



Central Services Facility

313-267-8000 • detroitmi.gov/DWSD

Date:

Petition Map:

- ☐ Outright Vacation
- ☐ Conversion to Easement

- ☐ Dedication
- ☐ Encroachment

☐ Berm Use

☐ Temporary Closing

The above petition has been received and reviewed by this office. Please see below for the review status as marked.

☐ Approved Subject to Attached Provisions

☐ Not Approved

☐ Revise and Resubmit

Attached is the DWSD provision related to the petition.

	Name	Title	Signature	Date
Reviewed by:			Mohammad Siddique	
Approved by:			Mohammad Siddique For Syed Ali	

PROVISIONS FOR ENCROACHMENT

1. By approval of this petition the Detroit Water and Sewerage Department (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing, or inspection by DWSD shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hour notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
3. Construction under this petition is subject to inspection and approval by DWSD. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
4. DWSD prohibits the use of heavy construction equipment or the storage of building material directly over or near DWSD facilities. DWSD also prohibits the use of cranes and balls or hydraulic rams for pavement removal where DWSD facilities are involved. If the water main or sewer facilities are broken or damaged as a result of any action on the part of the contractor, the contractor shall be liable for all costs incidental to the repair of such broken or damaged water main or sewer facilities. If DWSD facilities located within the street shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
5. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.
6. If at any time in the future the petitioner shall request removal and / or relocation of DWSD's facilities in the street being encroached upon, the petitioner agrees to pay all costs for such removal and/or relocation.
7. Prior to construction, Easement Encroachment Permit (EEP) should be obtained and the insurance required by the EEP should not expire until after completion of the construction.
8. For any proposed work that involves DWSD water mains and/or sewers, an approval and a permit is required from DWSD before commencement of work.
9. It is DWSD's requirement that any proposed utility crossing DWSD water mains and/or sewers perpendicularly must maintain a minimum of 18 inches vertical clearance. Any proposed utility running adjacent to DWSD water mains and/or sewers must maintain a minimum of 10 feet lateral clearance including any conduit and/or manholes walls. No utility is allowed to run along the top of the water main or/or sewer.
10. It is DWSD's requirement that no encroachment has a vertical clearance of less than 16 feet from the ground surface over DWSD water mains and/or sewers.

February 13, 2025

City of Detroit Right of Way Management

AECOM Great Lakes, Inc. (AECOM) is pleased to submit this cover letter for encroachment for **First Merchants Bank (FMB) Detroit**.

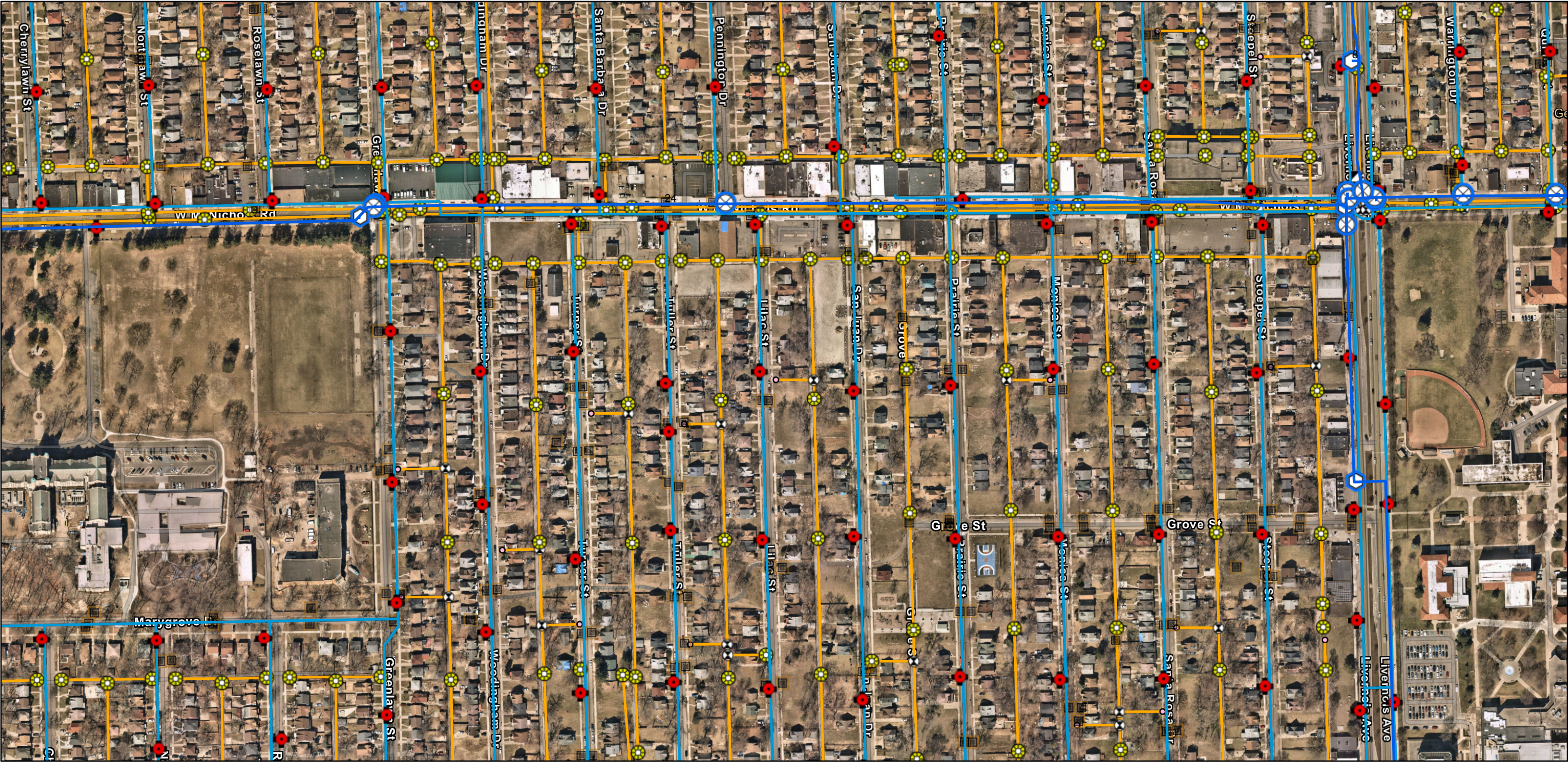
PROJECT UNDERSTANDING

AECOM understands that FMB Detroit is a proposed bank with a drive thru facility located at 7525 W McNichols St. The existing parcel is a vacant parking lot in poor condition.

The current legal land use of the subject property is "Parking Lot". The property is approximately 15,507 square feet. The applicant ("First Merchants Bank") is proposing the construction of a 3,090 square foot bank building with surface parking lot, drive-thru and associated utility, and vehicular access improvements. The site will also include two drive-throughlanes along with site landscaping, screening, and paving.

The project needs to relocate two trees and their grates. Encroachment permit is needed for this action.

7525 West McNichols



2/19/2025

Transmission System Mains - GLWA

Active Water Main

Transmission System Valves - GLWA



Blowoff



Gate



Distribution System Hydrant

Distribution System Main

Active



Wastewater Catch Basin



Wastewater Manhole

Wastewater Fitting



Bend/Slope Change



Blind Connection



Bulkhead/Cap



Material/Size Change



Crown/Main Point

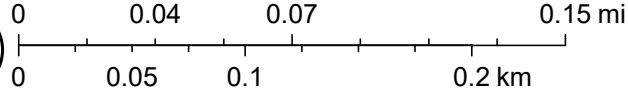
Wastewater GravityMain



Active



Abandoned/Inactive/Retired



DWSD, Esri Community Maps Contributors, Province of Ontario, SEMCOG, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS

7525 West McNichols



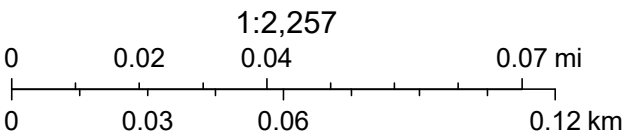
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Wastewater GravityMain

