



Letter of Transmittal

Date:
Petition Map:

Type of Petition

- | | | |
|---|---------------------------------------|--|
| <input type="checkbox"/> Outright Vacation | <input type="checkbox"/> Dedication | <input type="checkbox"/> Berm Use |
| <input type="checkbox"/> Conversion to Easement | <input type="checkbox"/> Encroachment | <input type="checkbox"/> Temporary Closing |

Review Status

The above petition has been received and reviewed by this office. Please see below for the review status as marked.

- | | |
|--|--|
| <input type="checkbox"/> Approved Subject to Attached Provisions | <input type="checkbox"/> Revise and Resubmit |
| <input type="checkbox"/> Not Approved | |

Additional Comments (if applicable):

Attached is the DWSD provision related to the petition.

	Name	Title	Signature	Date
Reviewed by:			<i>Mohammad Siddique</i>	
Approved by:			<i>Mohammad Siddique</i> For Syed Ali	



PROVISIONS FOR OUTRIGHT VACATION

Provided that the petitioner shall design and construct proposed sewers and/or water mains and make the connections to the existing public sewers and/or water mains as required and approved by the Detroit Water and Sewerage Department (DWSD) prior to abandoning the sewers and/or water mains petitioned for outright vacation.

Provided that the plans for the sewers and or water mains shall be prepared by a licensed professional engineer registered in the State of Michigan; and further;

Provided that DWSD be and is hereby authorized to review the drawings for the proposed sewers and or water mains and to issue permits for the construction of the sewers and or water mains, and further;

Provided that the entire work is to be performed in accordance with the current DWSD standards/specifications and approved by DWSD and constructed under the inspection and approval of DWSD; and further;

Provided that the entire cost of the proposed sewers and or water mains construction, including inspection, survey and engineering shall be borne by the petitioner; and further;

Provided that the petitioner shall deposit with DWSD, in advance of engineering, inspection and survey, such amounts as the department deems necessary to cover the costs of these services; and further;

Provided that the petitioner shall grant to the City a satisfactory easement, if applicable, for the sewers and/or water mains; and further;

Provided that the Board of Water Commissioners shall accept and execute the easement grant on behalf of the City; and further;

Provided, that the petitioner shall provide DWSD with as –built drawings on the proposed sewers and or water mains; and further;

Provided that the petitioner shall provide a one (1) year warranty for the proposed sewers and or water mains; and further;

Provided that upon satisfactory completion, the proposed sewers and/or water mains shall become City property and become part of the City system. Any existing sewers and/or water mains that were abandoned shall belong to the petitioner and will no longer be the responsibility of the City.

studiozONE, llc

350 Madison, 4th Floor, Detroit, Michigan • www.studiozonedetroit.com • (313) 549-2790

October 10, 2023

Department of Public Works
City of Detroit

RE: Alley Vacation of the existing alley between properties located at 350 Madison (Music Hall) and 300 Madison (parking lot)

To Whom It May Concern:

Music Hall Center for the Performing Arts, the owner for the Music Hall at 350 Madison and the parking lot at 300 Madison is requesting the vacating of the alley between the two properties, approximately 160' of alley length.

The alley vacation is for the following purposes:

1. Installation of new footings along the length of the west side of the alley. The new building is a zero lot line structure and construction foundation work will have to be performed in the existing alley for installation of footings.
2. We are working with the existing utility providers in the alley currently, DTE, DWSD, AT & T and Everstream (formerly Rocket Fiber) on the upgrade and relocation of the utilities for the new building. Some utilities will be temporarily relocated during the construction period. The DTE service will require a major service upgrade with all new electrical underground utilities for both the existing and new building.
3. We will have "bridges" connecting the existing building and new building at the 2nd Floor and the existing rooftop level which will cross the alley overhead.
4. There will be an underground connection between the kitchens of both buildings.
5. After the construction is completed, the alley will be reopened and available for service vehicles to enter the alley to serve all building owners along the length of the alley to the south and the alley will be "activated" for pedestrian public access.
6. All property owners adjacent to the alley, to the south of the Music Hall site, will continue to have access to the alley per the attached Egress Easement. See the attached notification of agreement to the Egress Easement.

