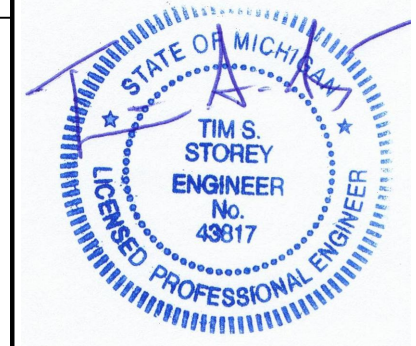
BM C: LID OF DETROIT CITY BENCHMARK MONBOX CEMENTED SHUT  
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ELEV = 595.37

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(50000) MH	596.28	12" SW IE = 580.24 12" NE IE = 580.33 10" W IE = 584.06
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(50100) CBS	594.46	NOT INVENTORIED AT TIME OF SURVEY
(50158) MH	595.74	FILLED WITH WATER AT TIME OF SURVEY
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(50370) CBS	595.08	NO VISIBLE PIPES BOTTOM=590.08
(50378) MH	595.79	MH ASPHALTED OVER AT TIME OF SURVEY



LOCATION MAP  
NOT TO SCALE

### EXISTING LEGEND

[illegible]

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ORIGINAL ISSUE DATE:  
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PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER:

# C-1.0



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GENERAL DEMOLITION NOTES:

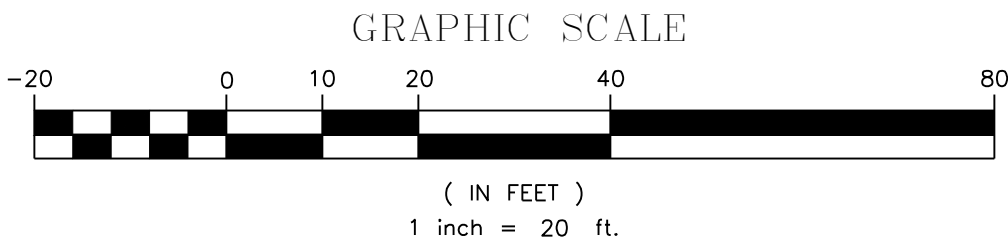
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
  - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
  - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR AT THE PRE-CONSTRUCTION MEETING.
  - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED.
  - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES ETC.
  - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED AND STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND:

- ITEM TO BE REMOVED
- ITEM TO BE SALVAGED
- CURB/WALL REMOVAL
- CONCRETE PAVEMENT AND SIDEWALK REMOVAL
- ASPHALT PAVEMENT REMOVAL
- UTILITY REMOVAL
- AREA OR ITEMS TO BE REMOVED
- SAWCUT LINE
- TREE REMOVAL

ADDITIONAL NOTES:

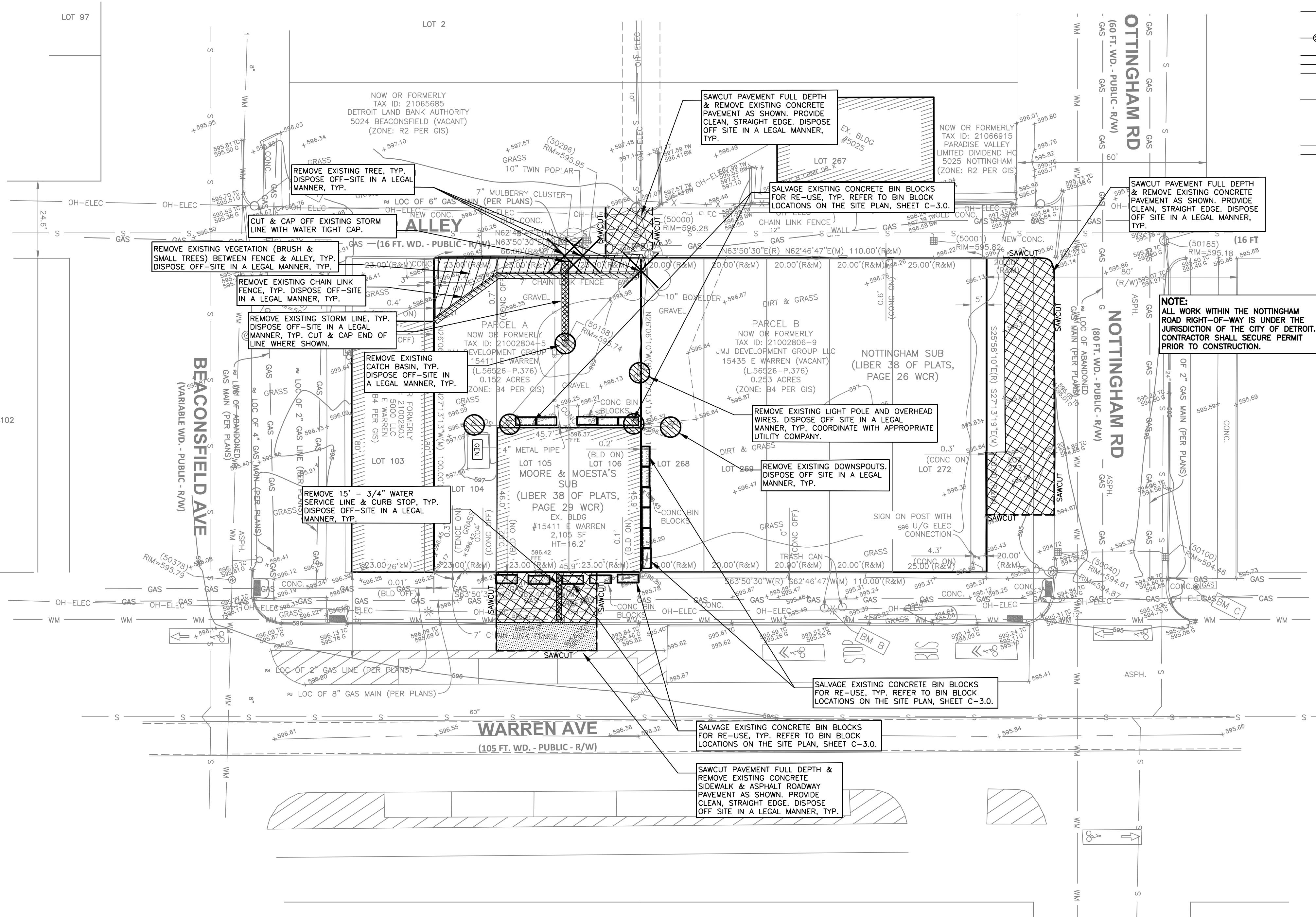
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON SITE DURING ALL DEMOLITION WORK
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AND TRENCHES WITH APPROVED MATERIAL PRIOR TO THE END OF THE WORKING DAY.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO BE INSTALLED PRIOR TO THE START OF DEMOLITION WORK.



LOCATION MAP  
NOT TO SCALE

EXISTING LEGEND

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
- TREE LINE/ CANOPY
- DITCH/ DRAINING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- UG ELEC, MH, TRANSFORMER, AC UNIT, METER
- OH ELEC, UTIL POLE, GUY WIRE
- GROUND LIGHT, POLE, POLE W/ ARM LT
- LIGHT MH, LT CTRL BOX, PARK METER, CAR CHARGER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CB, INLET, YARD DRAIN, DOWN SPOUT
- CULVERT/ END SECTION
- SANITARY SEWER, MH, CLEAN OUT
- COMBINED SEWER, MH
- STEAM LINE, MH
- MISC. MANHOLE, HAND HOLE, HAND BOX
- PARKING BLOCK, SIGN, FLAG POLE, POST, ROCK, MAIL BOX
- SECTION LINE, SECTION CORNER
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL
- FINISH FLOOR ELEVATION, SPOT ELEVATION
- CONTOUR
- FENCE
- GUARD RAIL
- RAILROAD SIGNAL, SIGNAL BOX
- SOIL BORING
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL



REVISIONS	
NO.	DATE BY DESCRIPTION



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GALAVANT SPIRITS		SITE DEMOLITION PLAN		GALAVANT SPIRITS	
DES.	TSS	DN.	TSS	SUR.	AMP
DES.	TSS	DN.	TSS	SUR.	AMP
DES.	TSS	DN.	TSS	SUR.	AMP
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ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER:

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SITE INFORMATION:

- The project is a 2,105 sf Small Distillery with "consumption on the premises" with small kitchen & outdoor dining. The outdoor dining area is 125 sf. The site is located at 15411 E Warren Avenue in the B4 District (GENERAL BUSINESS).
- Parcel A Site Area = 6,600 sf = 0.1515 ac.  
Parcel B Site Area = 10,999.84 sf = 0.2525 ac.  
Total Land Area = 17,599.84 sf = 0.404 ac.
- Parking Calculations:  
REQUIRED PARKING: 3 PLUS 1/100 SF FOR EACH 100 SF IN EXCESS OF 1,000 SF PLUS ONE SPACE PER 100 SF OF OUTDOOR SEATING AREA = 3 + (2,105-1,000)/100 + 125/100 = 15 TOTAL SPACES REQUIRED (Note: Outdoor Seating Area = 125 sf)

PROVIDED PARKING: 1 VAN ACCESSIBLE BARRIER FREE SPACE + 12 STANDARD SPACES + 3 ON STREET SPACES + 4 BIKE PARKING SPACES = 20 TOTAL SPACES PROVIDED

- Notes:
- Standard Spaces are 18' + 2' overhang = 20' Long x 9' Wide
  - Barrier Free Spaces are 18' + 2' overhang = 20' Long x 8' Wide w/8' wide adjacent access aisle.

ON-SITE PAVING QUANTITIES:

4" CONCRETE SIDEWALK	3,668 SF
4" HEAVY DUTY ASPHALT ON 8" MDOOT 21AA AGG.	27,099 SF
18" WIDE CONC CURB + GUTTER	1,514 LF
TRASH ENCLOSURE	1 EA
HEAVY DUTY TRASH ENCLOSURE CONCRETE	206 SF

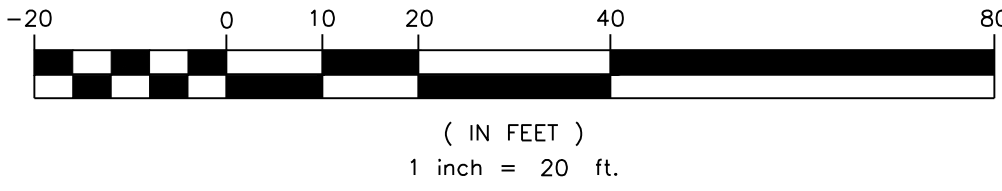
SIGN + RAMP NOTE KEY:

1 PROVIDE BARRIER FREE PARKING SIGN.  
REFER TO DETAIL ON SHEET C-7.1

A PROVIDE CURB RAMP TYPE "A".  
REFER TO DETAIL ON SHEET C-7.2.

NOTE:  
ALL RAMPS SHALL BE PROVIDED WITH ADA DETECTABLE WARNING PLATE, REFER TO DETAIL SHEET.

GRAPHIC SCALE

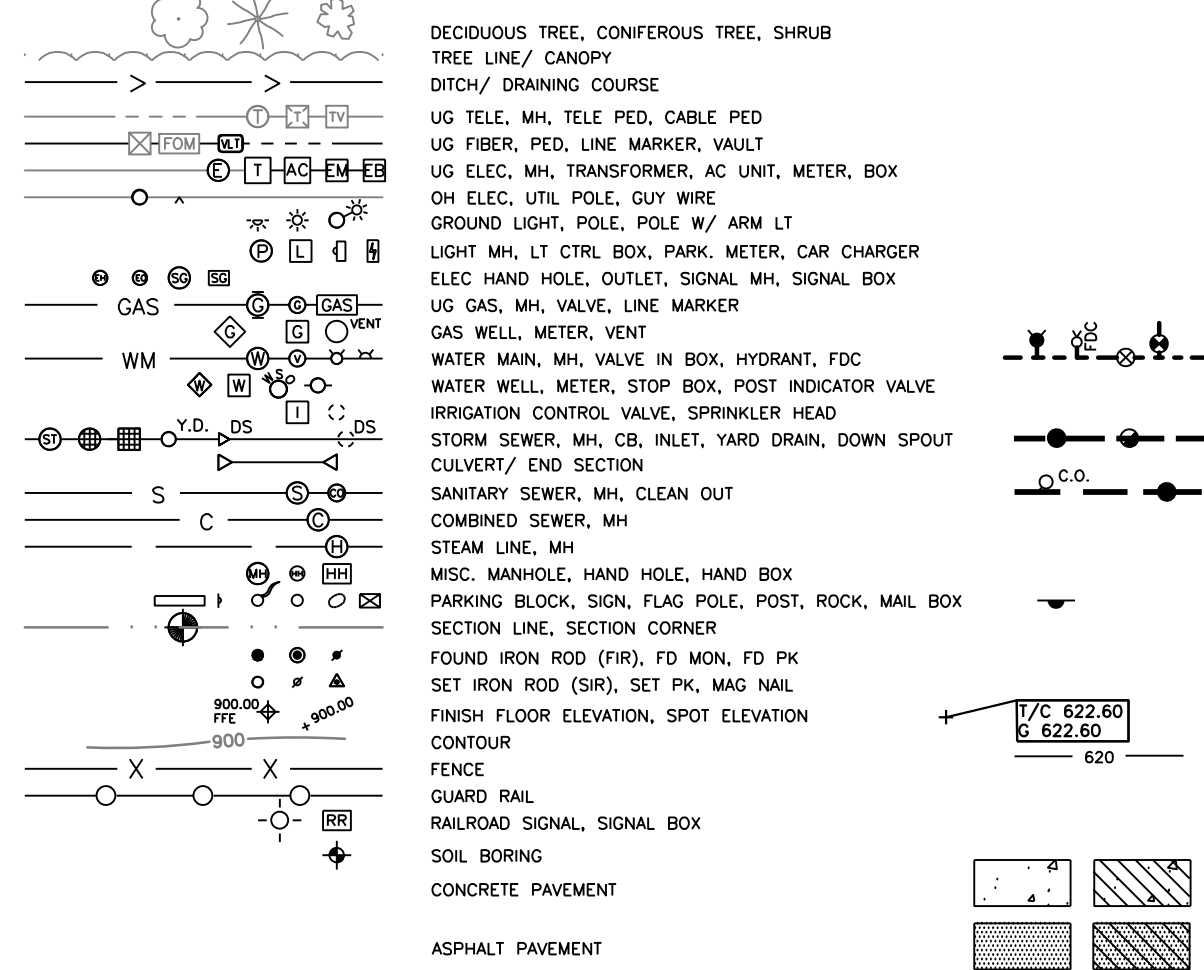


GENERAL NOTES:

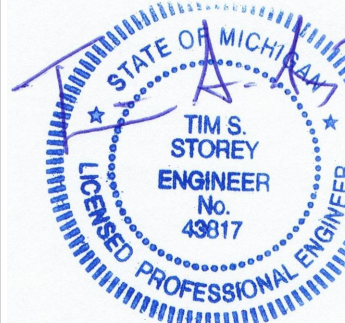
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS SITE.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEETS C-7.1 & C-7.2 FOR PAVING & SIDEWALK DETAILS.
- "NO PARKING FIRE LANE" SIGNS SHALL BE POSTED AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT, WAYNE COUNTY AND MDOOT CURRENT STANDARDS AND REGULATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE CITY AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET, ALLEY OR HIGHWAY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS, FIRE HYDRANTS, ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY AS AN ADDITIONAL COST.