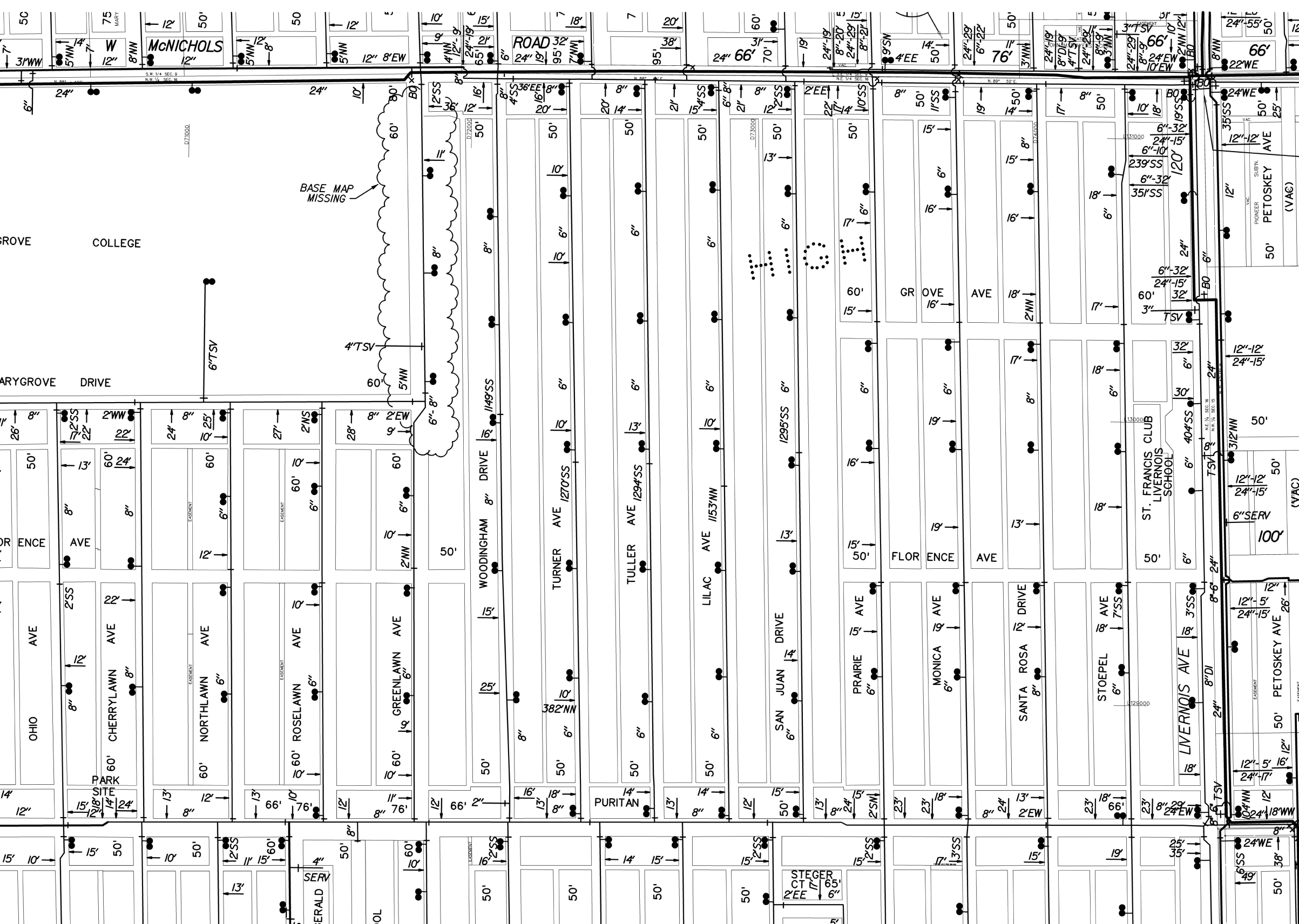
- Active
- Abandoned/Inactive/Retired

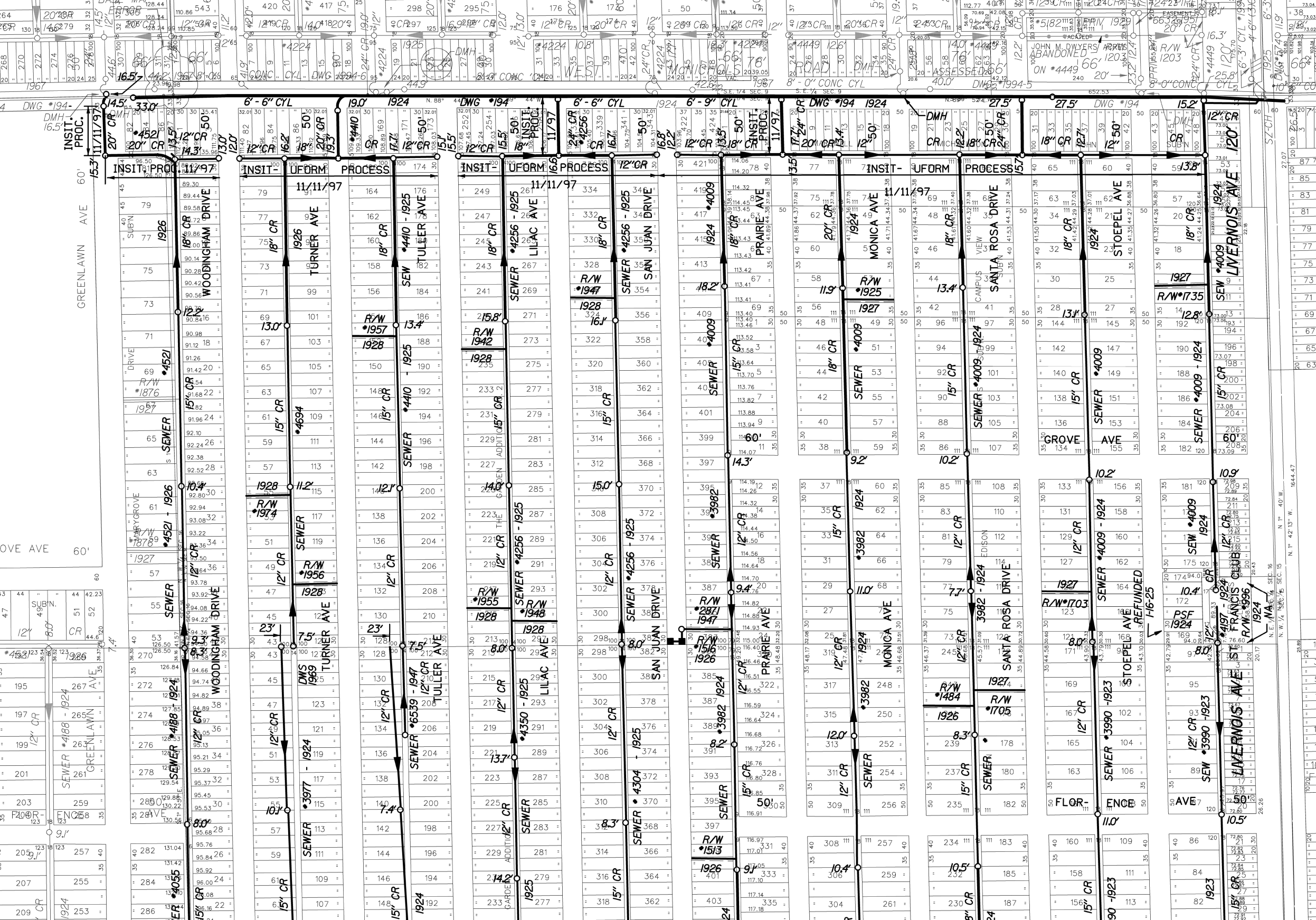
- DWSD Wastewater Flow Direction
- Wastewater Fitting
- Blind Connection
- Bulkhead/Cap