Sincerely,

John P. Biggar, PA, AIA, NCARB
studiozONE, llc

- GENERAL NOTES:**
- REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, SMEP+FP+IT, AND CIVIL DRAWINGS.
 - REFER TO 100% SD APPENDIX II FOR PLAN AND WALL FINISH DESCRIPTIONS.
 - REFER TO 100% SD APPENDIX III FOR ADDITIONAL FINISH DESCRIPTIONS.
 - REFER TO 100% SD APPENDIX IV FOR PERFORMANCE SPECIFICATIONS AND ALTERNATES.
 - REFER TO 100% SD APPENDIX V FOR CODE SUMMARY.

UTILITY LEGEND:

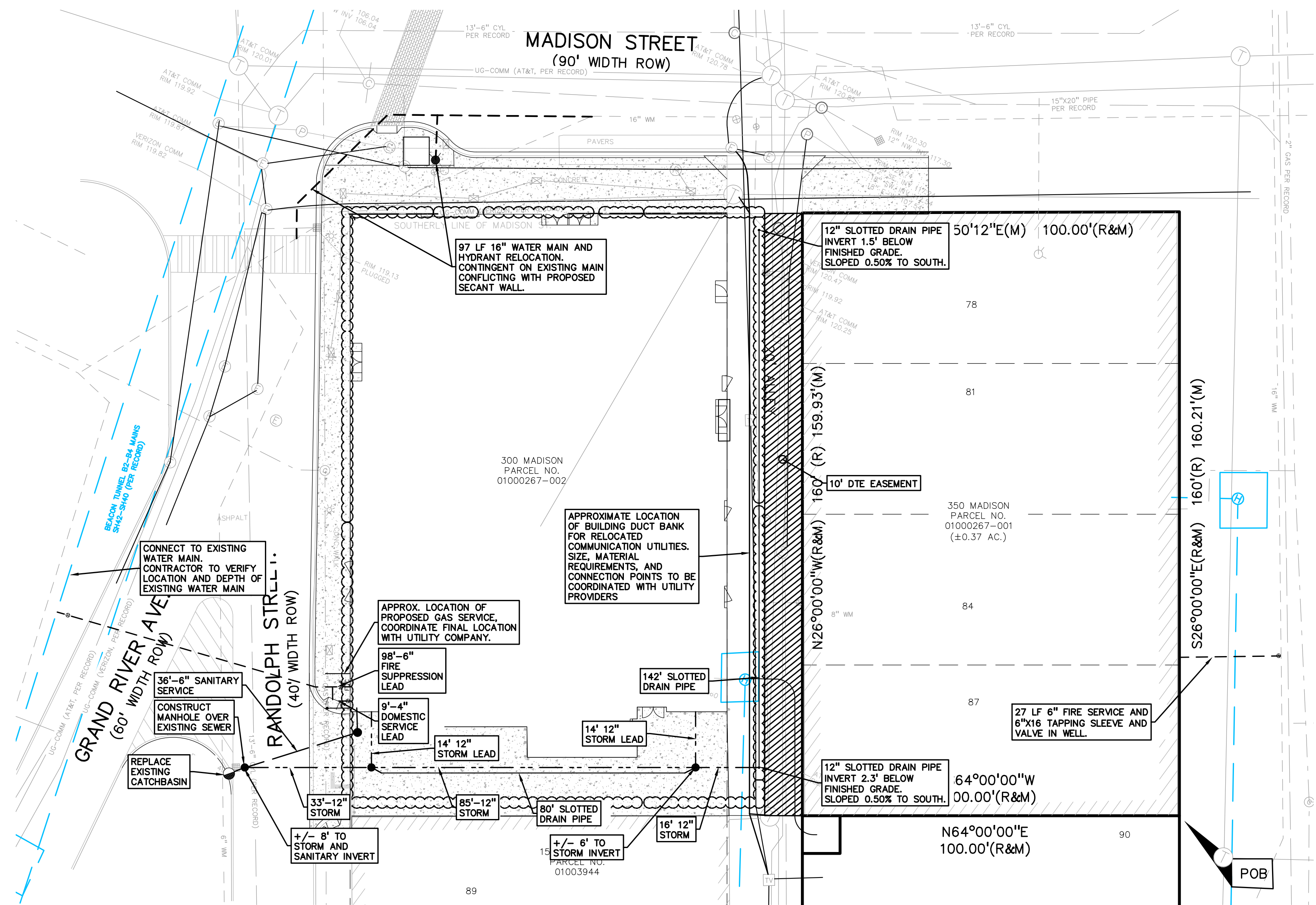
—OH—ELEC—	EX. OH. ELEC. POLE & GUY WIRE
—UG—CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG—COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
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---	EX. GAS LINE
⊗	EX. GAS VALVE & GAS LINE MARKER
⊠	EX. TRANSFORMER & IRRIGATION VALVE
---	EX. WATER MAIN
⊕	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊗	EX. WATER VALVE BOX & SHUTOFF
⊗	EX. SANITARY SEWER
⊗	EX. SANITARY CLEANOUT & MANHOLE
⊗	EX. COMBINED SEWER MANHOLE
---	EX. STORM SEWER
⊗	EX. CLEANOUT & MANHOLE
⊗	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
⊗	EX. YARD DRAIN & ROOF DRAIN
⊗	EX. UNIDENTIFIED STRUCTURE
---	PROPOSED WATER MAIN
⊗	PROPOSED HYDRANT AND GATE VALVE
⊗	PROPOSED TAPPING SLEEVE, VALVE & WELL
⊗	PROPOSED POST INDICATOR VALVE
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⊗	PROPOSED STORM SEWER
⊗	PROPOSED STORM SEWER CLEANOUT & MANHOLE
⊗	PROPOSED CATCH BASIN, INLET & YARD DRAIN