EXISTING LEGEND



LOCATION MAP  
NOT TO SCALE



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GALAVANT SPIRITS 15411 E WARREN AVE. DETROIT, MI 48224				SITE DIMENSION + PAVING PLAN GALAVANT SPIRITS 15411 E WARREN AVE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN			
DES.	TSS	DN.	TSS	SUR.	AMP.	P.M.	TSS

ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER:

C-3.0



(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

PARCEL A:  
LOTS 268 THROUGH 272, BOTH INCLUSIVE, AND THE WEST 5 FEET OF  
LOT 273, NOTTINGHAM SUBDIVISION, ACCORDING TO THE PLAT  
THEREOF, AS RECORDED IN LIBER 38, PAGE 26 OF PLATS, WAYNE  
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PARCEL B:  
EAST 20 FEET OF LOT 104, AND ALL OF LOTS 105, AND 106. MOORE  
AND MOESTA'S SUBDIVISION AS RECORDED IN LIBER 38, PAGE 29, OF  
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TAX PARCEL NO.: 1021002804-5 & 1021002806-9  
COMMONLY KNOWN AS: 15411 & 15435 EAST WARREN AVENUE,  
DETROIT, MI 48224

SUBJECT TO EASEMENTS, RESERVATIONS, USE, BUILDING AND OTHER  
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BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)  
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND  
(LAT: 42°23'57.03", LON: 82°56'58.33"W, ELEV: 597, SCALE FACTOR:  
1.00008589).

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RECEIVED: 01/03/2024

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ELEC: DETROIT PUBLIC LIGHTING

RECEIVED: (NO RESPONSE)

PHONE: AT&T

RECEIVED: 01/02/2024

FIBER. NEXTEL COMMUNICATIONS

RECEIVED: (NO RESPONSE)

DATUM: NAVD88

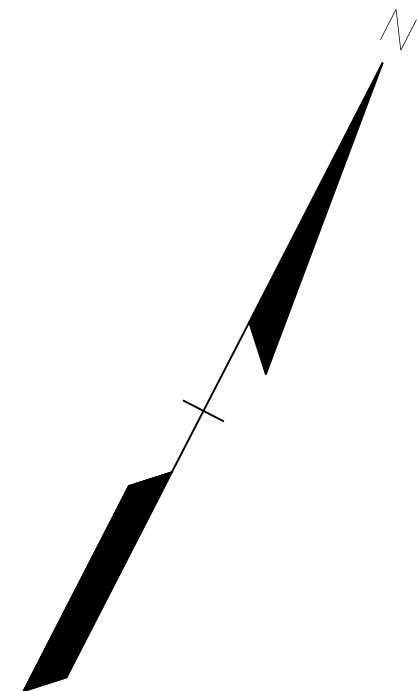
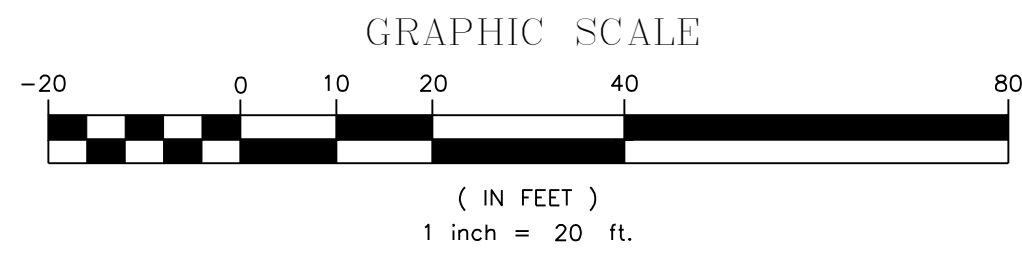
TO ACHIEVE CITY OF DETROIT DATUM, SUBTRACT 479.60 FROM  
NAVD88

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BEAONSFIELD STREET  
ELEV = 596.65

BM B: TOP OF COVER OF NORTHWEST BOLT ON BASE OF LIGHT POLE  
MARKED X, 46'± SOUTH AND 61'± EAST OF SOUTHEAST CORNER OF  
BUILDING #15411  
ELEV = 595.90

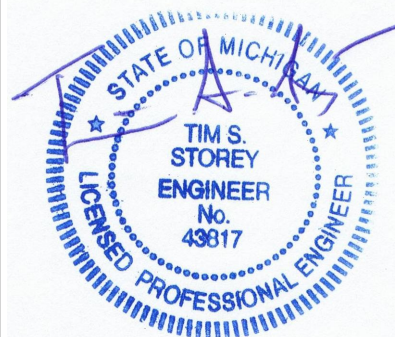
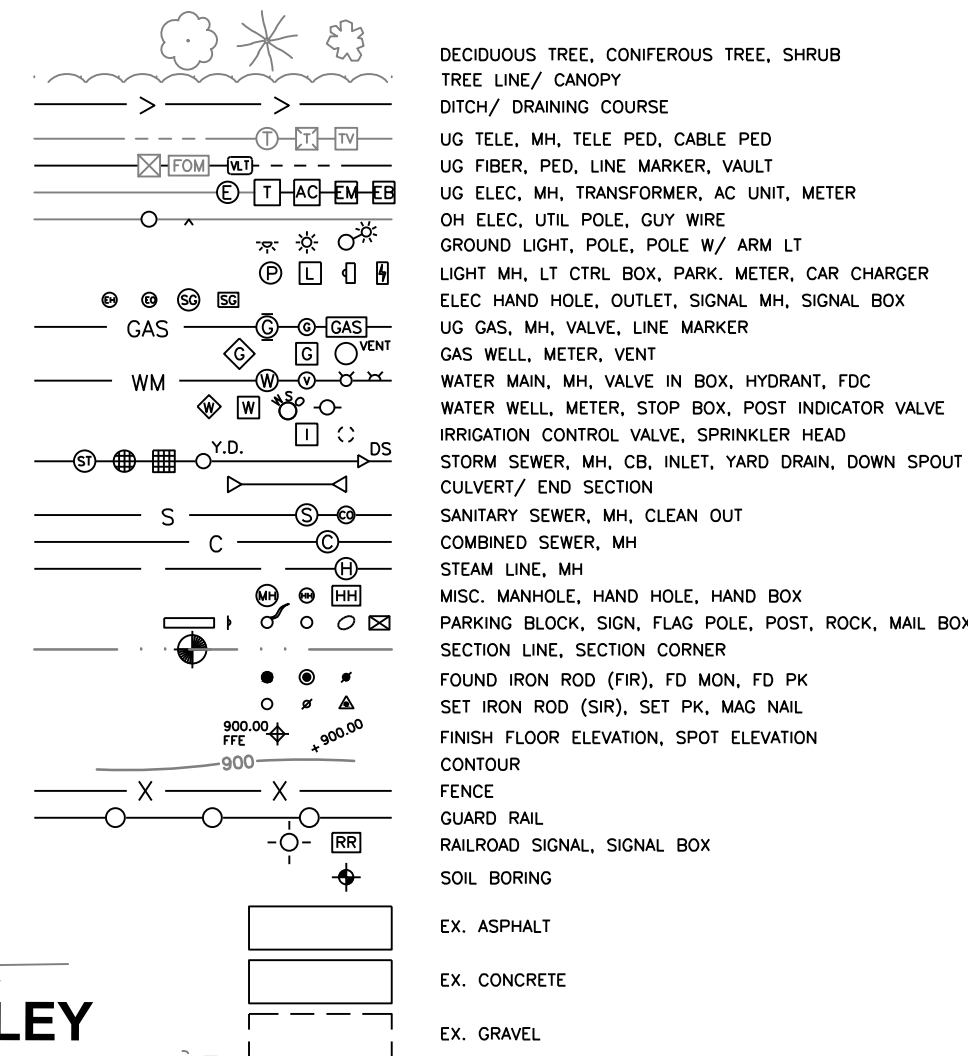
BM C: LID OF DETROIT CITY BENCHMARK MONBOX CEMENTED SHUT,  
11'± NORTH OF THE NORTH CURB OF WARREN AVENUE AND 9'± EAST  
OF THE EAST CURB OF NOTTINGHAM ROAD  
ELEV = 595.37

EX. STORM SEWER		
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[illegible]

ORIGINAL ISSUE DATE:  
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SCALE: 1" = 20'

DRAWING NUMBER

C-3.1



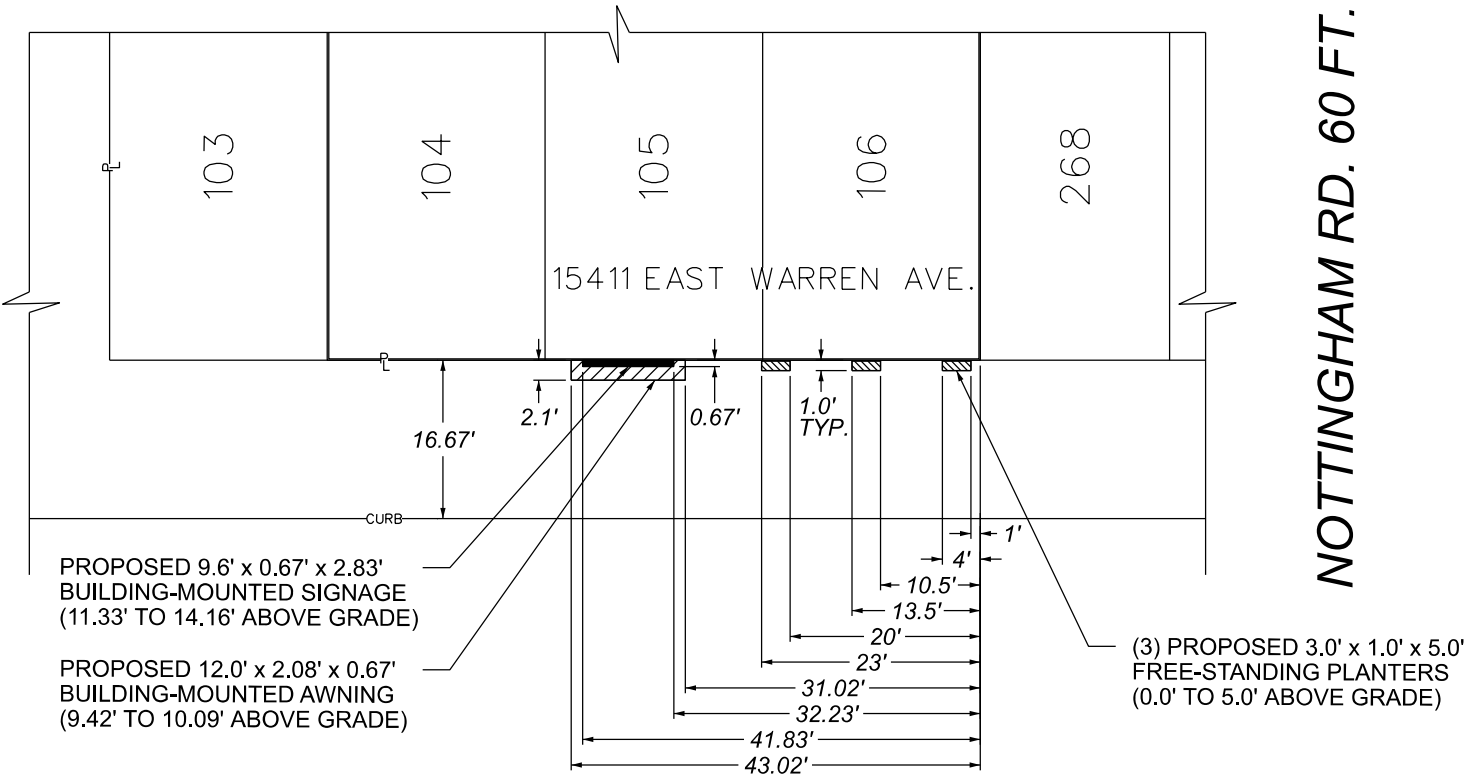







BEACONSFIELD RD. 60 FT. WD.

PUBLIC ALLEY 16 FT. WD.

NOTTINGHAM RD. 60 FT. WD.



EAST WARREN AVE. 105 FT. WD.

-  - REQUEST ENCROACHMENT (FOR FREE-STANDING PLANTERS)
-  - REQUEST ENCROACHMENT (FOR BUILDING-MOUNTED AWNING)
-  - REQUEST ENCROACHMENT (FOR BUILDING-MOUNTED SIGNAGE)

(FOR OFFICE USE ONLY)

FRANKFORT AVE. 60 FT. WD.

BEACONSFIELD RD. 60 FT. WD.

NOTTINGHAM RD. 60 FT. WD.

12	256
11	257
10	258
9	259
8	260
7	261
6	262
5	263
4	264
3	265
2	266
1	267

103	270
104	271
105	272
106	273
268	274

EAST WARREN AVE. 105 FT. WD.

CARTO 64 A

B				
A				
DESCRIPTION	DRWN	CHKD	APPD	DATE
REVISIONS				
DRAWN BY	TS	CHECKED	AP/LC	
DATE	04-08-2025	APPROVED	GE	

REQUEST ENCROACHMENTS  
INTO EAST WARREN AVE.  
AT 15411 EAST WARREN AVE.

CITY OF DETROIT CITY ENGINEERING DIVISION SURVEY BUREAU	
JOB NO.	25-14
DRWG. NO.	