- Crown/Main Point
- Wastewater Manhole
- Wastewater Catch Basin

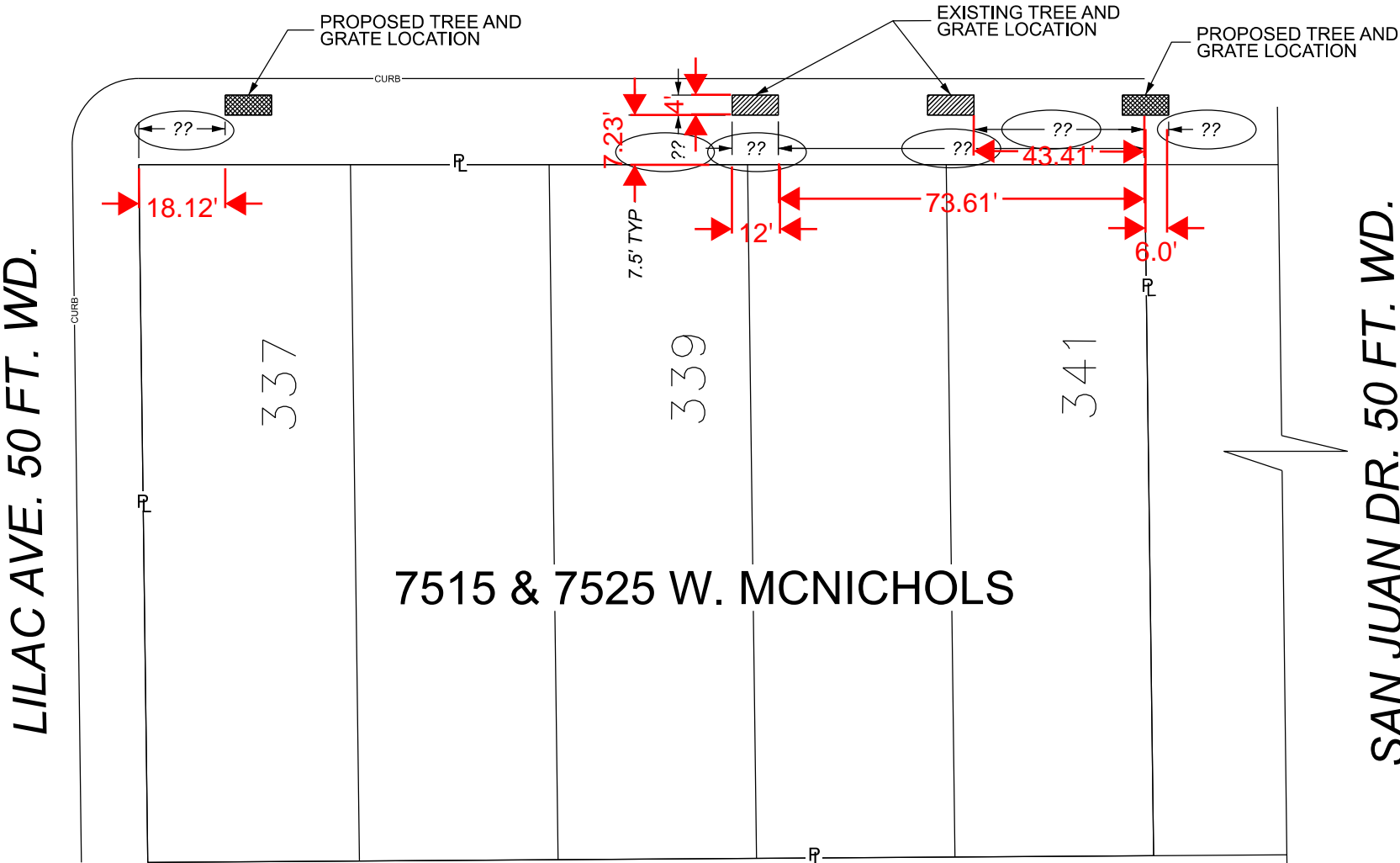


Maxar, Esri Community Maps Contributors, Province of Ontario, SEMCOG, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, USFWS



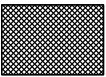


W. MCNICHOLS RD. 66 FT. WD.

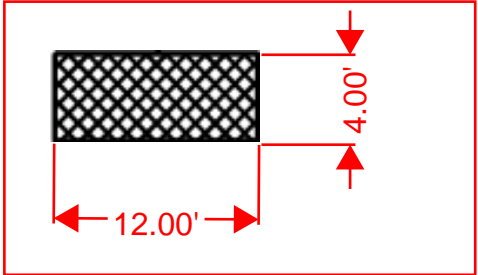


7515 & 7525 W. MCNICHOLS

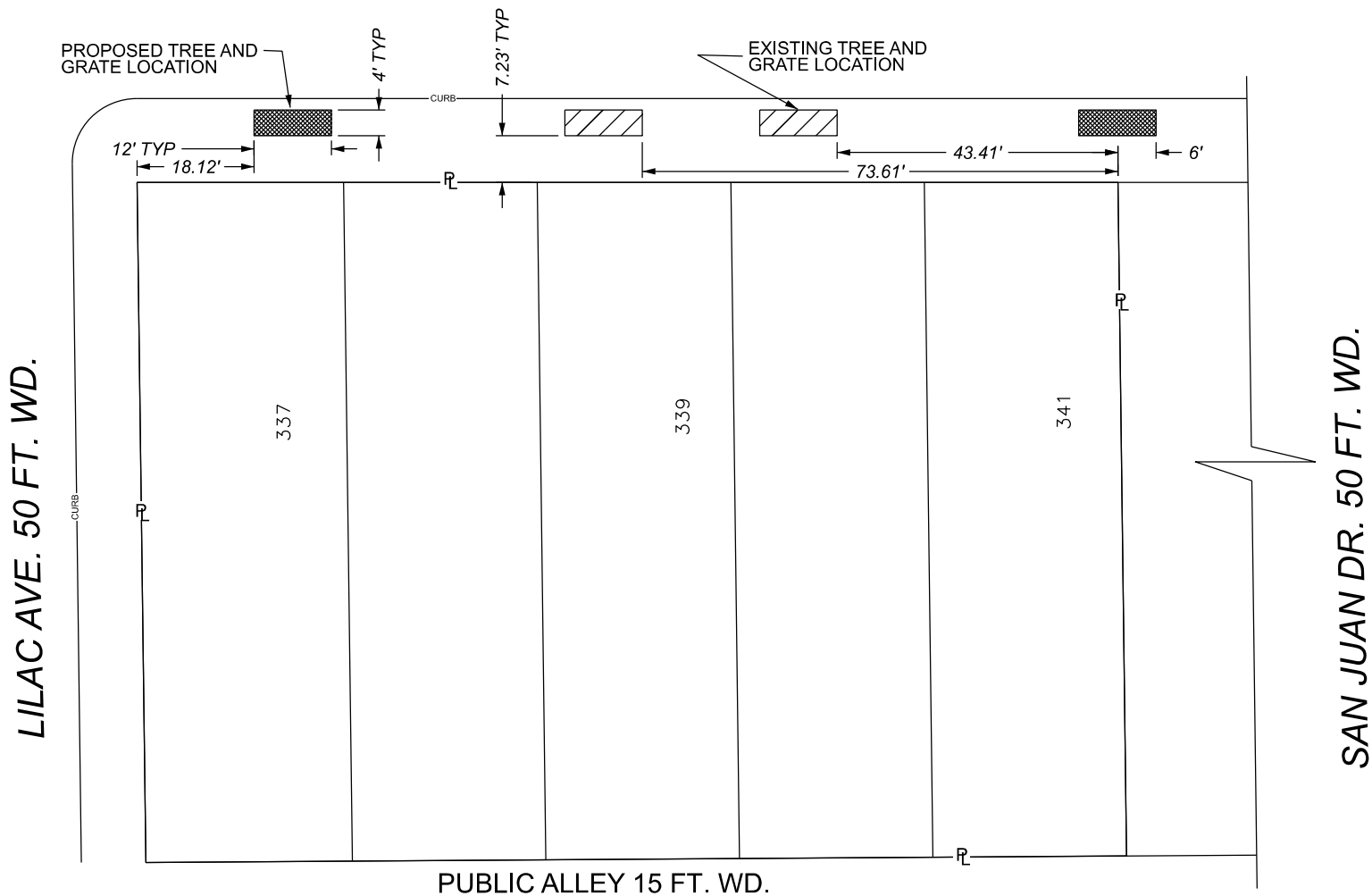
PUBLIC ALLEY 15 FT. WD.



- REQUEST ENCROACHMENT
(For Tree Grate Relocation, QTY 2
??' Wide x ??' Long x ??' Deep)



TYP grate dimensions



- REQUEST ENCROACHMENT (FOR TREE AND GRATE LOCATION, QTY 2)
- EXISTING TREE AND GRATE TO BE REMOVED

(FOR OFFICE USE ONLY)

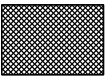
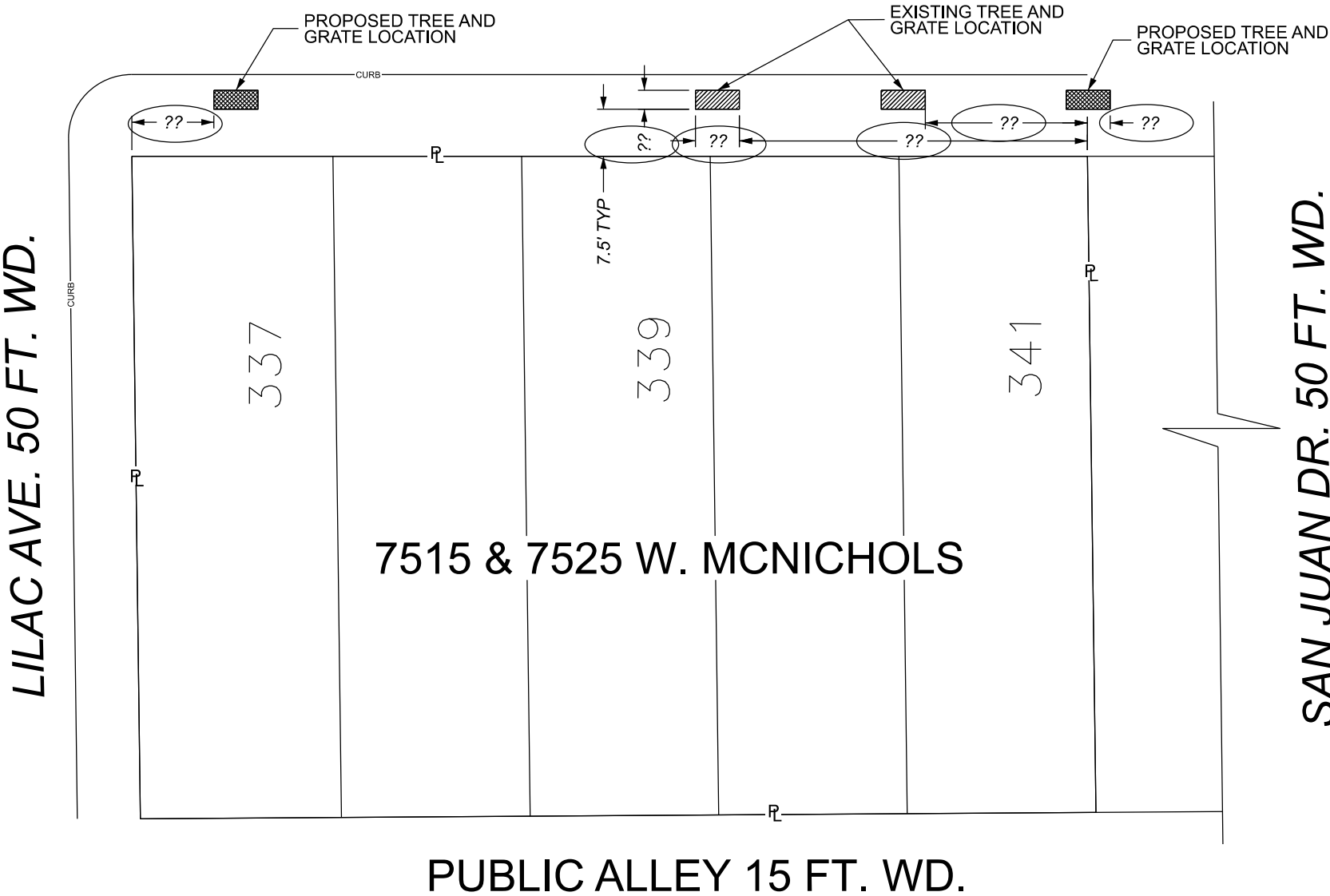
CARTO 90 A