PREMIUM TRENCH BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

REFER TO:
UTILITY FINAL CONSTRUCTION DOCUMENTS FOR ADDITIONAL NOTES AND DETAILS ON SHEET C-9.0

NOTE:
CONTRACTOR TO VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.

STORMWATER NOTE:
TOTAL SITE DISTURBANCE DOES NOT EXCEED 1/2 ACRE. PER CITY OF DETROIT POST CONSTRUCTION STORMWATER ORDINANCE NO DETENTION OF SITE STORMWATER IS REQUIRED.



ARCHITECTS
TOD WILLIAMS
BILLIE T SIEN
AND ASSOCIATES

222 CENTRAL PARK SOUTH
NEW YORK CITY, NY 10019
T 212-682-2985
F 212-245-1884
E twh@twbta.com

UTILITY BID PACKAGE #01

FEBRUARY 14, 2023

FOR BID

NOTE: ERS SECANT WALLS ARE DELEGATED DESIGN SCOPE. SHOP DRAWINGS FROM DESIGN/BUILD CONTRACTOR ARE FORTHCOMING

NOT FOR CONSTRUCTION

DETROIT MUSIC HALL EXPANSION
CENTER FOR THE PERFORMING ARTS
350 MADISON ST., DETROIT, MI 48226

SCALE: 1"=20'