LEGAL DESCRIPTION (AS PROVIDED)

(PER: WARRANTY DEED AS RECORDED IN L.56526-P.376 OF WAYNE COUNTY RECORDS)

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UTILITY REFERENCES

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RECEIVED: (NO RESPONSE)

SAN: CITY OF DETROIT  
RECEIVED: (NO RESPONSE)

STORM: CITY OF DETROIT  
RECEIVED: (NO RESPONSE)

GAS: DTE ENERGY  
RECEIVED: 01/03/2024

ELEC: DTE ENERGY  
RECEIVED: (NO RESPONSE)

ELEC: DETROIT PUBLIC LIGHTING  
RECEIVED: (NO RESPONSE)

PHONE: AT&T  
RECEIVED: 01/02/2024

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BENCHMARKS

DATUM: NAVD88

TO ACHIEVE CITY OF DETROIT DATUM, SUBTRACT 479.60 FROM NAVD88

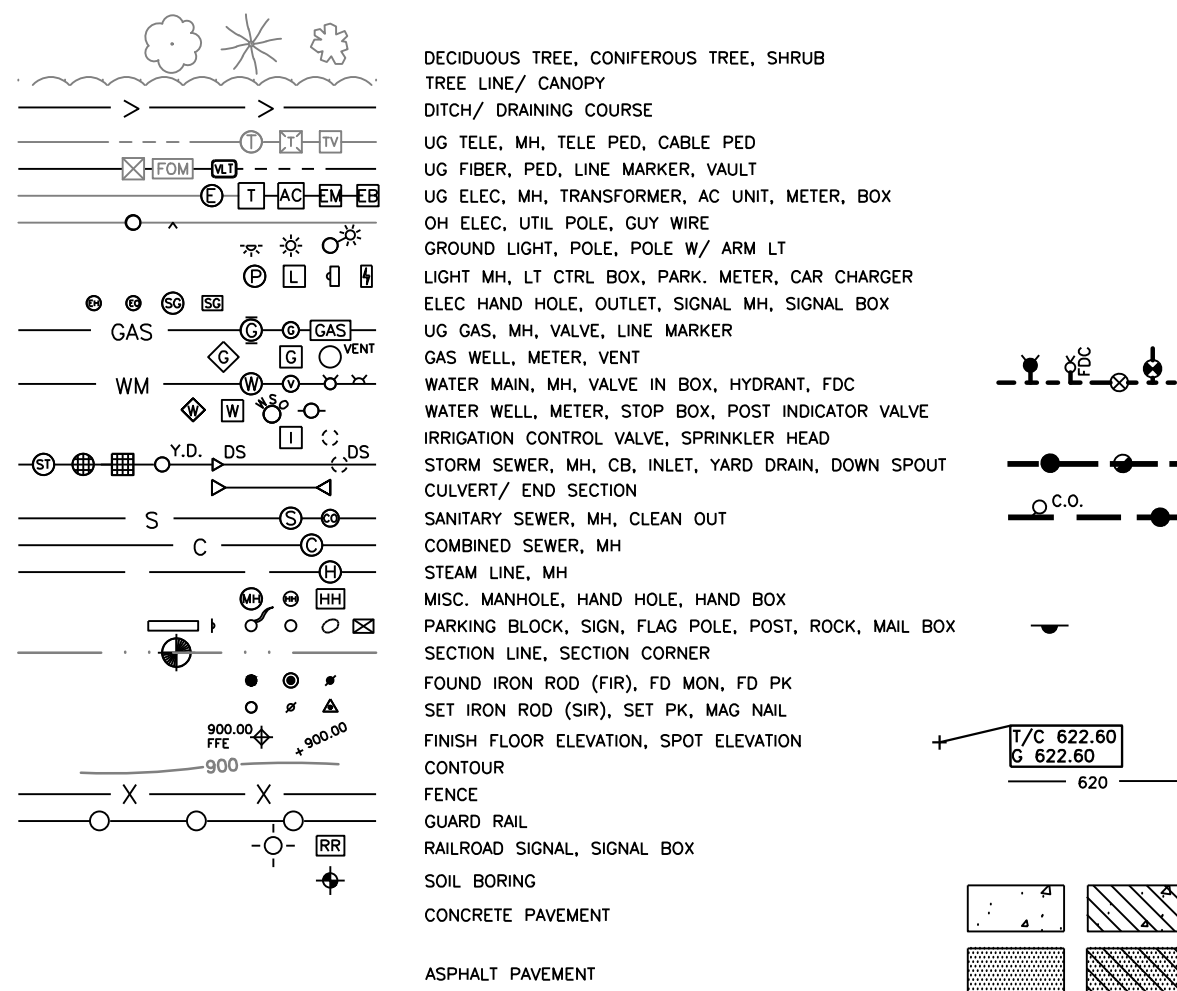
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ELEV = 596.65

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ELEV = 595.90

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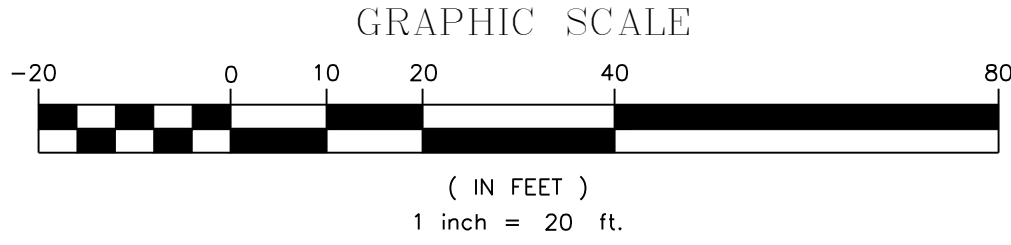
EXISTING LEGEND



PROPOSED

GENERAL UTILITY NOTES:

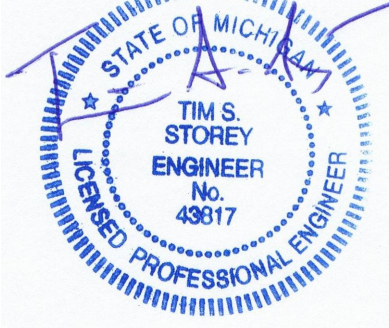
- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF DETROIT. REFER TO DETAIL SHEETS C-7.1 AND C-7.2 FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWER DEPARTMENT AT (313) 833-4682 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION ON THE SEWER AND WATER SYSTEMS.
- ALL SANITARY SEWER & STORM LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3034 UNLESS OTHERWISE NOTED. MINIMUM PIPE SLOPE IS 1.04%.
- ANY NECESSARY CLEANOUTS SHALL BE PROVIDED WITHIN METAL BOXES (EJW #1565 OR EQUAL). REFER TO SHEET C-7.1 FOR SEWER CLEANOUT DETAIL.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF DETROIT. CONTRACTOR SHALL ALLOW FOR SUBMITTING PLANS TO ENGINEERING/DPW/RIGHT OF WAY/DWSD/PARKING DEPARTMENTS FOR FINAL APPROVAL AND ISSUANCE OF PERMITS.
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5') DEGREE BENDS, PROPERLY ANCHORED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY/COMBINED SEWER OR STRUCTURE.
- ALL WATER SERVICES 2" AND SMALLER SHALL BE TYPE K COPPER. WATER LINES 3" AND LARGER SHALL BE DUCTILE IRON WATER MAIN, CLASS 54.
- ALL STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF DETROIT STANDARDS. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR PRIOR TO CONSTRUCTION TO CONFIRM THAT ALL MATERIALS ARE IN ACCORDANCE WITH CITY REQUIREMENTS.



LOCATION MAP  
NOT TO SCALE

UTILITY CROSSING INFORMATION

- PR 3" ST B/P=592.10  
EX 6" SAN T/P=590.10±  
CLEARANCE=2.00'  
(FIELD VERIFY EXACT DEPTH OF SANITARY SEWER LEAD PRIOR TO CONSTRUCTION)
- PR 8" ST T/P=588.30  
EX GAS LINE B/P=594.20±  
CLEARANCE=5.90'
- PR 2" WM T/P=590.05  
EX GAS LINE B/P=594.05±  
CLEARANCE=4.00'
- PR 2" ST T/P=590.01  
EX GAS LINE B/P=594.01±  
CLEARANCE=4.00'



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15411 E WARREN AVE. DETROIT, MI 48224		15411 E WARREN AVE. DETROIT, MI 48224	
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN		CITY OF DETROIT, WAYNE COUNTY, MICHIGAN	
DES.	TSS	DN.	TSS
		SUR.	AMP
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ORIGINAL ISSUE DATE:  
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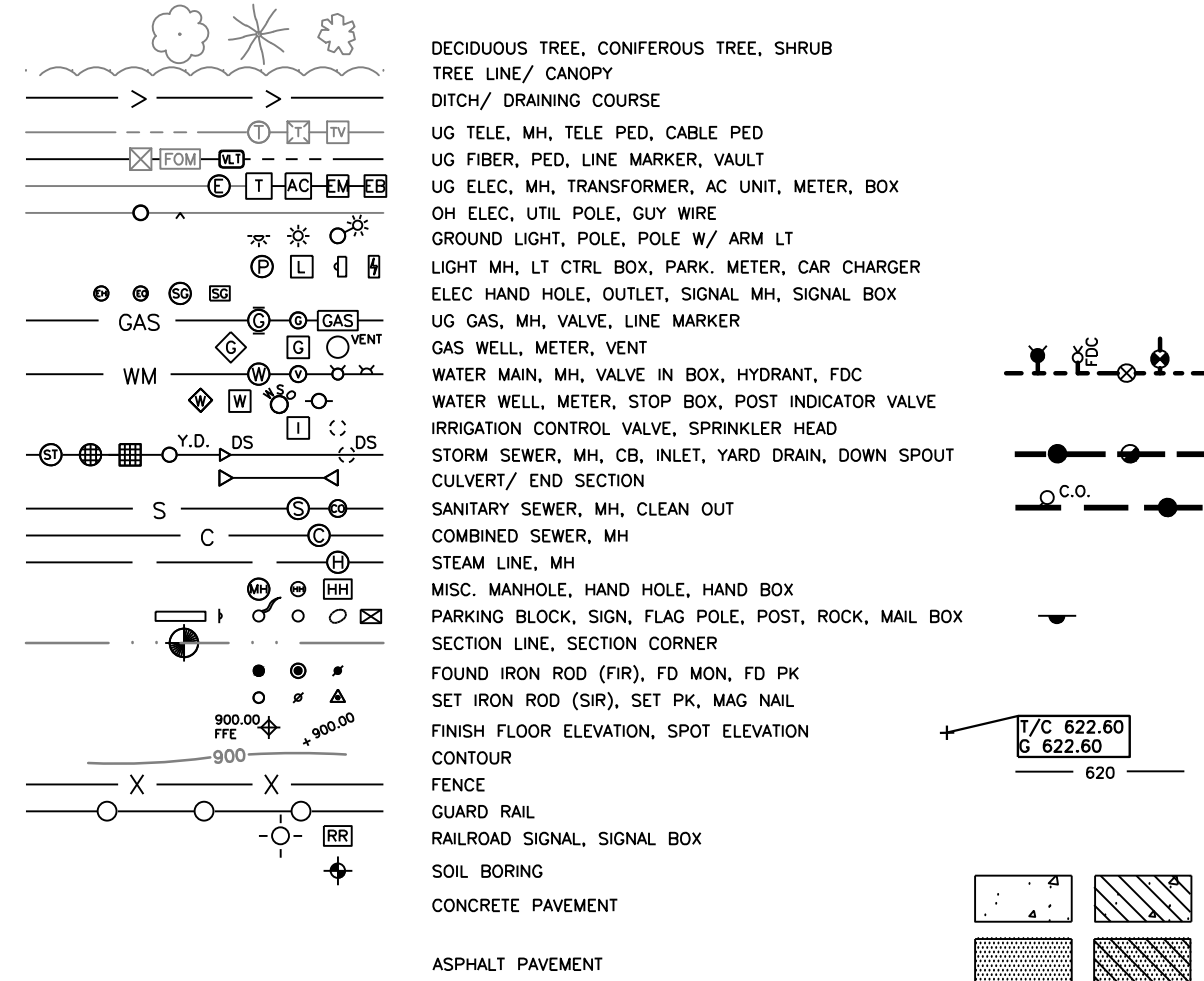
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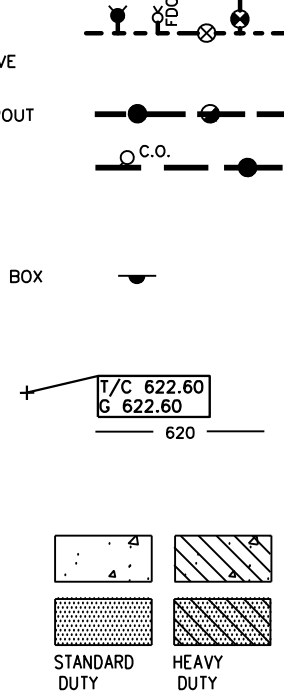
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(50296) CBS	595.95	FILLED WITH DIRT AT TIME OF SURVEY
(50370) CBS	595.08	NO VISIBLE PIPES BOTTOM=590.08
(50378) MH	595.79	MH ASPHALTED OVER AT TIME OF SURVEY

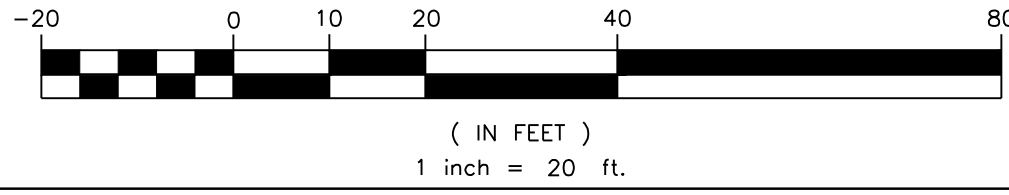
EXISTING LEGEND



PROPOSED



GRAPHIC SCALE



SEQUENCE OF CONSTRUCTION:

START DAY	END DAY	
MAR 1	SEP 1	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET FILTERS, ETC. AS NECESSARY.
MAR 1	SEP 1	MAINTAIN A 25' BUFFER OF VEGETATION AROUND PERIMETER OF SITE WHERE POSSIBLE.
MAR 7	MAR 14	SAWCUT & REMOVE EXISTING PAVEMENT & OTHER DEMOLITION ITEMS. STRIP AND STOCKPILE STONE AGGREGATE. STOCKPILE SHALL BE SURROUNDED WITH SILT FENCE. REMOVE MISCELLANEOUS DEBRIS FROM THE SITE.
MAR 14	APR 1	GRADE SITE, GRADE PARKING & GREENBELT AREAS, DISPOSE ANY EXCESS MATERIAL OFF-SITE. TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 15 DAYS OR LONGER.
MAR 14	AUG 15	BUILDING RENOVATIONS.
APR 15	MAY 15	INSTALL UTILITIES & PLACE INLET FILTERS AT ALL NEW CATCH BASINS.
MAY 15	JUN 1	GRADE SITE TO DRAIN TO STORM SEWER, PREPARE SUBGRADE & PLACE SAND & GRAVEL BASE MATERIAL.
JUN 1	JUN 21	FINISH GRADE AND INSTALL CURB & GUTTER, CONCRETE & ASPHALT PAVEMENT IN ACCORDANCE WITH PROPOSED PAVING AND GRADING PLANS.
JUN 15	JUL 15	INSTALL LANDSCAPING
AUG 1	AUG 15	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
AUG 15	AUG 21	CLEAN PAVEMENT, AND RE-ESTABLISH VEGETATION AS REQUIRED.
AUG 21	SEP 1	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED AND CERTIFICATE OF COMPLETION HAS BEEN ISSUED BY THE CITY OF DETROIT.