B					
A					
DESCRIPTION		DRWN	CHKD	APPD	DATE
REVISIONS					
DRAWN BY		CHECKED		AP/TS	
DATE		APPROVED		GE	
02-17-2025					

REQUEST ENCROACHMENT
INTO W. MCNICHOLS RD.
BETWEEN LILAC AVE. AND SAN JUAN DR.

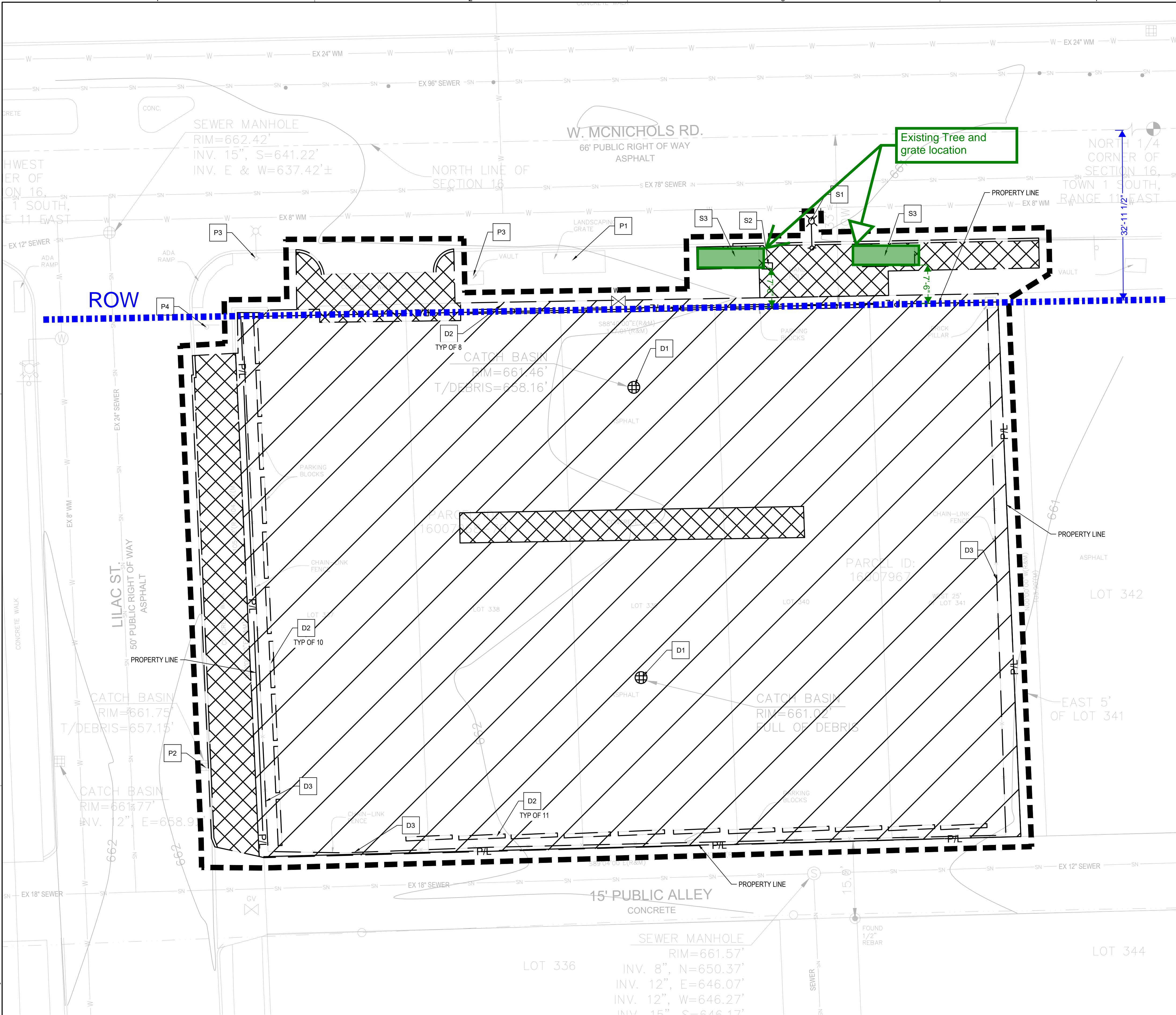
CITY OF DETROIT	
CITY ENGINEERING DIVISION	
SURVEY BUREAU	
JOB NO.	25-10
DRWG. NO.	

W. MCNICHOLS RD. 66 FT. WD.



- REQUEST ENCROACHMENT
(For Tree Grate Relocation, QTY 2
??' Wide x ??' Long x ??' Deep)





QUANTITIES - THIS SHEET	
CURB AND GUTTER, REM	200 FT
CONCRETE, REM	210 SYD
PAVT, REM	1725 SYD
EXCAVATION, EARTH	2000 SYD
FENCE, REM	360 LF

DEMOLITION NOTES

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- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE DIVISION OF INDUSTRIAL REGULATIONS (OSHA) SAFETY STANDARDS. IF REQUESTED BY THE INSPECTOR, THE CONTRACTOR SHALL PROVIDE PROOF OF A PERMIT FROM SAID DIVISION.
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- UTILITY LOCATIONS AND DEPTHS SHOWN HEREON HAVE BEEN PLOTTED IN ACCORDANCE WITH DATA FURNISHED BY THE UTILITY COMPANIES, THE MUNICIPALITIES, AND A SITE SURVEY. ANY DISCREPANCIES DISCOVERED IN THE FIELD DURING CONSTRUCTION THAT HAVE AN IMPACT ON THE DESIGN INTENT ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC AND PRIVATE PROPERTY INsofar AS IT MAY BE AFFECTED BY THESE OPERATIONS. ALL COSTS FOR PROTECTING, REMOVING, AND RESTORING EXISTING IMPROVEMENTS SHALL BE BORNE, SOLELY, BY THE CONTRACTOR.
- CONSTRUCTION WORK ZONE TRAFFIC SIGNS AND STRIPING SHALL BE FURNISHED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCIES HAVING JURISDICTION. A TRAFFIC CONTROL PLAN, PREPARED BY THE CONTRACTOR, MAY BE REQUIRED BY THE COUNTY OR STATE. "CONSTRUCTION AHEAD" WARNING SIGNS ARE TO BE INSTALLED ALONG ADJACENT DRIVEWAYS OR ROADS. FLASHERS WITH CAUTION TAPE ARE TO BE INSTALLED WHERE ANY CONSTRUCTION ACTIVITY CROSSES A SIDEWALK OR PEDESTRIANS PATH IN ACCORDANCE WITH THE SPECIFICATIONS AND ANY/ALL LOCAL REGULATIONS.
- NO STOPPING, PARKING, OR STORING OF CONSTRUCTION MATERIALS IN THE PUBLIC STREETS OR ANY DRIVEWAY.
- CONTRACTOR SHALL CONTACT "MISS DIG" AT 1-800-482-7171, AT LEAST 3 WORKING DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO SCHEDULE THE MARKING OF EXISTING UTILITY LOCATIONS.
- CONTRACTOR SHALL REMOVE, ABANDON IN PLACE, ADJUST OR RECONSTRUCT EXISTING UNDERGROUND PUBLIC & PRIVATE INFRASTRUCTURE INCLUDING WATER MAIN, SANITARY SEWER AND STORM SEWER.
- EXISTING SITE FEATURES ABOVE THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO PAVEMENT, SIGNAGE, LANDSCAPING, AND FENCING WITHIN THE REMOVAL BOUNDARY ARE TO BE REMOVED ENTIRELY AND DISPOSED OF UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER.
- EXISTING SITE FEATURES BELOW THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, UTILITIES, AND UTILITY STRUCTURES, WITHIN THE REMOVAL BOUNDARY SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER.
- EXISTING BELOW GROUND UTILITIES TO REMAIN SHALL BE LOCATED BY THE CONTRACTOR, INCLUDING HAND EXCAVATION AND OTHER MEANS NECESSARY, PRIOR TO CONSTRUCTION.
- ELECTRICAL & TELECOM UTILITIES SERVING ITEMS TO REMAIN SHALL BE FIELD VERIFIED & RELOCATED, AS NECESSARY, PRIOR TO DEMOLITION SUCH THAT THE OWNER DOES NOT EXPERIENCE ANY "OUTAGES" OR "FAILURES" WITH THEIR INTERNAL ELECTRICAL, TELEPHONE, SECURITY OR COMPUTER SYSTEMS. DAMAGE TO ANY OF THESE UNDERGROUND UTILITIES OR ELECTRICAL SYSTEMS SHALL RESULT IN THE CONTRACTOR HAVING TO MAKE THE NECESSARY REPAIRS TO THE OWNER'S SATISFACTION & AT NO COST TO THE OWNER.
- COORDINATE ALL ELECTRICAL, GAS, AND TELECOM UTILITY REMOVAL/RELOCATION WITH APPROPRIATE UTILITY COMPANY.
- UNDERGROUND SERVICE UTILITIES SHOWN TO BE REMOVED SHALL BE DONE SO ENTIRELY WITH THE REMAINING PORTIONS TO BE CAPPED/BULKHEADED (WHEN APPLICABLE) PER CITY/MUNICIPAL/UTILITY COMPANY STANDARDS.
- CONCRETE WALKS & CURB & GUTTER SHOWN TO BE REMOVED SHALL BE DONE SO TO FULL DEPTH & SHALL BE SAWCUT AT THE NEAREST EXISTING JOINT.
- CONCRETE & BITUMINOUS PAVEMENT AREAS SHOWN TO BE REMOVED SHALL BE DONE SO TO FULL DEPTH & SHALL BE SAWCUT ALONG THE REMOVAL BOUNDARY UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS INCLUDING ALL INSPECTIONS BEFORE, DURING, AND AFTER DEMOLITION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AND PEDESTRIAN DETOUR SIGNAGE.