DRAWN BY: PEA GROUP

PRELIMINARY
UTILITY PLAN

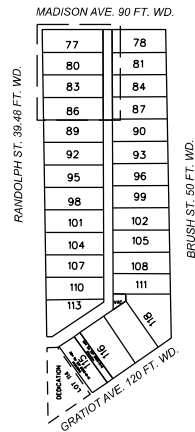
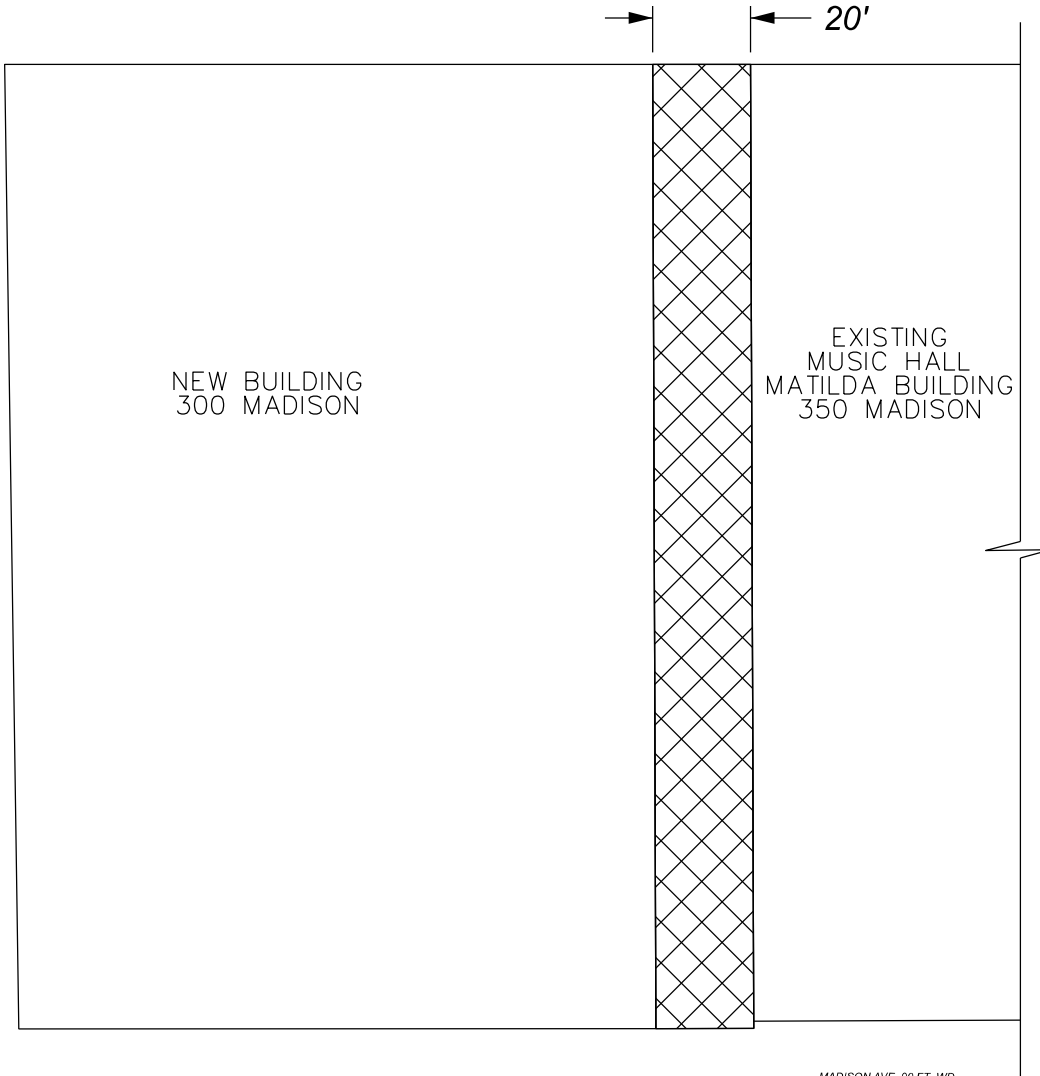
C-6.0

MAP-23-147

MADISON AVE. 90 FT. WD.



RANDOLPH ST. 39.48 FT. WD.