LOCATION MAP  
NOT TO SCALE

SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:

- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS OCCURRED.
- ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROMPT MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.
- ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE REMOVED DAILY BY SCRAPING. STREET SWEEPING IS REQUIRED WEEKLY.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR REBACKFILL THE SILTATION FENCE SHOULD IT FALL OR BE DAMAGED DURING CONSTRUCTION.
- INLET FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED SILT OR OTHER DEBRIS. THE REMOVAL OF SILT SHOULD BE WITH THE USE OF A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTERS CAN NOT BE CLEANED OR ARE DAMAGED, THEN THE FABRIC MUST BE REPLACED.
- A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.

STREET CLEANING SCHEDULE

	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
SCRAPE STREETS		X		X		X	
SWEEP STREETS				X		X	

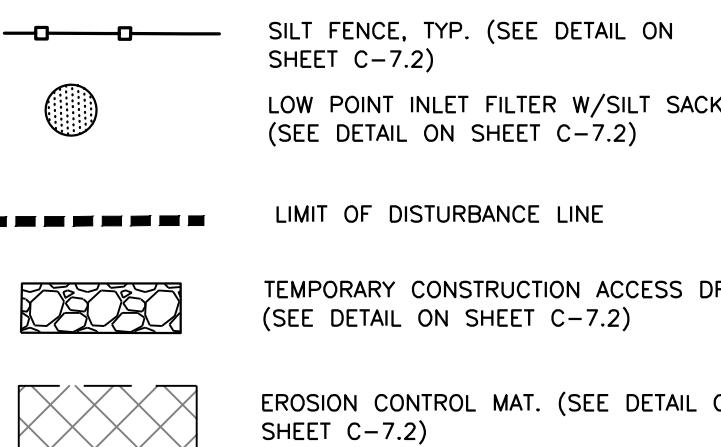
SOIL EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE WAYNE COUNTY DEPT OF ENVIRONMENT AND THE CITY OF DETROIT
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND A CERTIFICATE OF COMPLETION HAS BEEN ISSUED BY THE PERMITTING AGENCY.
- STAGING THE WORK SHALL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.

SEEDING, FERTILIZER & MULCH

- TOP-SOIL: PROVIDE MINIMUM 3 INCH DEPTH
- GRASS SEED APPLICATION: 210 LBS PER ACRE.
- FERTILIZER APPLICATION: 150 LBS PER ACRE.
- STRAW MULCH: MIN. 3 INCH DEPTH (1.5 TONS TO 2.0 TONS PER ACRE)
- NOTE: ALL MULCHING MUST HAVE TIE DOWN, SUCH AS TACKIFIER, NET BINDING, ETC.
- NOTE: HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1% IN SUCH CASES, STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER.

SYMBOLS: STORM, EROSION & GRADING



EROSION CONTROL QUANTITIES

FABRIC SILTATION FENCING	632 LF.
INLET FILTER	6 EA.
MULCH MAT STAKED IN PLACE	189 SY.
12" x 50" CONSTRUCTION ENTRANCE	1 EA.

NOTE:  
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF DETROIT STANDARDS AND SPECIFICATIONS.

NOTE:  
CONTRACTOR TO PROVIDE SOIL EROSION CONTROL INSPECTIONS AS REQUIRED BY THE CITY OF DETROIT.

GENERAL SITE CONDITIONS:

- SOIL TYPE:  
According to the USDA Web Soil Survey, Site Soils are Classified as UrbanB - URBAN LAND - Riverfront Complex, 0 TO 4% SLOPES, Loamy Sand over Sand + Gravel, Well Drained
- The property is currently occupied by a commercial building and a gravel parking lot.
- Total Disturbed Area = 0.38 Acres

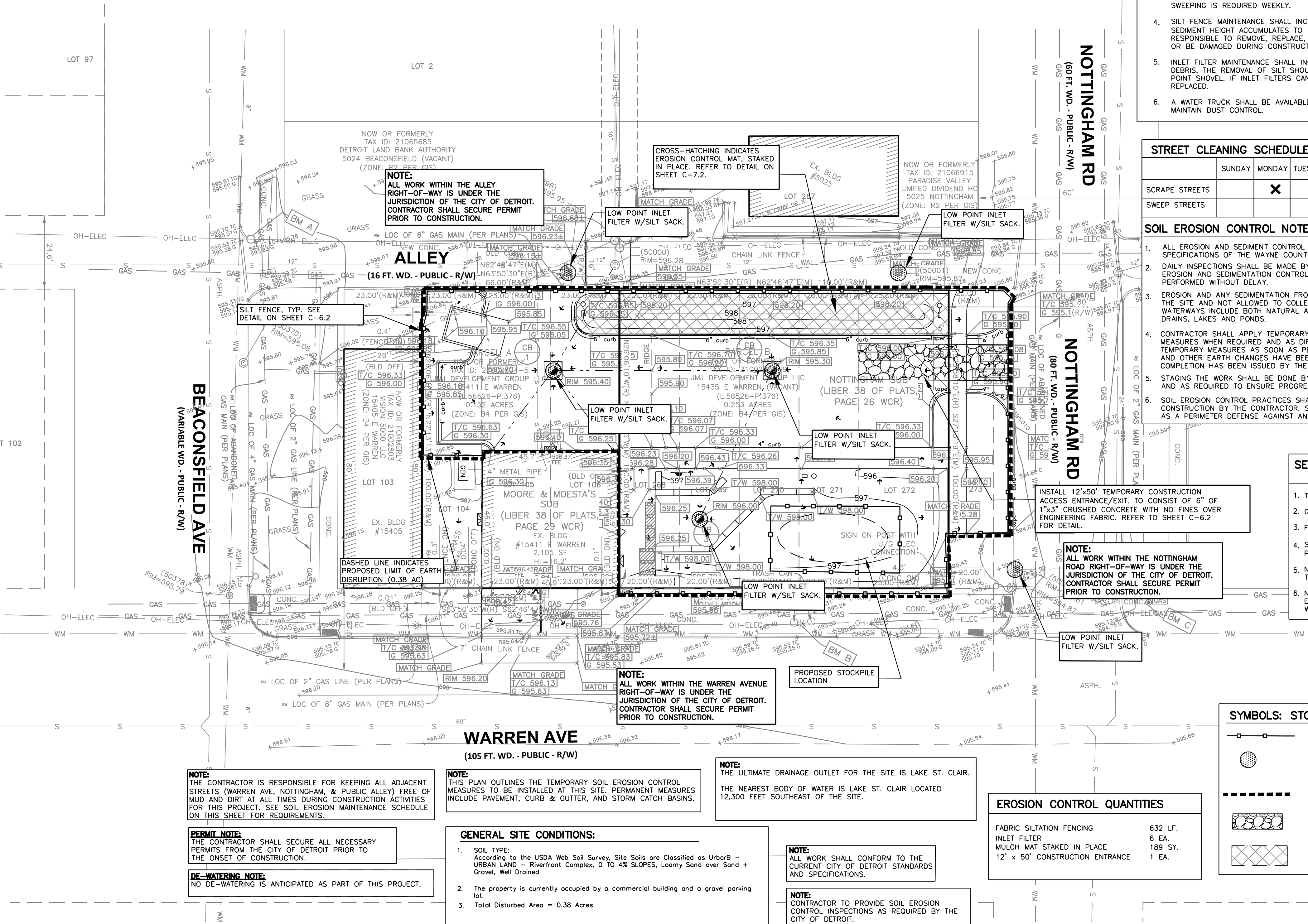
NOTE:  
THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT STREETS (WARREN AVE, NOTTINGHAM, & PUBLIC ALLEY) FREE OF MUD AND DIRT AT ALL TIMES DURING CONSTRUCTION ACTIVITIES FOR THIS PROJECT. SEE SOIL EROSION MAINTENANCE SCHEDULE ON THIS SHEET FOR REQUIREMENTS.

PERMIT NOTE:  
THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FROM THE CITY OF DETROIT PRIOR TO THE ONSET OF CONSTRUCTION.

DE-WATERING NOTE:  
NO DE-WATERING IS ANTICIPATED AS PART OF THIS PROJECT.

NOTE:  
THIS PLAN OUTLINES THE TEMPORARY SOIL EROSION CONTROL MEASURES TO BE INSTALLED AT THIS SITE. PERMANENT MEASURES INCLUDE PAVEMENT, CURB & GUTTER, AND STORM CATCH BASINS.

NOTE:  
THE ULTIMATE DRAINAGE OUTLET FOR THE SITE IS LAKE ST. CLAIR. THE NEAREST BODY OF WATER IS LAKE ST. CLAIR LOCATED 12,300 FEET SOUTHEAST OF THE SITE.





1. All construction and materials shall be in accordance with the current standards and specifications of The City of Detroit.
2. The contractor shall be responsible for dust control during the periods of construction.
3. Prior to any excavation, the Contractor shall contact M55 DIG (313)482-7171 to verify the location of any existing underground utilities and shall notify representatives of other utilities in the vicinity of the work.
4. All properties or facilities in the surrounding areas, public or private, destroyed or otherwise disturbed due to construction, shall be replaced and/or restored to the original condition by the Contractor.
5. All necessary permits, bonds, insurances, etc., shall be paid by the Contractor. The Owner shall pay for all inspection fees.
6. All pavement elevations are for finish pavement grade, unless otherwise noted.
7. Manhole, catch basin, gate well rims and hydrant finish grade elevations must be checked closely and approved by the Engineer before the Contractor's work is considered complete.
8. Contractor shall remove and dispose of off-site any trees, brush, stumps, trash or other unwanted debris, at the Owner's direction, including old building foundations and floors. Burning of trash, stumps or other debris will not be allowed.
9. The Contractor shall provide all necessary barricades, lights and traffic control devices to protect the work and safely maintain traffic in accordance with the "MCD".
10. All excavations shall be sloped, shored or braced in accordance with MI-OSHA requirements. The contractor shall provide an adequately constructed and braced shoring system for employees working in any excavation that may expose employees to the danger of moving ground.
11. All references to M.D.O.T. Specifications are to be in accordance with the 1990 Standard Specifications for Construction.