DEMOLITION KEY

- XX REMOVE, SALVAGE & RELOCATE LIGHT POLE
- S2 REMOVE, SALVAGE & RELOCATE UTILITY HAND HOLE
- S3 REMOVE, SALVAGE & RELOCATE LANDSCAPING GRATE AND TREE
- D1 REMOVE EXISTING STORM STRUCTURE
- D2 REMOVE EXISTING CONCRETE WHEELSTOP
- D3 REMOVE EXISTING FENCE
- P1 PROTECT EXISTING TREE
- P2 PROTECT EXISTING STORM STRUCTURE
- P3 PROTECT EXISTING ELECTRIC UTILITY
- P4 PROTECT EXISTING SIGN

DEMOLITION LEGEND

- KEY NOTE XX
- WORK LIMIT LINE
- REMOVE BITUMINOUS PAVEMENT & SUBGRADE, FULL DEPTH
- REMOVE CONCRETE, FULL DEPTH
- REMOVE CURB & GUTTER



PROJECT FIRST MERCHANTS BANK DETROIT

8/29/2023
7525 West McNichols Rd.
Detroit, MI 48221

CLIENT

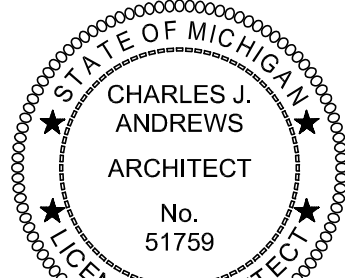
FIRST MERCHANTS BANK
200 East Jackson Street
Muncie, IN 47305
765.378-8439

CONSULTANTS

AECOM
4219 Woodward Ave
Detroit, MI 48201
313.989.1800

REGISTRATION

SEALED 05/07/2024



Charles J. Andrews

ISSUE/REVISION

I/R	DATE	DESCRIPTION
3	05/07/2024	BULLETIN #1
2	03/26/2024	ADDENDUM #1
1	03/13/2024	BIDS & CONSTRUCTION

PROJECT NUMBER

60713829

SHEET TITLE

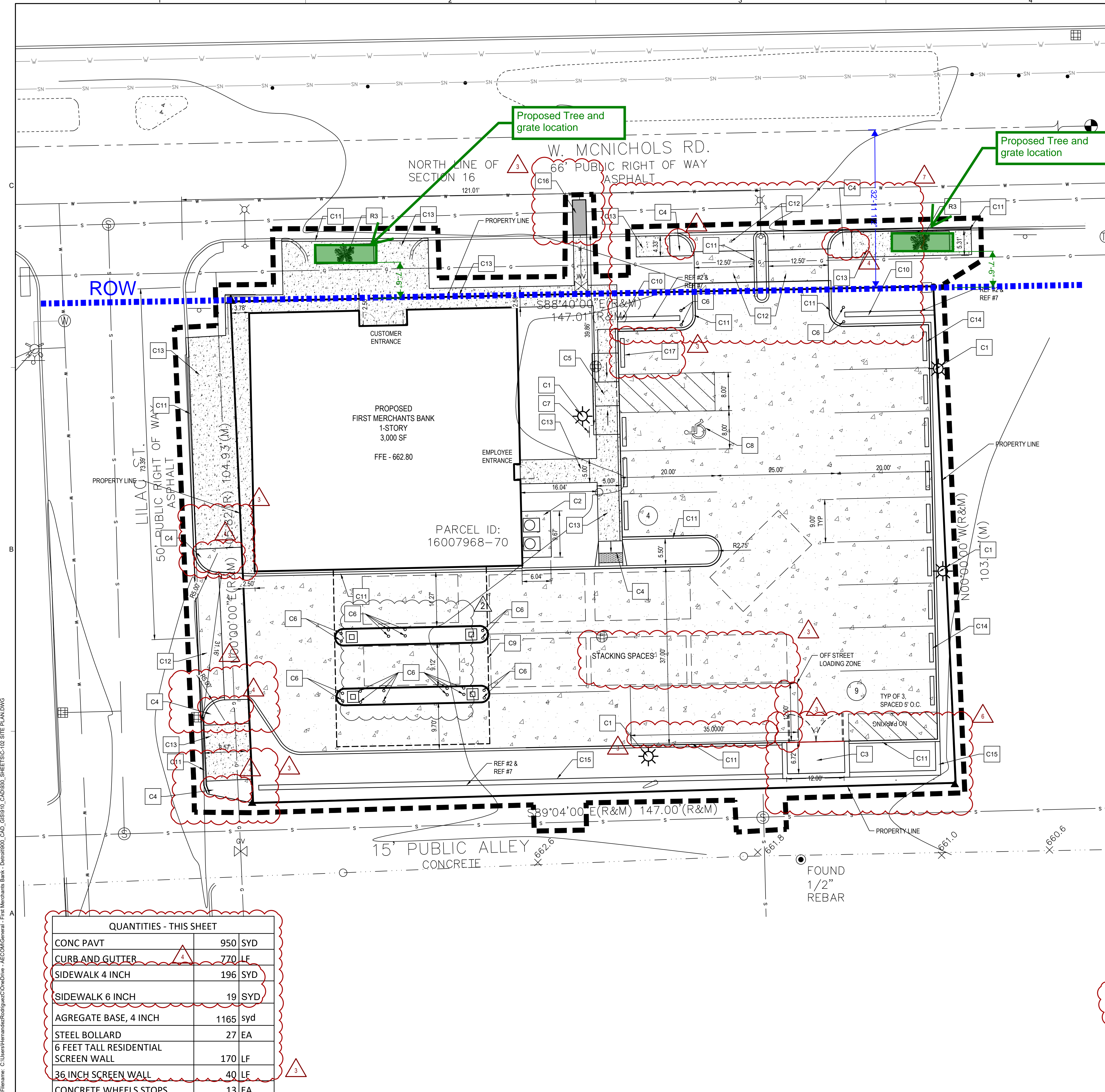
DEMOLITION PLAN

SHEET NUMBER

C-101

RCB D 24"x36" Approved: CMW Checked: TI Designer: RB Project Management Initials: JK

Last Plotter: 10/27/2024 3:04 PM
Filename: C:\Users\HernandezRodriguez\OneDrive - AECOM\General - First Merchants Bank - Detroit\020_CAD_GIS\010_CAD\030_SHEETS\C-102 SITE PLAN.DWG