- REQUEST OUTRIGHT VACATION

(FOR OFFICE USE ONLY)

CARTO 28 A

B					
A					
DESCRIPTION	DRWN	CHKD	APPD	DATE	
REVISIONS					
DRAWN BY	LC	CHECKED	AP		
DATE	10-13-2023	APPROVED	JD		

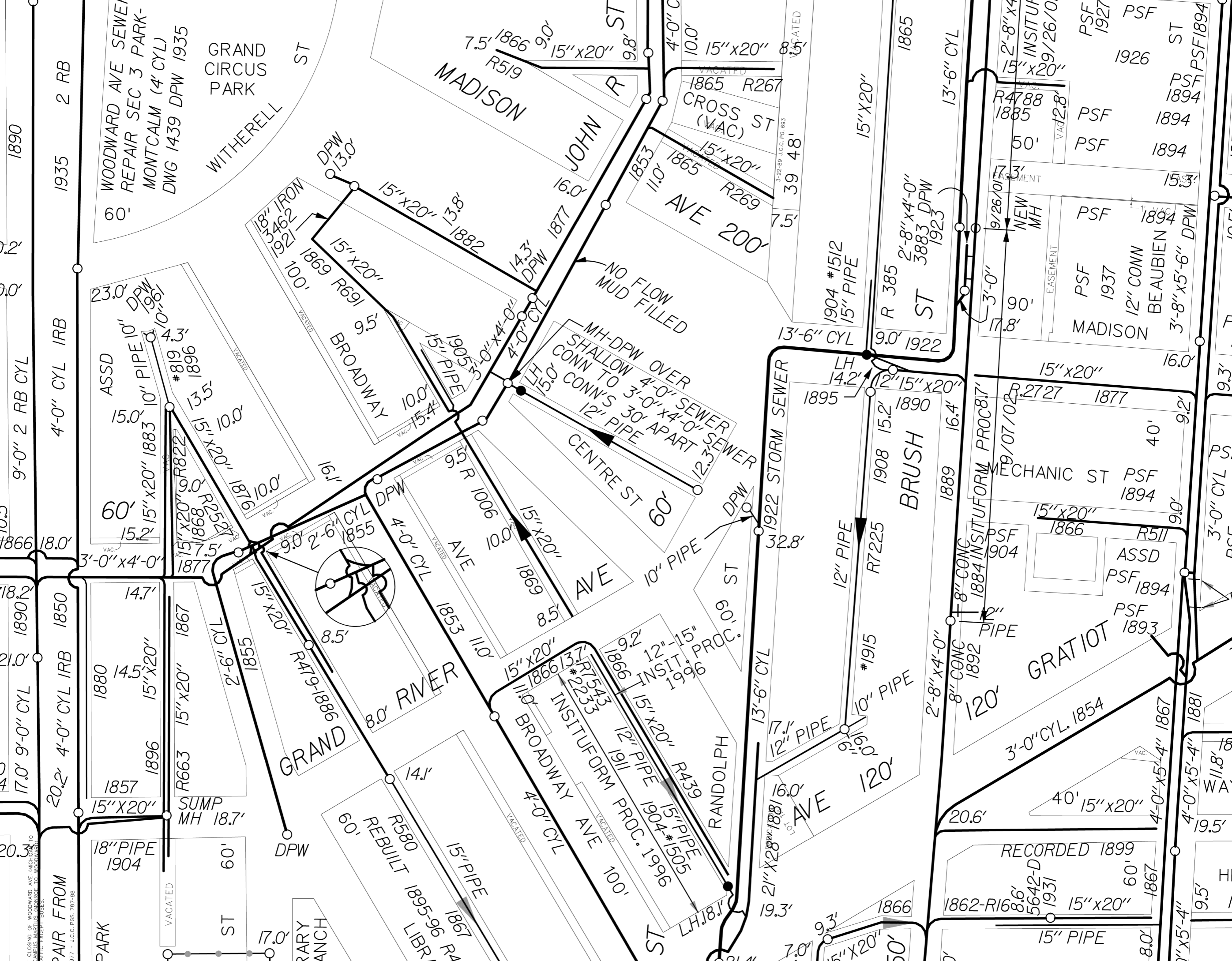
**REQUEST OUTRIGHT VACATION
OF THE ALLEY BOUNDED BY
RANDOLPH ST., MADISON AVE.,
AND BRUSH ST., BETWEEN
350 MADISON AND 300 MADISON**

CITY OF DETROIT ENGINEERING DIVISION SURVEY BUREAU	
JOB NO.	23-147
DRWG. NO.	