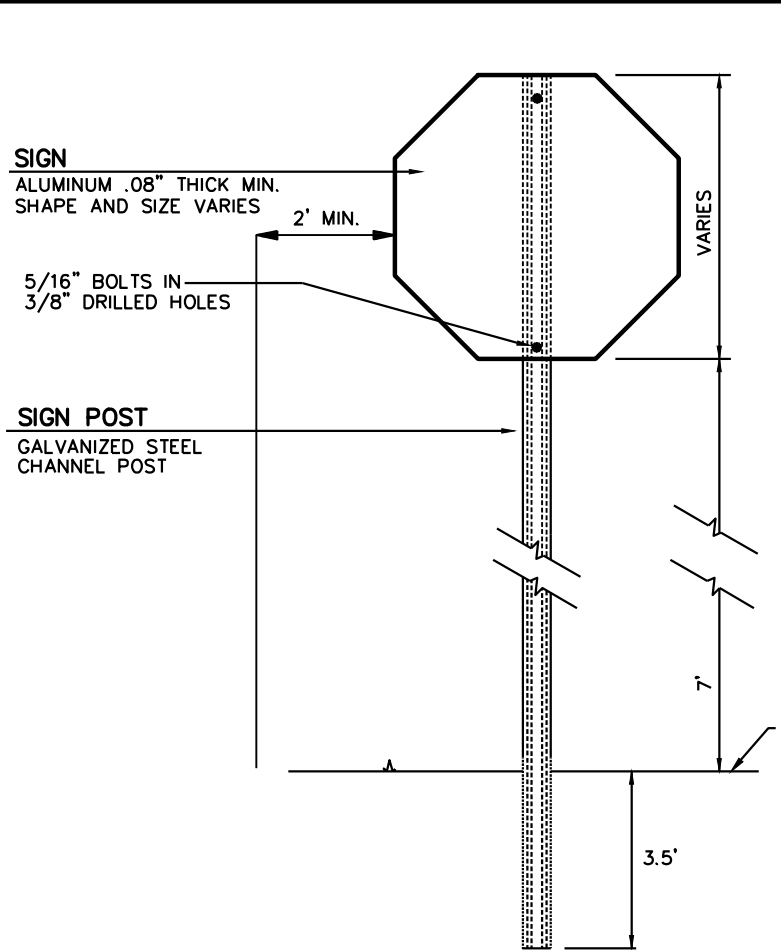
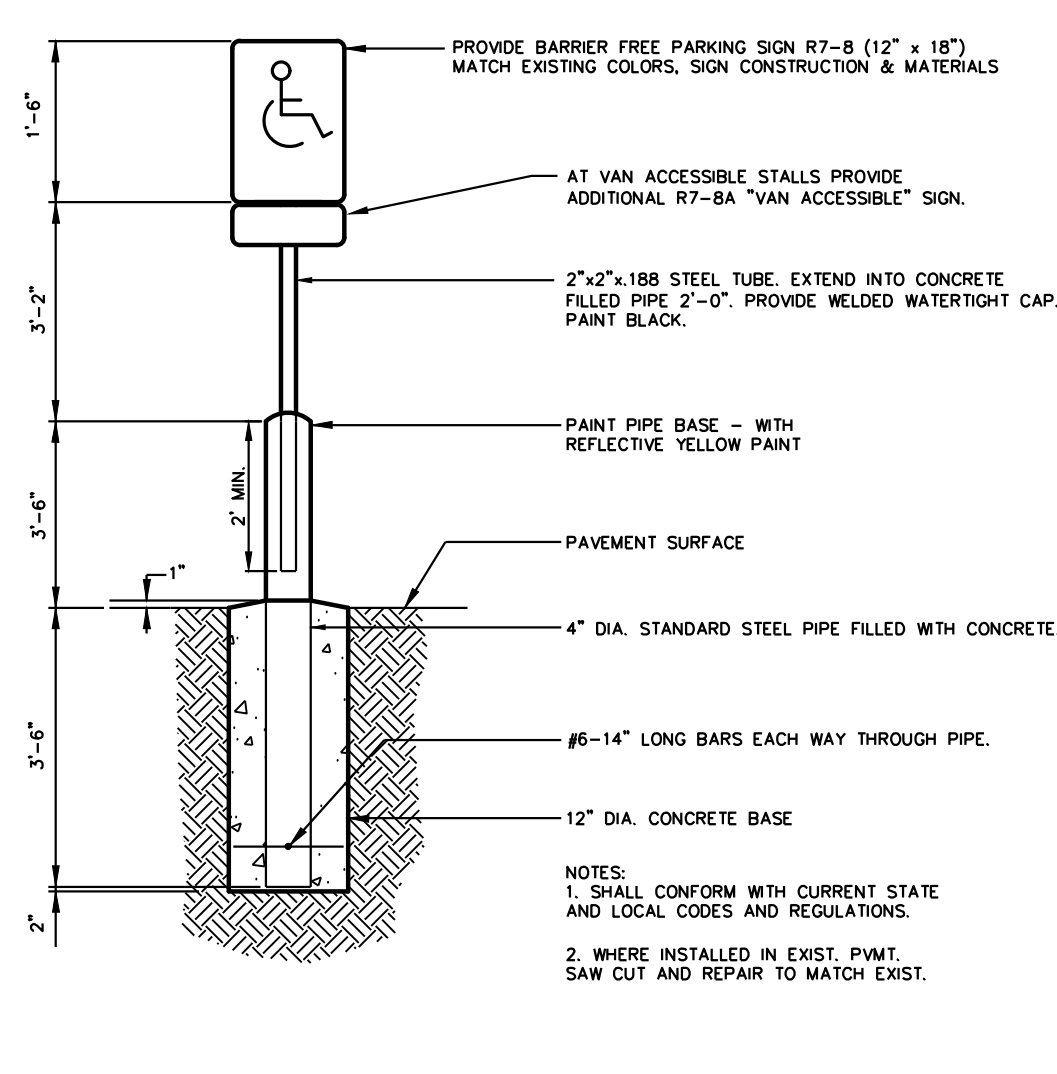
1. Allowable materials for underdrain are as follows:
  - a. P.V.C. Plastic Pipe (Polyvinyl Chloride)(perforated w/sock)
  - b. A.B.S. Plastic Pipe (Acrylonitrile Butadiene Styrene)(perforated w/sock)
  - c. A.B.S. Truss Pipe (Acrylonitrile Butadiene Styrene)(perforated w/sock)
  - d. H.D.P.E. corrugated & perforated w/sock
2. Perforated pipe shall be provided within a sock or geotextile fabric wrap.
3. Underdrain shall be installed as shown on the plan.

1. All workmanship and materials shall be in accordance with the current standards and specifications of the City of Detroit.
2. In areas where new pavements are being constructed, the topsoil and soil containing organic matter shall be removed prior to pavement construction.
3. Subgrade undercutting, including backfilling, shall be performed to replace material susceptible to frost heaving and unstable soil conditions. Any excavation that may be required below the topsoil in fill sections or below subgrade in cut sections, will be classified as subgrade undercutting.
4. Subgrade undercutting shall be performed where necessary and the excavated material shall become the property of the contractor. Any subgrade undercutting shall be backfilled with sand or other similar approved material. Backfill shall be compacted to 95% of the maximum unit weight, unless otherwise specified.
5. Backfill under paved areas shall be as specified on details.

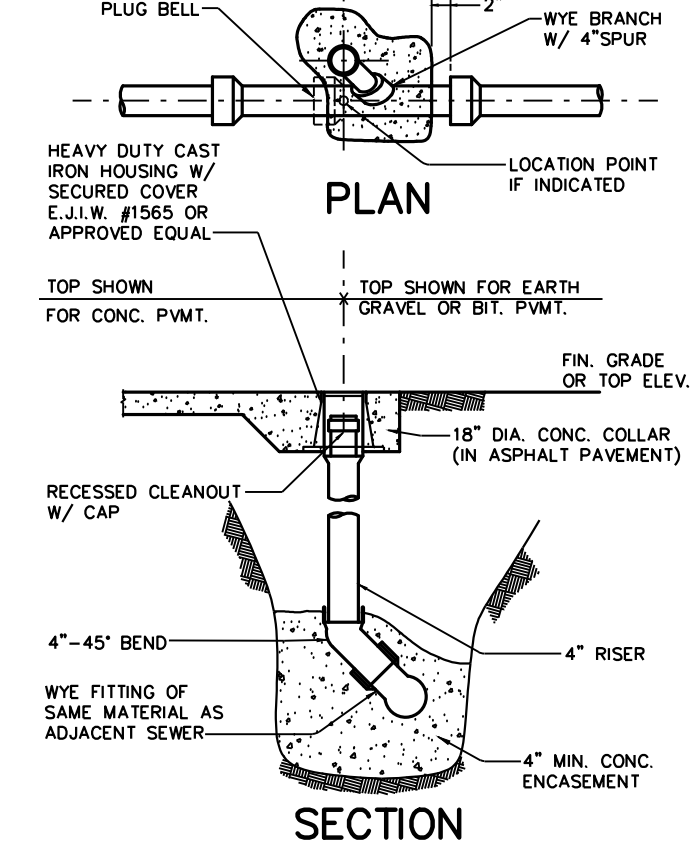
1. All erosion and sediment control work shall conform to standards and specifications of the Wayne County Department of Environment and the City of Detroit.
2. Daily inspections shall be made by the contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
3. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, and ponds.
4. Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. He shall maintain temporary measures as long as necessary for stabilization of slopes, ditches, and other changes have been accomplished.
5. Staging the work will be done by the contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
6. Soil erosion control practices will be established in early stages of construction by the Contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the

1. All workmanship and materials shall be in accordance with the current standards and specifications of the City of Detroit.
2. It shall be the Contractor's responsibility to verify the existence and location of all underground utilities.
3. All sewer trenches under or within three (3) feet of the 45° zone of any line of excavation or trench or gravel shall be backfilled with sand compacted to at least 95% of maximum unit weight.
4. All storm sewers shall be installed on a minimum of 6" MDOT 21AA aggregate placed to the top of the pipe, compacted to 95% of maximum density (ASTM D-1557).
5. All storm sewers shall be PVC Schedule 40 unless otherwise noted.
6. Joints for PVC storm sewers shall be glued and meet ASTM D-2564 unless specified otherwise.
7. Whenever existing manholes or sewer pipe are to be topped, drill holes at center to center of the manhole or the periphery of openings to create a plane of weakness joint before breaking the section out.

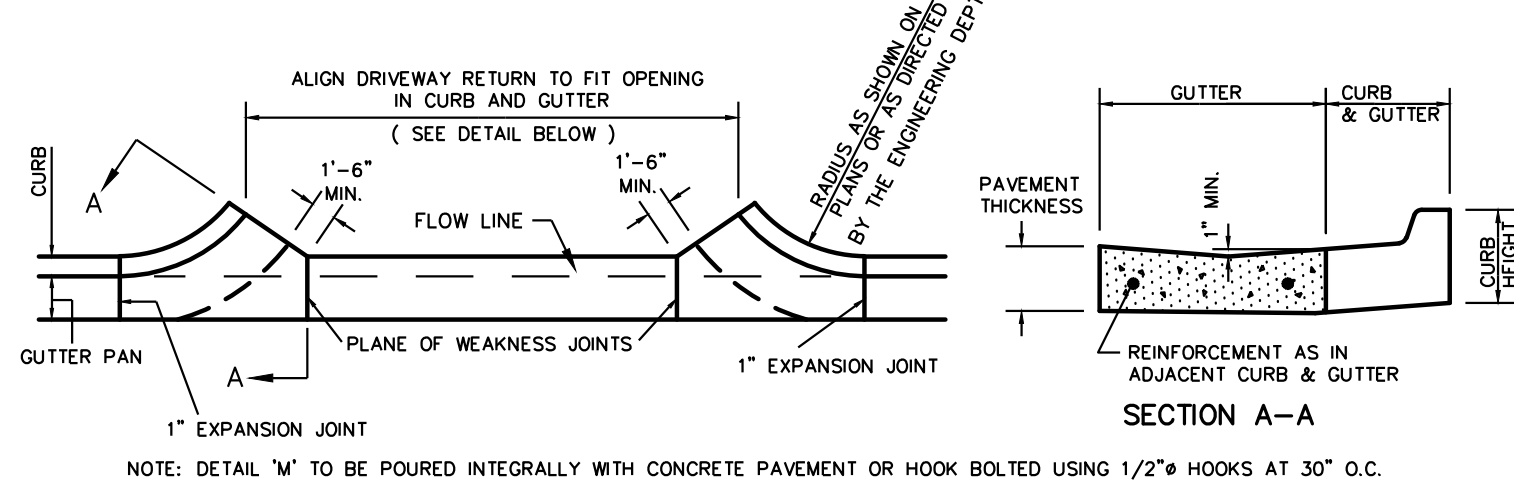
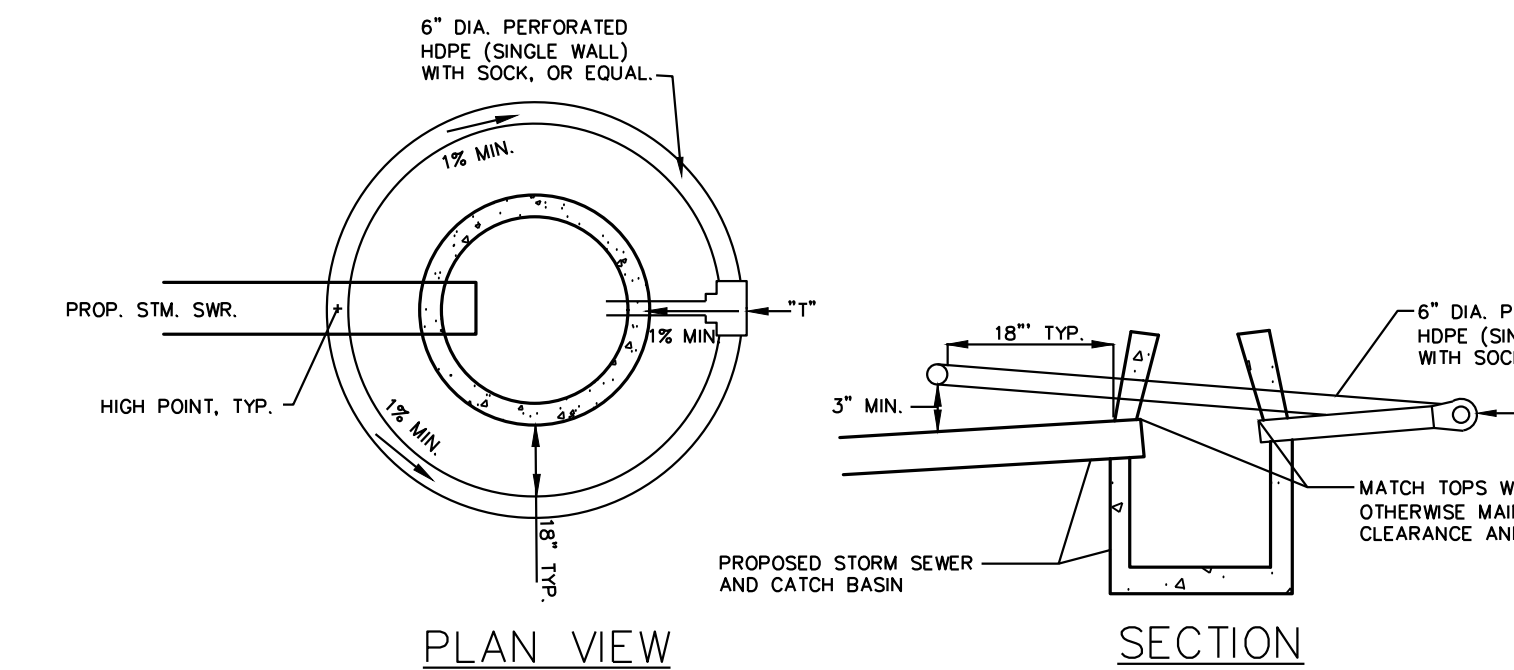
1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL WORKSMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING ROAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND OR COARSE TOED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
6. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY/COMBINED SEWER OR STRUCTURE.
7. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
8. ALL STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF DETROIT STANDARDS. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR PRIOR TO CONSTRUCTION TO CONFIRM THAT ALL MATERIALS ARE IN ACCORDANCE WITH CITY REQUIREMENTS.