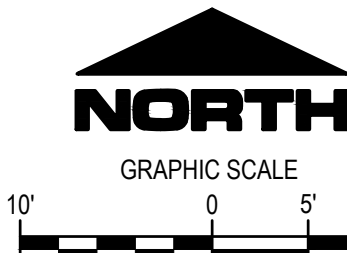


SITE DATA:	
SITE:	0.35 ACRES
ZONED:	B-2 LOCAL BUSINESS AND RESIDENTIAL DISTRICT
OVERLAY:	TRADITIONAL MAIN STREET OVERLAY
USE:	COMMERCIAL - BANK
MAXIMUM BUILDING HEIGHT:	35'
NUMBER OF STORIES:	1
FLOOR AREA RATIO:	0.18
FRONT BUILDING SETBACK:	-
SIDE BUILDING SETBACK:	-
REAR BUILDING SETBACK:	-
PARKING DATA:	
REQUIRED PARKING:	16 SPACES (1 SPACE PER 200 SFT OF 3090 SFT = 16 SPACES)
PROPOSED PARKING:	13 SPACES (INCLUDES 1 VAN ACCESSIBLE BARRIER FREE SPACE)
PARKING SPACE:	9' x 20'
DRIVE AISLE:	20' MIN
FRONT PARKING SETBACK:	-
SIDE PARKING SETBACK:	-
REAR PARKING SETBACK:	-

- SITE PLAN NOTES**
- SEE LANDSCAPE PLANS FOR LOCATION AND/OR DETAILS ON THE FOLLOWING:
 - SITE AMENITIES
 - BARRIER FREE PARKING SYMBOL DETAILS
 - RAMPS
 - SITE SIGNAGE
 - PLANTER EDGING
 - LAWN AND BEDDING AREAS
 - SHRUBS AND TREES
 - CONCRETE STOOPS FOR SIZE & SCOPE
 - PARKING SPACE DIMENSIONS ARE TO BE 9 FEET BY 20 FEET UNLESS NOTED OTHERWISE.
 - ALL PROPOSED PARKING LOT PAINT STRIPING IS TO BE 4" YELLOW UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS SHOWN TO CONCRETE CURB ARE TO FRONT/FACE OF CURB UNLESS NOTED OTHERWISE.
 - THE LAST THREE FEET OF ALL CURBS SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.
 - REFERENCE GEOTECHNICAL INVESTIGATION REPORT FOR BORING LOGS AND PREPARATION AND CONSTRUCTION PROCEDURES FOR SUBBASE AND DESIGN SECTION OF ALL PAVED AREAS.
 - ALL MDOT REFERENCES ARE TO THE 2020 EDITION.

- SITE PLAN KEY**
- R1 NOT USED
 - R2 NOT USED
 - R3 PLACE RELOCATED LANDSCAPING GRATE AND TREE
 - C1 PROPOSED LIGHT POLE
 - C2 PROPOSED 6" THICK CONCRETE EQUIPMENT PAD, PER DETAIL S4/C-501
 - C3 PROPOSED DUMPSTER ENCLOSURE, PER DETAIL S1/C-501
 - C4 PROPOSED 6" CONCRETE SIDEWALK, PER CITY OF DETROIT STANDARD DETAILS FIRST FLAG OF SIDEWALK ON BOTH SIDES OF COMMERCIAL DRIVEWAY APPROACH SHALL BE MIN 6" THICK
 - C5 PROPOSED SIDEWALK RAMP, TYPE P, PER CITY OF DETROIT STANDARD DETAILS WHERE FLUSH AGAINST ASPHALT, SIDEWALK TO BE FLUSH TURNED DOWN PER DETAIL S8/C-501
 - C6 PROPOSED 6" STEEL BOLLARD, CONCRETE FILLED, PER DETAIL S7/C-501
 - C7 PROPOSED VAN ACCESSIBLE BARRIER FREE SIGN PER CITY STANDARD DETAILS
 - C8 PROPOSED VAN ACCESSIBLE BARRIER FREE PARKING SPACE
 - C9 PROPOSED LIMITS OF DRIVE THRU CANOPY
 - C10 PROPOSED 36" TALL RIGHT OF WAY SCREEN WALL, PER DETAIL S9/C-501
 - C11 PROPOSED CONCRETE STRAIGHT CURB, PER DETAIL S2/C-501
 - C12 PROPOSED CONCRETE DRIVEWAY & CROSSWALK PER CITY STANDARD DETAIL C-4384 THICKNESS AND BASE MATERIAL PER DETAIL S4/C-501
 - C13 PROPOSED CONCRETE SIDEWALK, PER DETAIL S3/C-501 WHERE SIDEWALK ABUTS ASPHALT, SIDEWALK SHALL BE TURNED DOWN PER DETAIL S5/C-501
 - C14 PROPOSED 6" LONG, 6" TALL CONCRETE WHEEL STOPS
 - C15 PROPOSED 6" TALL RESIDENTIAL SCREEN WALL, PER DETAIL S9/C-501
 - C16 PROPOSED UTILITY TRENCH PAVEMENT RESTORATION, PER DETAIL ON PAGE C-505
 - C17 PROPOSED PRECAST PARKING BLOCK.

SITE PLAN LEGEND	
KEY NOTE	XX
PARKING COUNT	X
WORK LIMIT LINE	---
ASPHALT PAVEMENT, FULL DEPTH PER DETAIL S6/C-501	■
PROPOSED 4 INCH CONCRETE, REFER TO SITE PLAN KEY MAP FOR DETAILS	■
PROPOSED 6 INCH CONCRETE, REFER TO SITE PLAN KEY MAP FOR DETAILS	■
CONCRETE TURNED DOWN SIDEWALK PER DETAIL 7/C-501	---
CONCRETE FLUSH TURNED DOWN SIDEWALK PER DETAIL X/C-501	---



QUANTITIES - THIS SHEET		
CONC PAVT	950	SYD
CURB AND GUTTER	770	LF
SIDEWALK 4 INCH	196	SYD
SIDEWALK 6 INCH	19	SYD
AGREGATE BASE, 4 INCH	1165	syd
STEEL BOLLARD	27	EA
6 FEET TALL RESIDENTIAL SCREEN WALL	170	LF
36 INCH SCREEN WALL	40	LF
CONCRETE WHEELS STOPS	13	EA



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8/29/2023
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CLIENT

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765.378-8439

CONSULTANTS

AECOM
4219 Woodward Ave
Detroit, MI 48201
313.989.1800

REGISTRATION

ISSUE/REVISION

NO.	DATE	DESCRIPTION
7	10/04/2024	BULLETIN #7
6	09/04/2024	RFI 0030
5	07/02/2024	BULLETIN #3
4	06/11/2024	BULLETIN #2
3	05/07/2024	BULLETIN #1
2	03/26/2024	ADDENDUM #1
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I/R	DATE	DESCRIPTION