PHILIP C. GREGG & ASSOCIATES, INC.
TRAFFIC ENGINEERS
11000 WOODWARD AVE., SUITE 200
DETROIT, MI 48202
TEL: 313.977.1000 FAX: 313.977.1001
WWW.PCGA.COM

PHIL 13, 1977 - J.C.C. PGS. 7/1-10/8



CLOSING OF WOODWARD AVE. (MICHIGAN TO PARKWAY) WORKING UNDERGROUND TO WOODWARD PARKWAY EXCEPT BUSES.
3777 - J.C.C. PGS. 787-88

PAIR FROM

PARK

VACATED

ST

RARY
ANCH

LIBR

VACATED

ST

ST

RANDOLPH

AVE

ST

ST

ST

ST

ST

17.0' 9'-0" CYL

20.2' 4'-0" CYL IRB

18.0' 3'-0" x 4'-0"

18.80 14.7'

18.96 15" x 20"

R663 15" x 20"

18.67 2'-6" CYL

18.55 15" x 20"

R479-1886 8.5'

GRAND RIVER

8.0' 2'-6" CYL

18.53 11.0'

18.53 4'-0" CYL

18.69 10.0'

18.69 15" x 20"

18.69 10" PIPE

18.69 60' ST

18.69 10.0'

18.69 15" x 20"

18.69 12.3' SEWER

18.69 12" PIPE

18.69 13'-6" CYL

18.69 19.3'

18.69 12" PIPE

18.69 12" PIPE

18.69 12" PIPE

18.69 2'-8" x 4'-0"

18.69 8" CONC

18.69 120'

18.69 3'-0" CYL

18.69 40' 15" x 20"

18.69 4'-0" x 5'-4"

18.69 4'-0" x 5'-4"

18.69 11.8' 18

9'-0" 2 RB CYL

4'-0" CYL IRB

18.66 18.0'

18.66 15.2'

18.66 15" x 20"

18.66 15" x 20"

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18.66 15" x 20"

18.66 15" x 20"

LATERAL SEWER IN ALLEY

IN BLOCK BOUNDED BY
RANDOLPH AND BRUSH STS.
GRATIOT AND MADISON AVES.