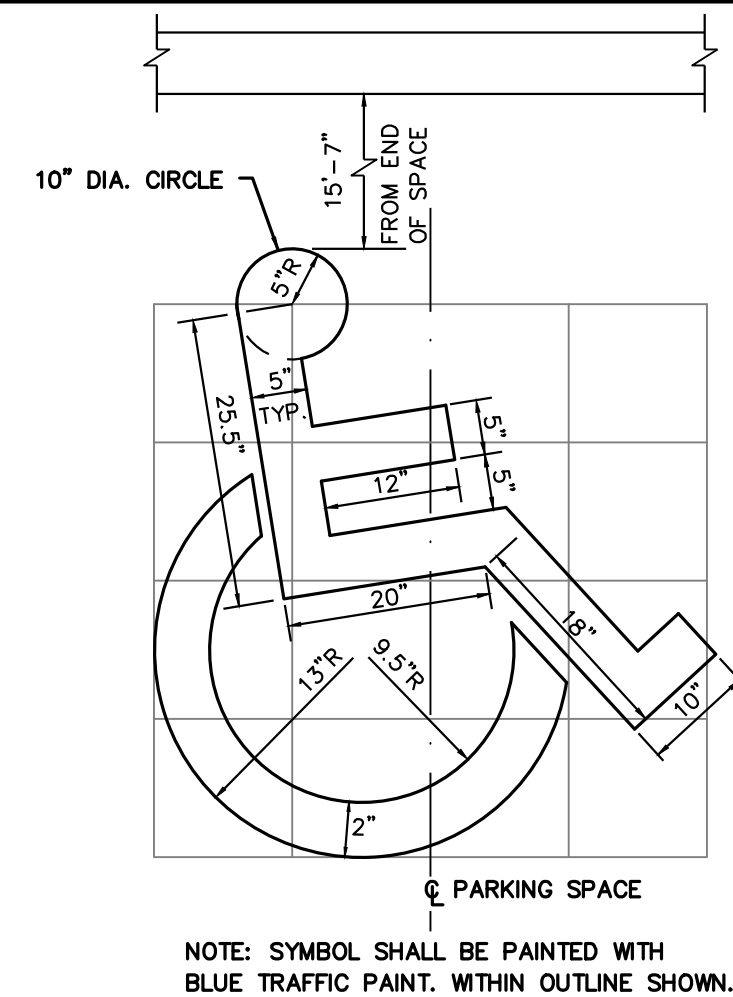
IF END OF LINE, |



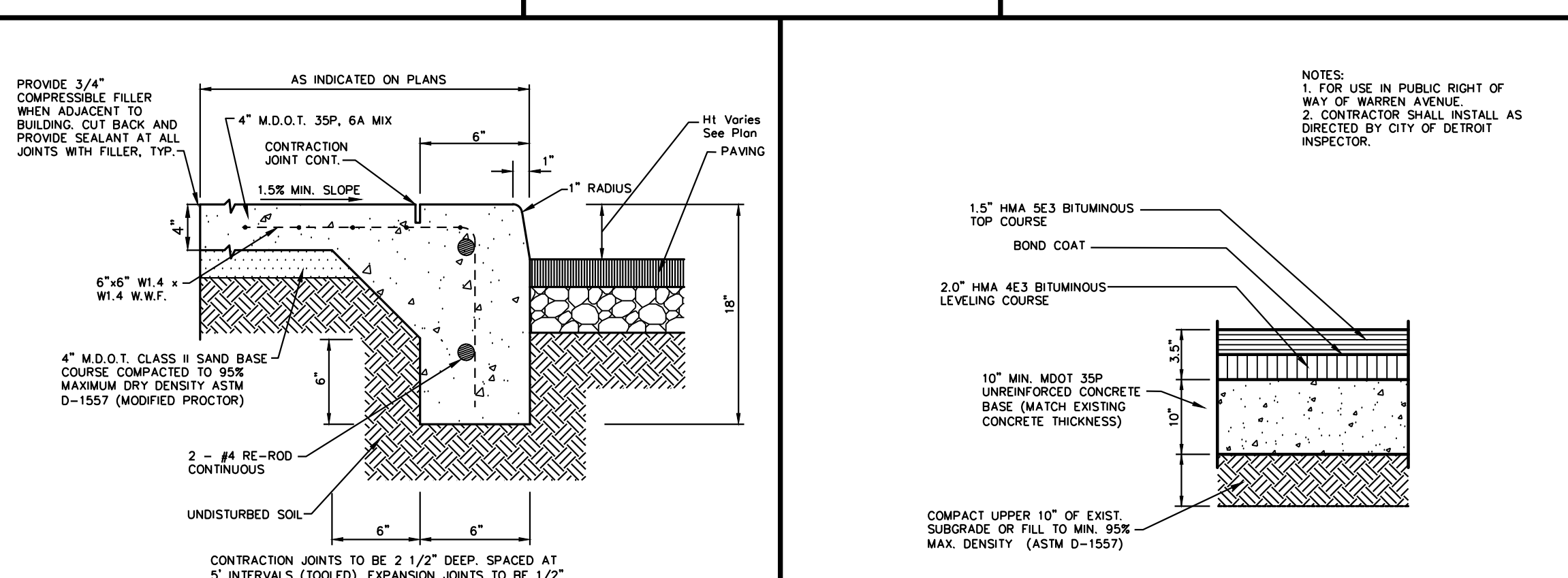
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6" DIA. PERFORATED  
HDPE (SINGLE WALL)

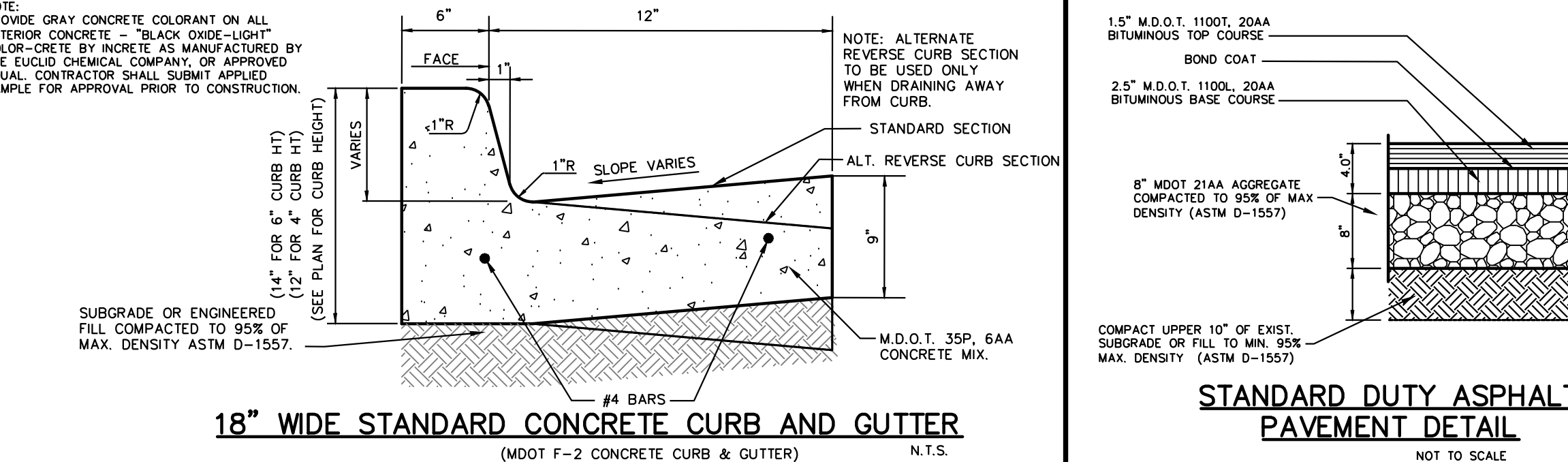
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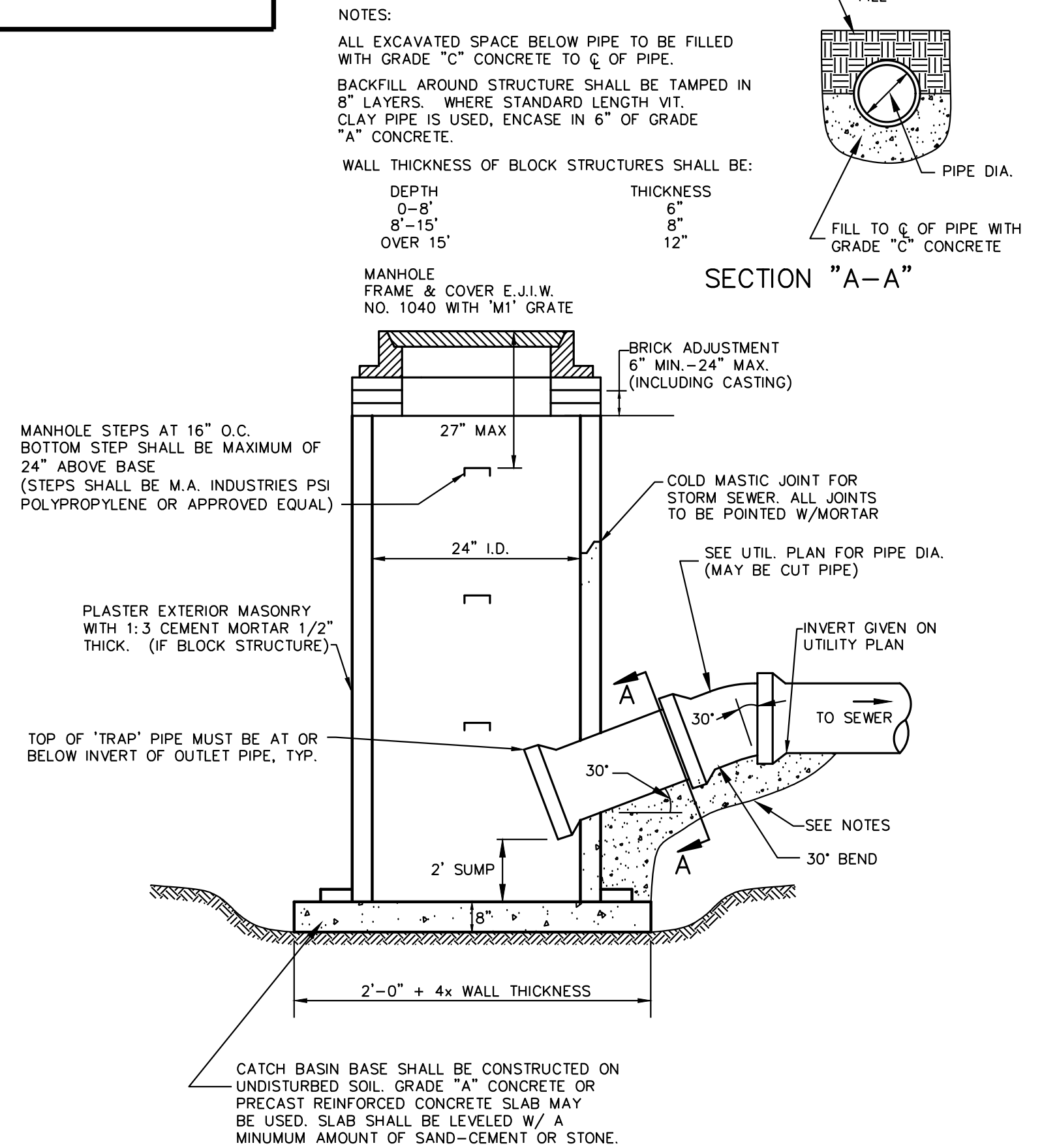
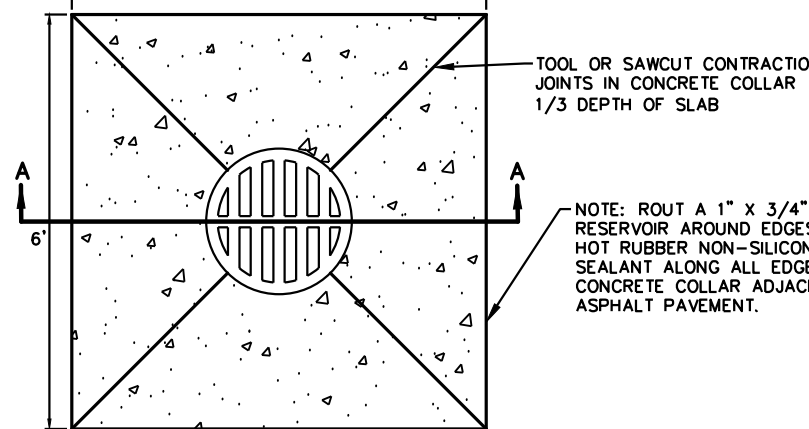
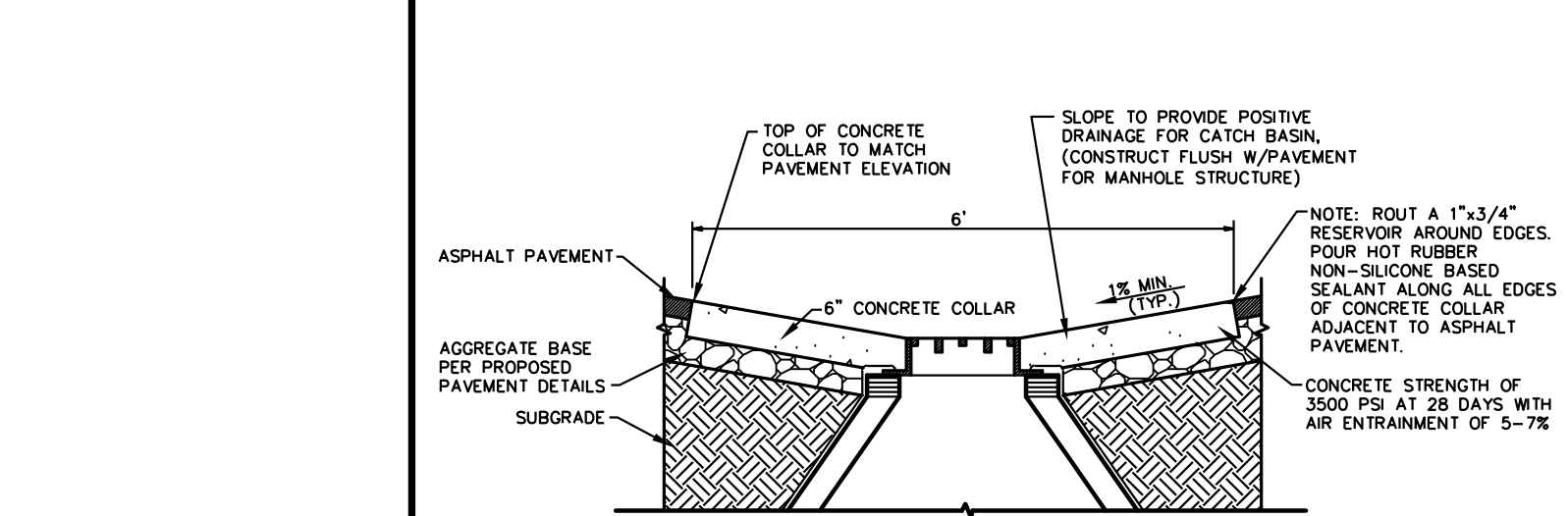
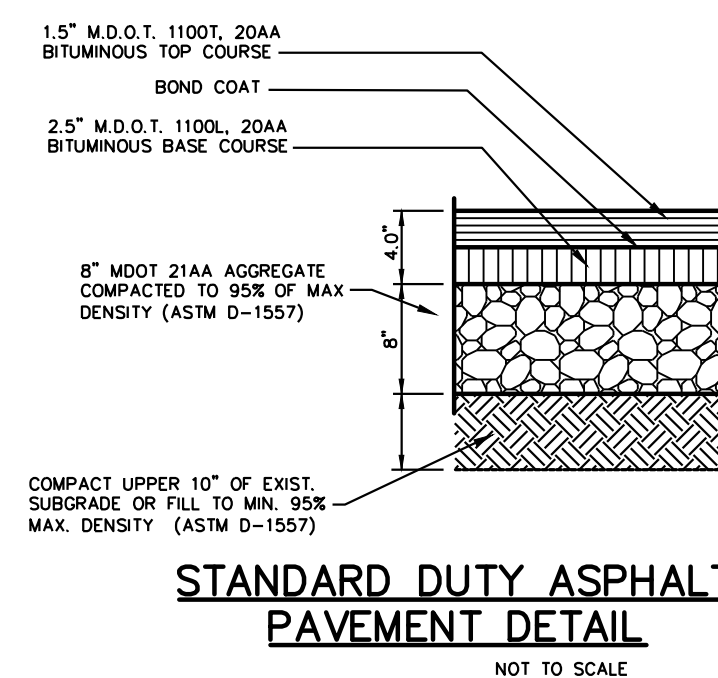
N.T.S.