PROJECT NUMBER

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SHEET TITLE

SITE PLAN

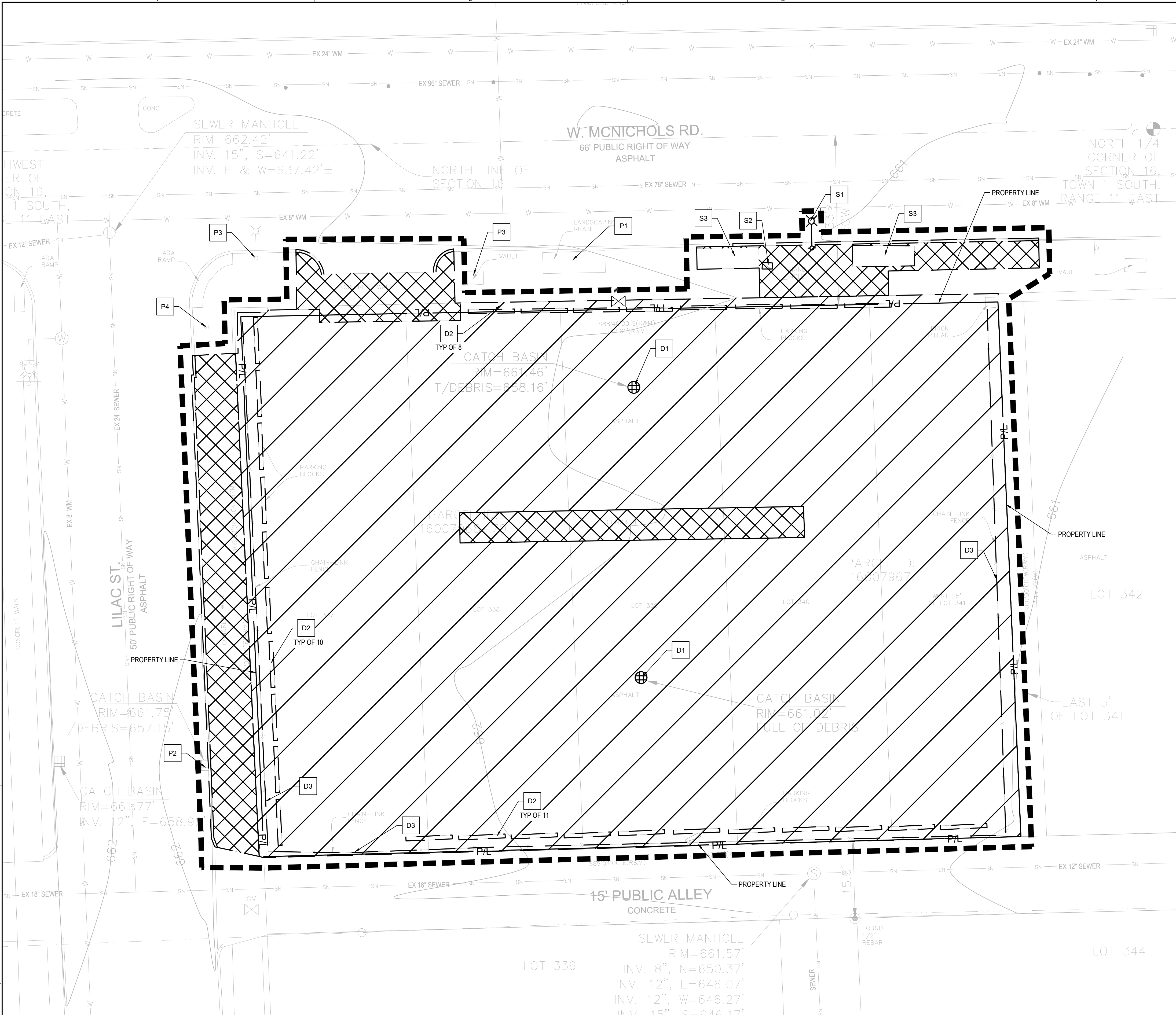
SHEET NUMBER

C-102

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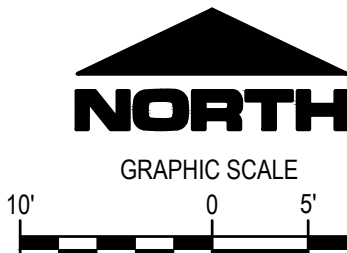
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Last Plot: 6/7/2024 1:00 PM



QUANTITIES - THIS SHEET	
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CONCRETE, REM	210 SYD
PAVT, REM	1725 SYD
EXCAVATION, EARTH	2000 SYD
FENCE, REM	360 LF

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 - CONTRACTOR SHALL CONTACT "MISS DIG" AT 1-800-482-7171, AT LEAST 3 WORKING DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO SCHEDULE THE MARKING OF EXISTING UTILITY LOCATIONS.
 - CONTRACTOR SHALL REMOVE, ABANDON IN PLACE, ADJUST OR RECONSTRUCT EXISTING UNDERGROUND PUBLIC & PRIVATE INFRASTRUCTURE INCLUDING WATER MAIN, SANITARY SEWER AND STORM SEWER.
 - EXISTING SITE FEATURES ABOVE THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO PAVEMENT, SIGNAGE, LANDSCAPING, AND FENCING WITHIN THE REMOVAL BOUNDARY ARE TO BE REMOVED ENTIRELY AND DISPOSED OF UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER.
 - EXISTING SITE FEATURES BELOW THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, UTILITIES, AND UTILITY STRUCTURES, WITHIN THE REMOVAL BOUNDARY SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE OWNER.
 - EXISTING BELOW GROUND UTILITIES TO REMAIN SHALL BE LOCATED BY THE CONTRACTOR, INCLUDING HAND EXCAVATION AND OTHER MEANS NECESSARY, PRIOR TO CONSTRUCTION.
 - ELECTRICAL & TELECOM UTILITIES SERVING ITEMS TO REMAIN SHALL BE FIELD VERIFIED & RELOCATED, AS NECESSARY, PRIOR TO DEMOLITION SUCH THAT THE OWNER DOES NOT EXPERIENCE ANY "OUTAGES" OR "FAILURES" WITH THEIR INTERNAL ELECTRICAL, TELEPHONE, SECURITY OR COMPUTER SYSTEMS. DAMAGE TO ANY OF THESE UNDERGROUND UTILITIES OR ELECTRICAL SYSTEMS SHALL RESULT IN THE CONTRACTOR HAVING TO MAKE THE NECESSARY REPAIRS TO THE OWNER'S SATISFACTION & AT NO COST TO THE OWNER.
 - COORDINATE ALL ELECTRICAL, GAS, AND TELECOM UTILITY REMOVAL/RELOCATION WITH APPROPRIATE UTILITY COMPANY.
 - UNDERGROUND SERVICE UTILITIES SHOWN TO BE REMOVED SHALL BE DONE SO ENTIRELY WITH THE REMAINING PORTIONS TO BE CAPPED/BULKHEADED (WHEN APPLICABLE) PER CITY/MUNICIPAL/UTILITY COMPANY STANDARDS.
 - CONCRETE WALKS & CURB & GUTTER SHOWN TO BE REMOVED SHALL BE DONE SO TO FULL DEPTH & SHALL BE SAWCUT AT THE NEAREST EXISTING JOINT.
 - CONCRETE & BITUMINOUS PAVEMENT AREAS SHOWN TO BE REMOVED SHALL BE DONE SO TO FULL DEPTH & SHALL BE SAWCUT ALONG THE REMOVAL BOUNDARY UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEMOLITION PERMITS INCLUDING ALL INSPECTIONS BEFORE, DURING, AND AFTER DEMOLITION.
 - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AND PEDESTRIAN DETOUR SIGNAGE.
- ### DEMOLITION KEY
- | | |
|----|-------------------------------------------------------|
| XX | REMOVE, SALVAGE & RELOCATE LIGHT POLE |
| S2 | REMOVE, SALVAGE & RELOCATE UTILITY HAND HOLE |
| S3 | REMOVE, SALVAGE & RELOCATE LANDSCAPING GRATE AND TREE |
| D1 | REMOVE EXISTING STORM STRUCTURE |
| D2 | REMOVE EXISTING CONCRETE WHEELSTOP |
| D3 | REMOVE EXISTING FENCE |
| P1 | PROTECT EXISTING TREE |
| P2 | PROTECT EXISTING STORM STRUCTURE |
| P3 | PROTECT EXISTING ELECTRIC UTILITY |
| P4 | PROTECT EXISTING SIGN |
- ### DEMOLITION LEGEND
- | | |
|---------------------------------------------------|------|
| KEY NOTE | XX |
| WORK LIMIT LINE | --- |
| REMOVE BITUMINOUS PAVEMENT & SUBGRADE, FULL DEPTH | /// |
| REMOVE CONCRETE, FULL DEPTH | XXXX |
| REMOVE CURB & GUTTER | == |



PROJECT
FIRST MERCHANTS BANK
DETROIT
8/29/2023
7525 West McNichols Rd.
Detroit, MI 48221

CLIENT

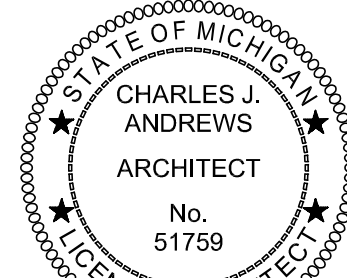
FIRST MERCHANTS BANK
200 East Jackson Street
Muncie, IN 47305
765.378-8439