6" 12"

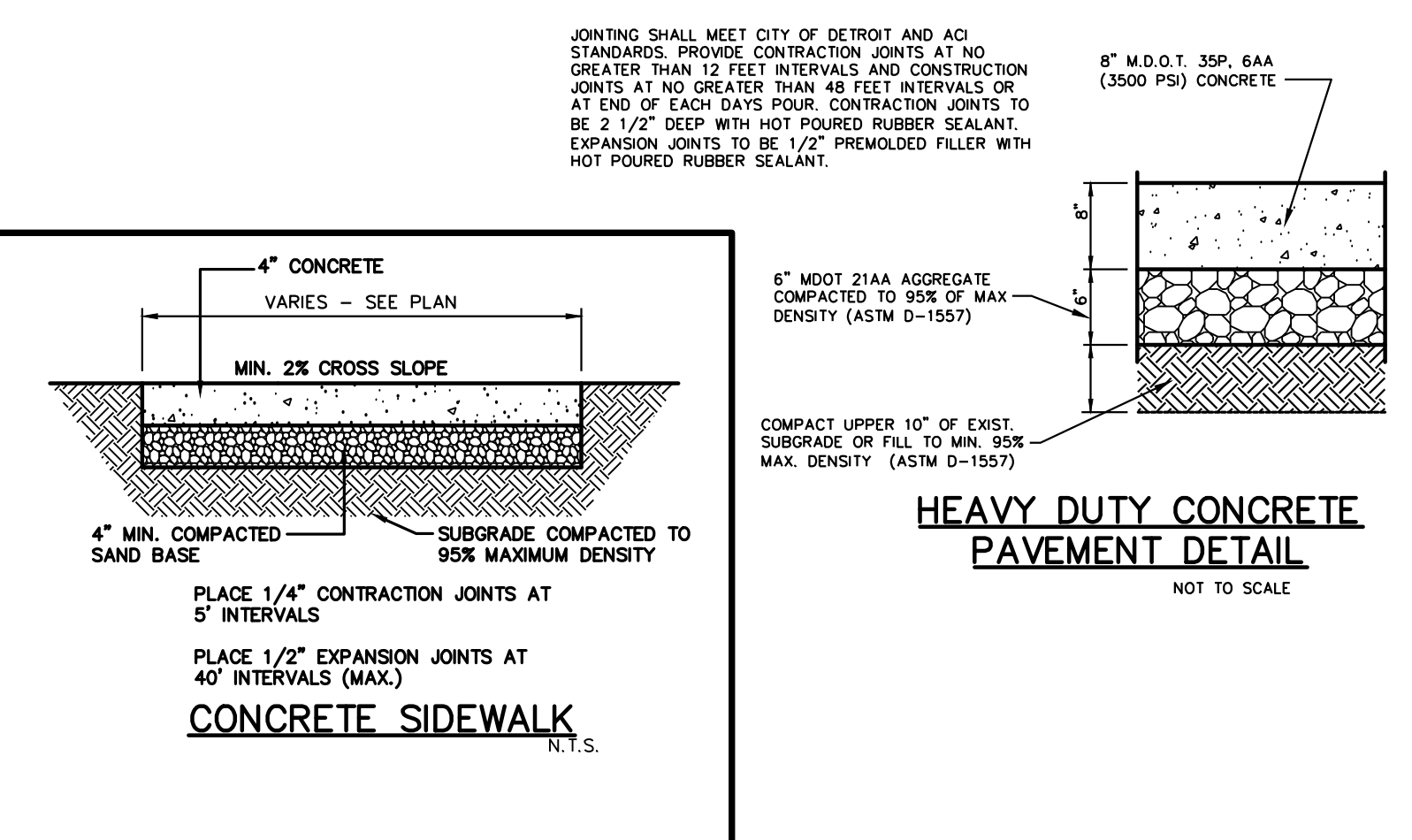


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N. I. S.



REVISIONS

No.	DATE	BY	DESCRIPTION



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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL PRACTICES OF CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, USE OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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NOTES + DETAILS

GALAVANT SPIRITS

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CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

DES.	TSS	DN	SUR.	AWP	P.M.	TSS

ORIGINAL ISSUE DATE:  
December 20, 2024

PROJ. NO. 2023-007

DRAWING NUMBER:  
C-7.1

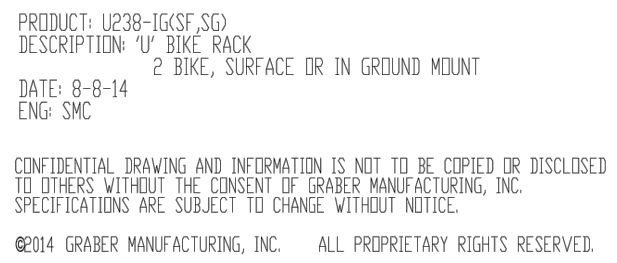




NOT TO SCALE

- BIKE RACK DETAIL  
NOT TO SCALE

NOT TO SCALE



PRODUCT: U238-1G(SF,SG)  
DESCRIPTION: 1" BIKE RACK  
DATE: 8-8-14  
ENG: SMC

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**6" DIA. GUARD POST**

CEMENT WASH

6"  $\phi$  STANDARD PIPE W/CONC. FILL PAINT WITH REFLECTIVE YELLOW PAINT

PAVEMENT

1'-6"  $\phi$  CONC. BASE

NO. 4 BAR, 12" LONG EACH WAY THRU 6"  $\phi$  PIPE

4'-0"

2'-0"

DRIP, BOTH SIDES

NOTE: INSTALL SEALANT & BACKER ROD IN ALL STONE CAP JOINTS

12"

12"

DEFORMED THRU WALL FLASHING

1/2" STAINLESS STEEL DOWELS AT 32" O.C.

CONTINUOUS BOND BEAM W/ 1-#4 BAR.

6" DIA. GUARD POST, TYP.

12'0"

3.5'

5.0'

3.5'

2.0'

SPLIT-FACE BLOCK

12'0"

GATE

**PLAN VIEW**

8" DECORATIVE SPLIT-FACE MASONRY BLOCK, COLOR TO MATCH BUILDING (GROUT SOLID) (SUBMIT SHOP DRAWING FOR APPROVAL)

PROVIDE 1/2"x8" FIBER JOINT FILLER BETWEEN SLAB & WALL ASTM (D1751)

8" CONCRETE DUMPMSTER PAD 4000 PSI CONC. W/WOVEN WIRE MESH OVER 6" MDOT 21AA AGGREGATE COMPACTED TO 95% DRY DENSITY (ASTM D-1557)

SEE PLAN FOR GATE LOCATION

#4 BARS AT 16" C-C VERTICAL OVERLAPPED WITH FOOTING BARS

2" PVC SLEEVE AT 2' O.C. FOR DRAINAGE

12" MIN. OVERLAP W/FOOTING BARS, TYP.

3"

3 - #4 BARS CONT. AT 12" C-C HORIZ.

PROVIDE FOOTING BARS EVERY 16" O.C. EXTEND 12" MIN. ABOVE FOOTING

6"

16"

3'-0"

PROVIDE CONCRETE JOINTING IN ACCORDANCE WITH ACI STANDARDS.

12'0"

1" x 6" WOLMANIZED #2 SELECT FIR OR PINE ON 2" x 6" WOLMANIZED FRAME PAINTED TO MATCH COLOR OF BUILDING (SUBMIT SHOP DRAWING FOR APPROVAL)

HEIGHT TO BE 6" ABOVE TOP HINGE, TYP.

6" DIA. CONC. FILLED STEEL GUARD POST. SET IN 12" DIA. CONC. FOOTING

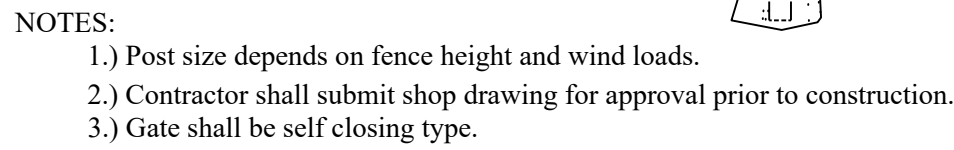
GATES CONNECTED TO GUARD POSTS BY HEAVY DUTY HINGES, TYP.

INSTALL 1" DROP LATCH, TYP.

3" CLEARANCE TO SLAB

**SINGLE GATE TRASH ENCLOSURE DETAIL**

TRASH ENCLOSURE DETAILS  
(N.T.S.)



DECORATIVE ALUMINUM FENCE DETAIL  
(N.T.S.)

(N.T.S.)

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<b>DETAILS</b> <b>GALAVANT SPIRITS</b> 15411 E WARREN AVE. CITY OF DETROIT, WAYNE COUNTY, MICHIGAN									
DES.	TSS	DN	TSS	SUR.	AMP	P.M	TSS		

ORIGINAL ISSUE DATE:  
December 20, 2024

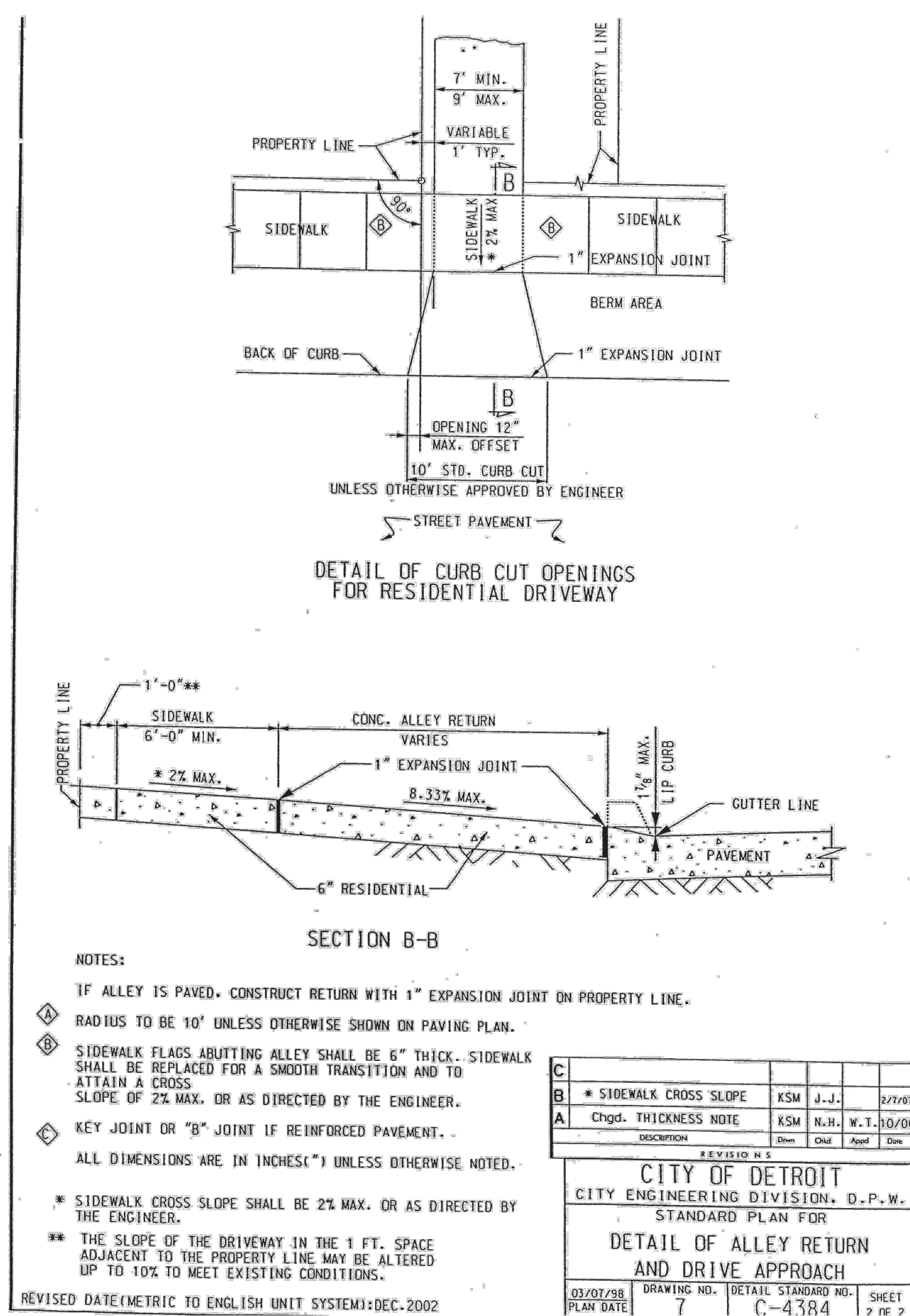
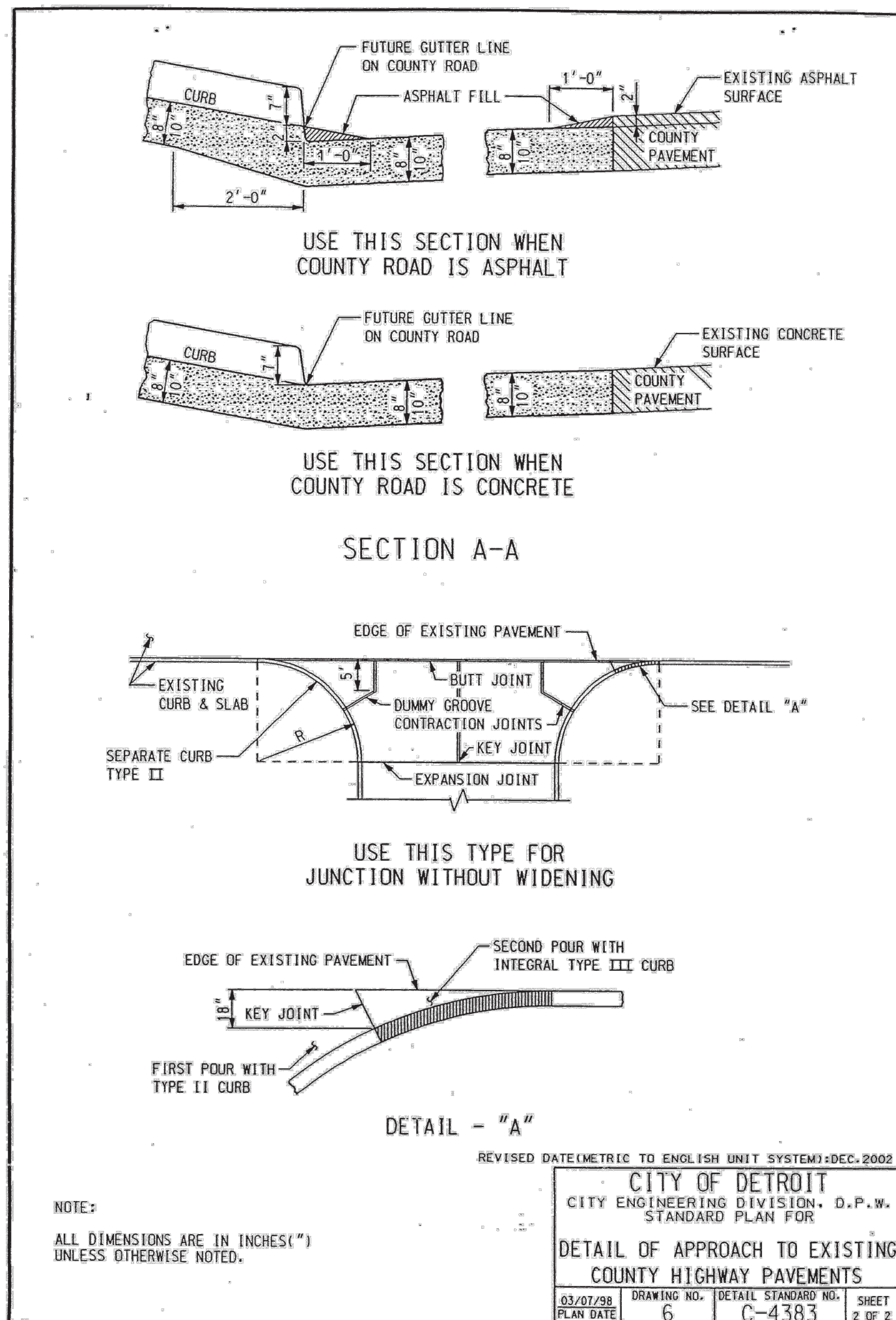
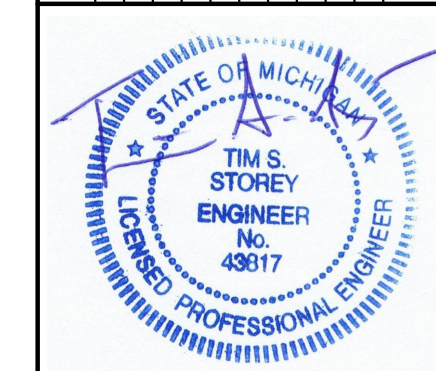
PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER

## C-7.2



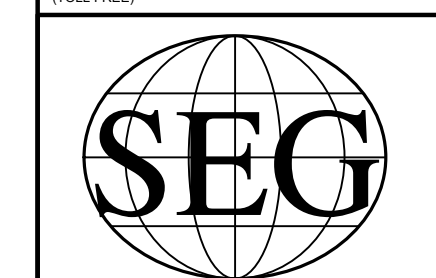
[illegible]

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERIOD OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR CONSTRUCTIVE, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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<b>GALAVANT SPIRITS</b> 15411 E WARREN AVE. DETROIT, MI 48224						
<b>CITY OF DETROIT DETAILS</b> <b>GALAVANT SPIRITS</b> 15411 E WARREN AVE CITY OF DETROIT, WAYNE COUNTY, MICHIGAN						
DES.	TSS	DN.	TSS	AWP	P.M.	TSS
05/20/2013	386.67	03/23/07	241	AWP	SPRITS	15411 E WARREN AVE - DETROIT MI 48224

ORIGINAL ISSUE DATE:  
December 20, 2024

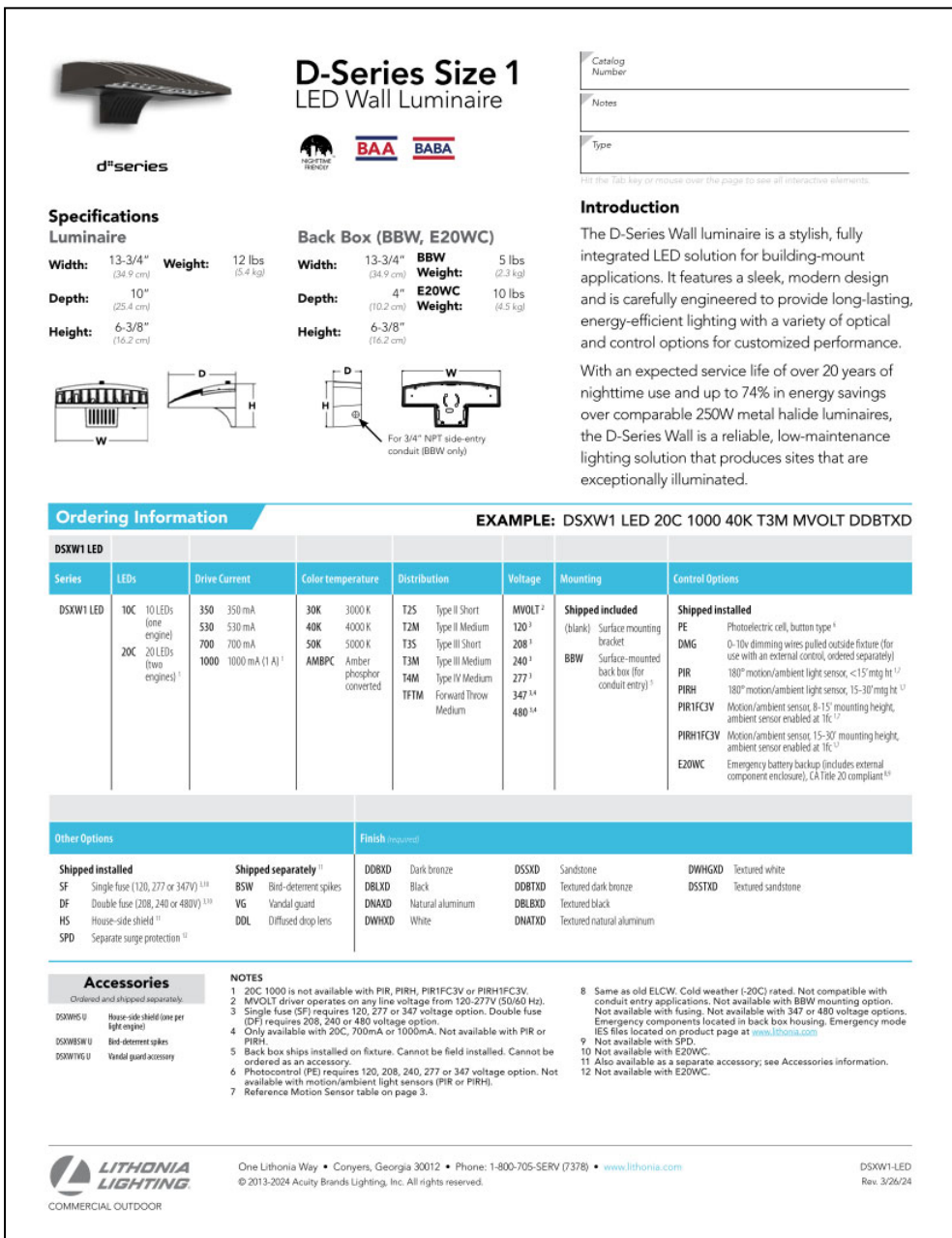
PROJ. No. 2023-007

SCALE: 1" = 20'

DRAWING NUMBER:

C-7.3





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot @ 5'	✖	2.2 fc	4.7 fc	0.5 fc	9.4:1	4.4:1
Property Line @ 5'	+	0.3 fc	2.2 fc	0.0 fc	N/A	N/A
Overall @ 5'	+	0.7 fc	5.2 fc	0.0 fc	N/A	N/A

**General Note**

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

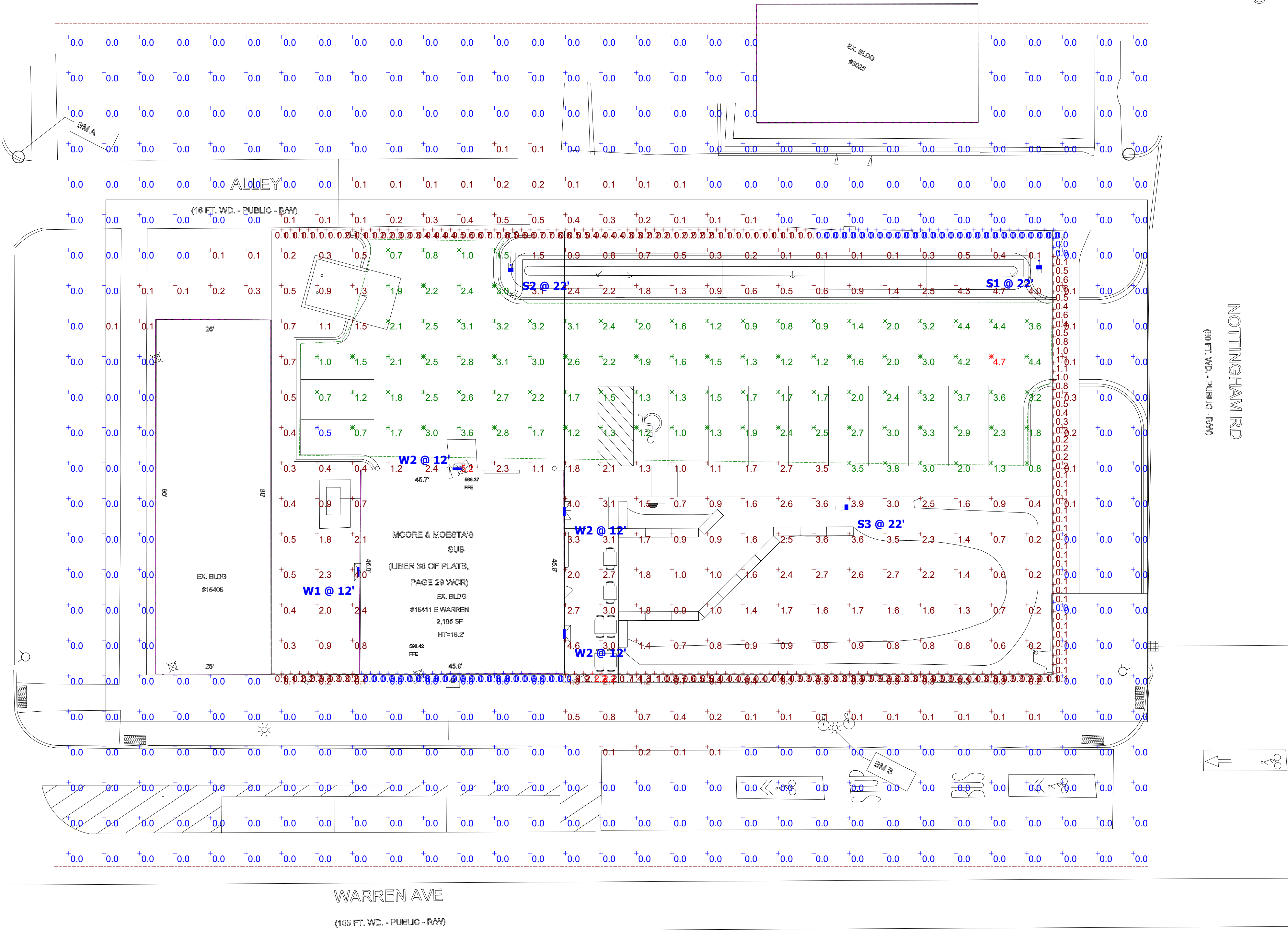
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT [ASG@GASSERBUSH.COM](mailto:ASG@GASSERBUSH.COM) OR 734-266-6705.

**Alternates Note**  
THE USE OF FIXTURE ALTERNATES MUST BE  
RESUBMITTED TO THE CITY FOR APPROVAL.

**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT  
QUOTES@GASSERBUSH.COM OR 734-266-  
6705.

**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



**Plan View**  
Scale - 1" = 14ft

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	LLF	Mounting Height
	W1	1	Lithonia Lighting	DSXW1 LED 40K	DSXW1 LED 4000K	0.9	12'
	W2	3	Lithonia Lighting	DSXW1 LED 40K	DSXW1 LED 4000K	0.9	12'
	S1	1	Lithonia Lighting	DSX0 LED 40K 70CRI	D-Series Size 0 Area Luminaire 4000K CCT 70 CRI	0.9	22'
	S2	1	Lithonia Lighting	DSX0 LED 40K 70CRI	D-Series Size 0 Area Luminaire 4000K CCT 70 CRI	0.9	22'
	S3	1	Lithonia Lighting	DSX0 LED 40K 70CRI	D-Series Size 0 Area Luminaire 4000K CCT 70 CRI	0.9	22'

GALAVANT SPIRITS  
PHOTOMETRIC LAYOUT  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

**Designer**  
KS  
**Date**  
04/24/2024  
**Scale**  
Not to Scale  
**Drawing No.**  
#24-28575\_V4