CONSULTANTS

AECOM
4219 Woodward Ave
Detroit, MI 48201
313.989.1800

REGISTRATION

SEALED 05/07/2024



Charles J. Andrews

ISSUE/REVISION

3	05/07/2024	BULLETIN #1
2	03/26/2024	ADDENDUM #1
1	03/13/2024	BIDS & CONSTRUCTION
I/R	DATE	DESCRIPTION

PROJECT NUMBER

60713829

SHEET TITLE

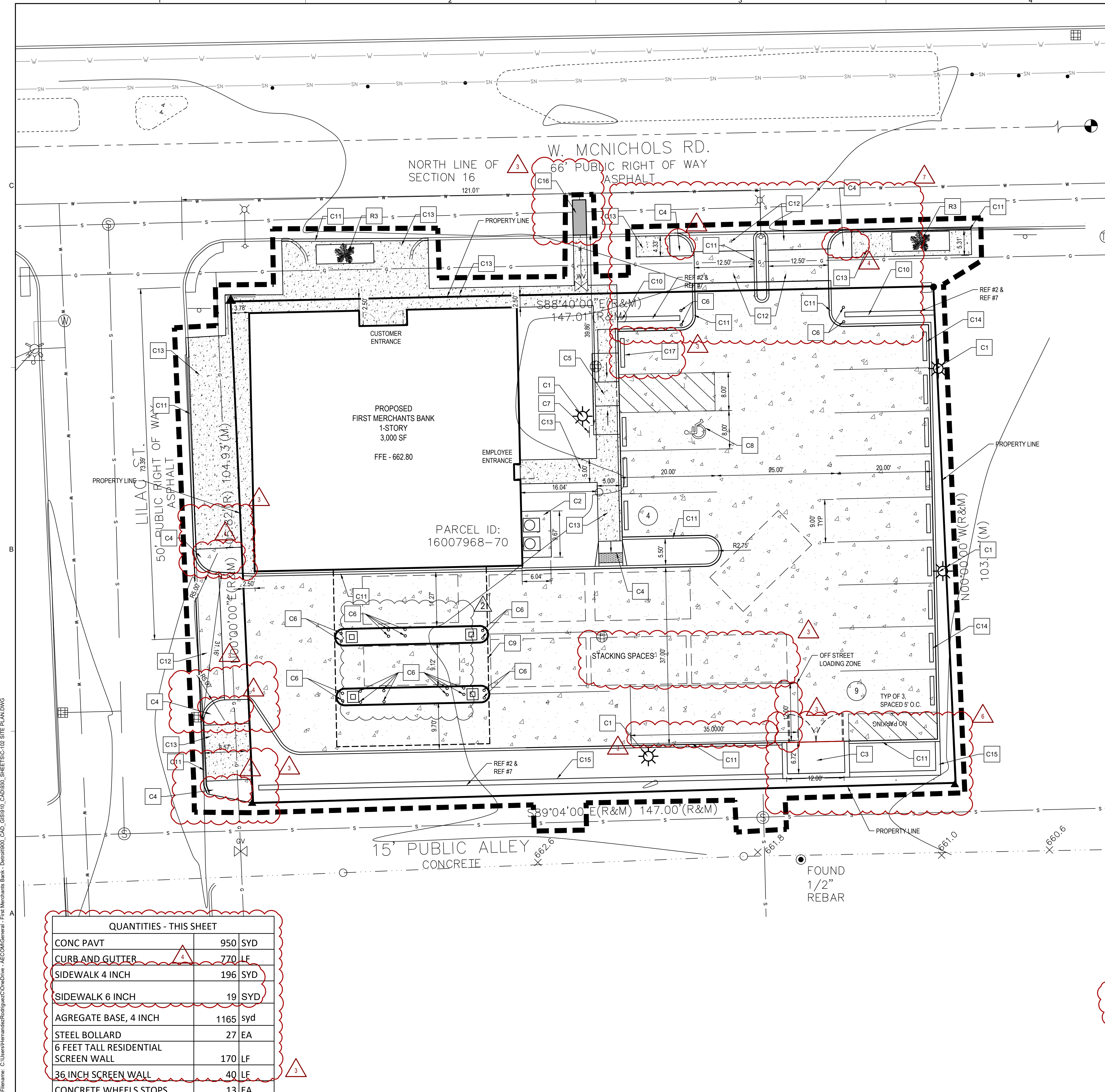
DEMOLITION PLAN

SHEET NUMBER

C-101

RCB D 24"x36" Approved: CMW Checked: TI Designer: RB Project Management Initials: JK

Last Plotter: 10/7/2024 3:04 PM
Filename: C:\Users\HernandezRodriguez\OneDrive - AECOM\General - First Merchants Bank - Detroit\020_CAD_GIS\010_CAD\030_SHEETS\SIC-102 SITE PLAN.DWG

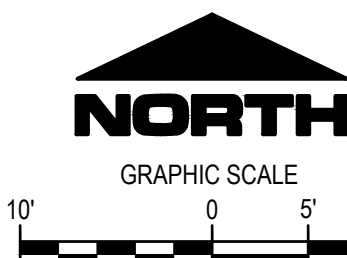


SITE DATA:	
SITE:	0.35 ACRES
ZONED:	B-2 LOCAL BUSINESS AND RESIDENTIAL DISTRICT
OVERLAY:	TRADITIONAL MAIN STREET OVERLAY
USE:	COMMERCIAL - BANK
MAXIMUM BUILDING HEIGHT:	35'
NUMBER OF STORIES:	1
FLOOR AREA RATIO:	0.18
FRONT BUILDING SETBACK:	-
SIDE BUILDING SETBACK:	-
REAR BUILDING SETBACK:	-
PARKING DATA:	
REQUIRED PARKING:	16 SPACES
(1 SPACE PER 200 SFT OF 3090 SFT = 16 SPACES)	
PROPOSED PARKING:	13 SPACES
(INCLUDES 1 VAN ACCESSIBLE BARRIER FREE SPACE)	
PARKING SPACE:	9' x 20'
DRIVE AISLE:	20' MIN
FRONT PARKING SETBACK:	-
SIDE PARKING SETBACK:	-
REAR PARKING SETBACK:	-

- SITE PLAN NOTES**
- SEE LANDSCAPE PLANS FOR LOCATION AND/OR DETAILS ON THE FOLLOWING:
 - SITE AMENITIES.
 - BARRIER FREE PARKING SYMBOL DETAILS.
 - RAMPS.
 - SITE SIGNAGE.
 - PLANTER EDGING.
 - LAWN AND BEDDING AREAS.
 - SHRUBS AND TREES.
 - CONCRETE STOOPS FOR SIZE & SCOPE.
 - PARKING SPACE DIMENSIONS ARE TO BE 9 FEET BY 20 FEET UNLESS NOTED OTHERWISE.
 - ALL PROPOSED PARKING LOT PAINT STRIPING IS TO BE 4" YELLOW UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS SHOWN TO CONCRETE CURB ARE TO FRONT/FACE OF CURB UNLESS NOTED OTHERWISE.
 - THE LAST THREE FEET OF ALL CURBS SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.
 - REFERENCE GEOTECHNICAL INVESTIGATION REPORT FOR BORING LOGS AND PREPARATION AND CONSTRUCTION PROCEDURES FOR SUBBASE AND DESIGN SECTION OF ALL PAVED AREAS.
 - ALL MDOT REFERENCES ARE TO THE 2020 EDITION.

- SITE PLAN KEY**
- XX NOT USED
- R2 NOT USED
- R3 PLACE RELOCATED LANDSCAPING GRATE AND TREE
- C1 PROPOSED LIGHT POLE
- C2 PROPOSED 6" THICK CONCRETE EQUIPMENT PAD, PER DETAIL S4/C-501
- C3 PROPOSED DUMPSTER ENCLOSURE, PER DETAIL S1/C-501
- C4 PROPOSED 6" CONCRETE SIDEWALK, PER CITY OF DETROIT STANDARD DETAILS FIRST FLAG OF SIDEWALK ON BOTH SIDES OF COMMERCIAL DRIVEWAY APPROACH SHALL BE MIN 6" THICK
- C5 PROPOSED SIDEWALK RAMP, TYPE P, PER CITY OF DETROIT STANDARD DETAILS WHERE FLUSH AGAINST ASPHALT, SIDEWALK TO BE FLUSH TURNED DOWN PER DETAIL S8/C-501
- C6 PROPOSED 6" STEEL BOLLARD, CONCRETE FILLED, PER DETAIL S7/C-501
- C7 PROPOSED VAN ACCESSIBLE BARRIER FREE SIGN PER CITY STANDARD DETAILS
- C8 PROPOSED VAN ACCESSIBLE BARRIER FREE PARKING SPACE
- C9 PROPOSED LIMITS OF DRIVE THRU CANOPY
- C10 PROPOSED 36" TALL RIGHT OF WAY SCREEN WALL, PER DETAIL S9/C-501
- C11 PROPOSED CONCRETE STRAIGHT CURB, PER DETAIL S2/C-501
- C12 PROPOSED CONCRETE DRIVEWAY & CROSSWALK PER CITY STANDARD DETAIL C-4384 THICKNESS AND BASE MATERIAL PER DETAIL S4/C-501
- C13 PROPOSED CONCRETE SIDEWALK, PER DETAIL S3/C-501 WHERE SIDEWALK ABUTS ASPHALT, SIDEWALK SHALL BE TURNED DOWN PER DETAIL S5/C-501
- C14 PROPOSED 6" LONG, 6" TALL CONCRETE WHEEL STOPS
- C15 PROPOSED 6" TALL RESIDENTIAL SCREEN WALL, PER DETAIL S9/C-501
- C16 PROPOSED UTILITY TRENCH PAVEMENT RESTORATION, PER DETAIL ON PAGE C-505
- C17 PROPOSED PRECAST PARKING BLOCK.

SITE PLAN LEGEND	
KEY NOTE	XX
PARKING COUNT	X
WORK LIMIT LINE	---
ASPHALT PAVEMENT, FULL DEPTH PER DETAIL S6/C-501	■
PROPOSED 4 INCH CONCRETE, REFER TO SITE PLAN KEY MAP FOR DETAILS	■
PROPOSED 6 INCH CONCRETE, REFER TO SITE PLAN KEY MAP FOR DETAILS	■
CONCRETE TURNED DOWN SIDEWALK PER DETAIL 7/C-501	---
CONCRETE FLUSH TURNED DOWN SIDEWALK PER DETAIL X/C-501	---



QUANTITIES - THIS SHEET		
CONC PAVT	950	SYD
CURB AND GUTTER	770	LF
SIDEWALK 4 INCH	196	SYD
SIDEWALK 6 INCH	19	SYD
AGREGATE BASE, 4 INCH	1165	syd
STEEL BOLLARD	27	EA
6 FEET TALL RESIDENTIAL SCREEN WALL	170	LF
36 INCH SCREEN WALL	40	LF
CONCRETE WHEELS STOPS	13	EA



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REGISTRATION

ISSUE/REVISION

NO.	DATE	DESCRIPTION
7	10/04/2024	BULLETIN #7
6	09/04/2024	RFI 0030
5	07/02/2024	BULLETIN #3
4	06/11/2024	BULLETIN #2
3	05/07/2024	BULLETIN #1
2	03/26/2024	ADDENDUM #1
1	03/13/2024	BIDS & CONSTRUCTION
I/R	DATE	DESCRIPTION

PROJECT NUMBER

60713829

SHEET TITLE

SITE PLAN

SHEET NUMBER

C-102