SEWER No. 1915
 ROLL No. 7225

CONTRACT PRICE 1873.00
 39.78
 15.60
 5.50
 1933.88
 LANGLEY & JEVNES

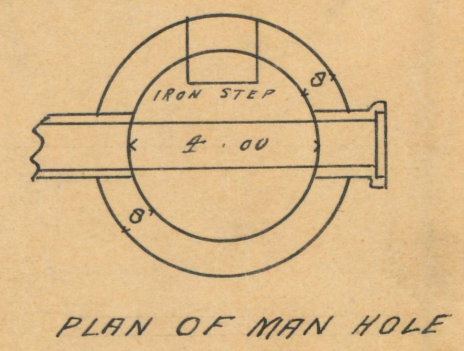
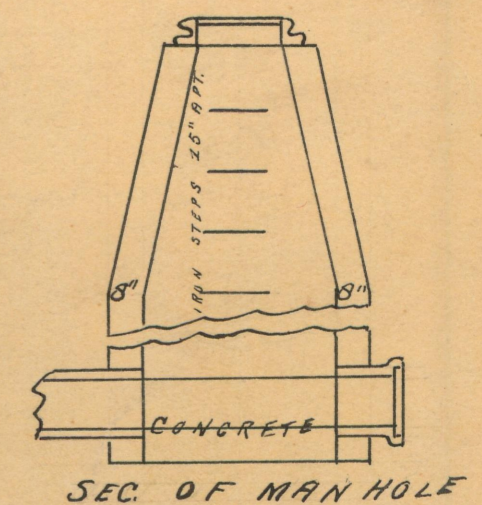
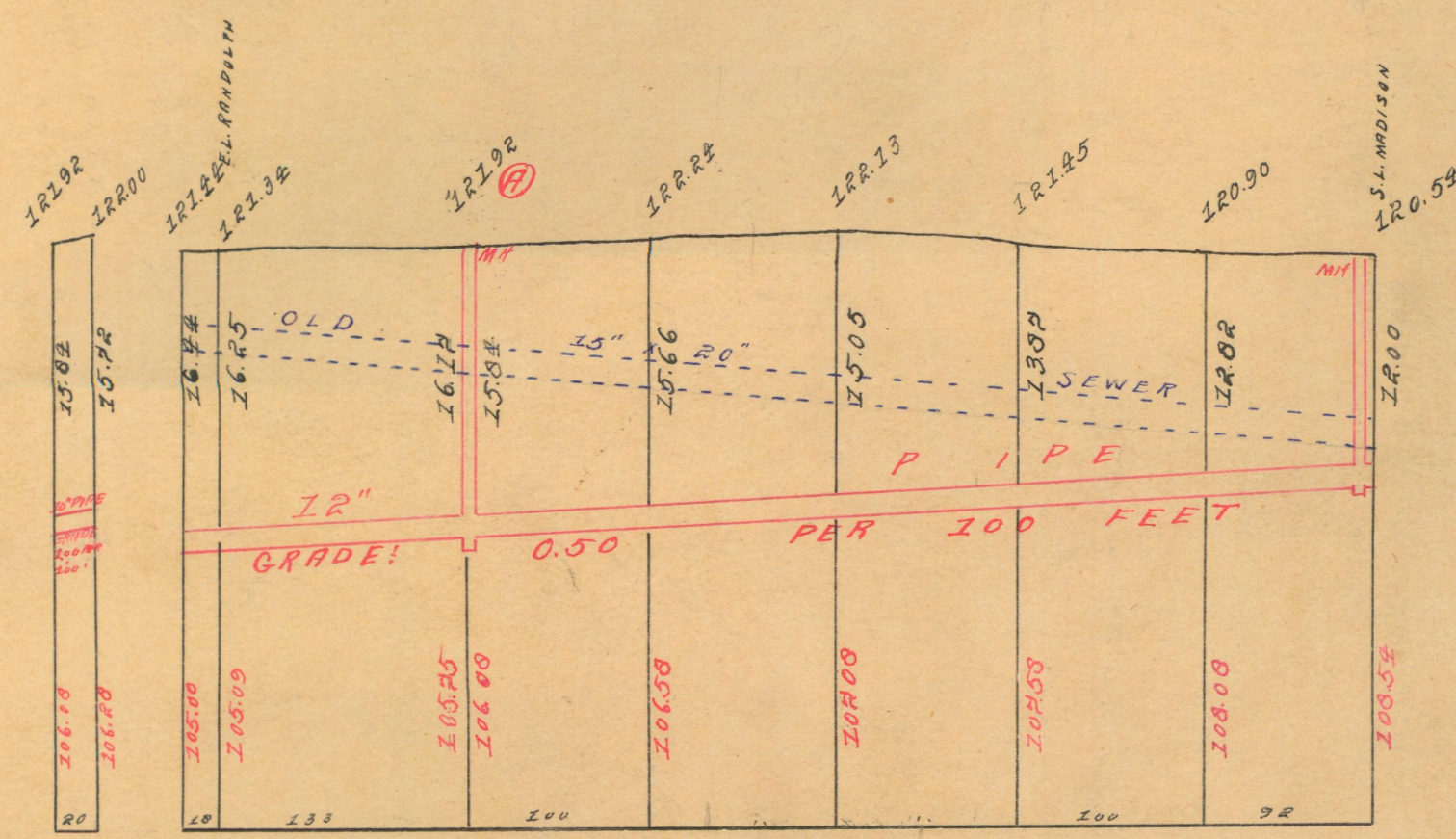
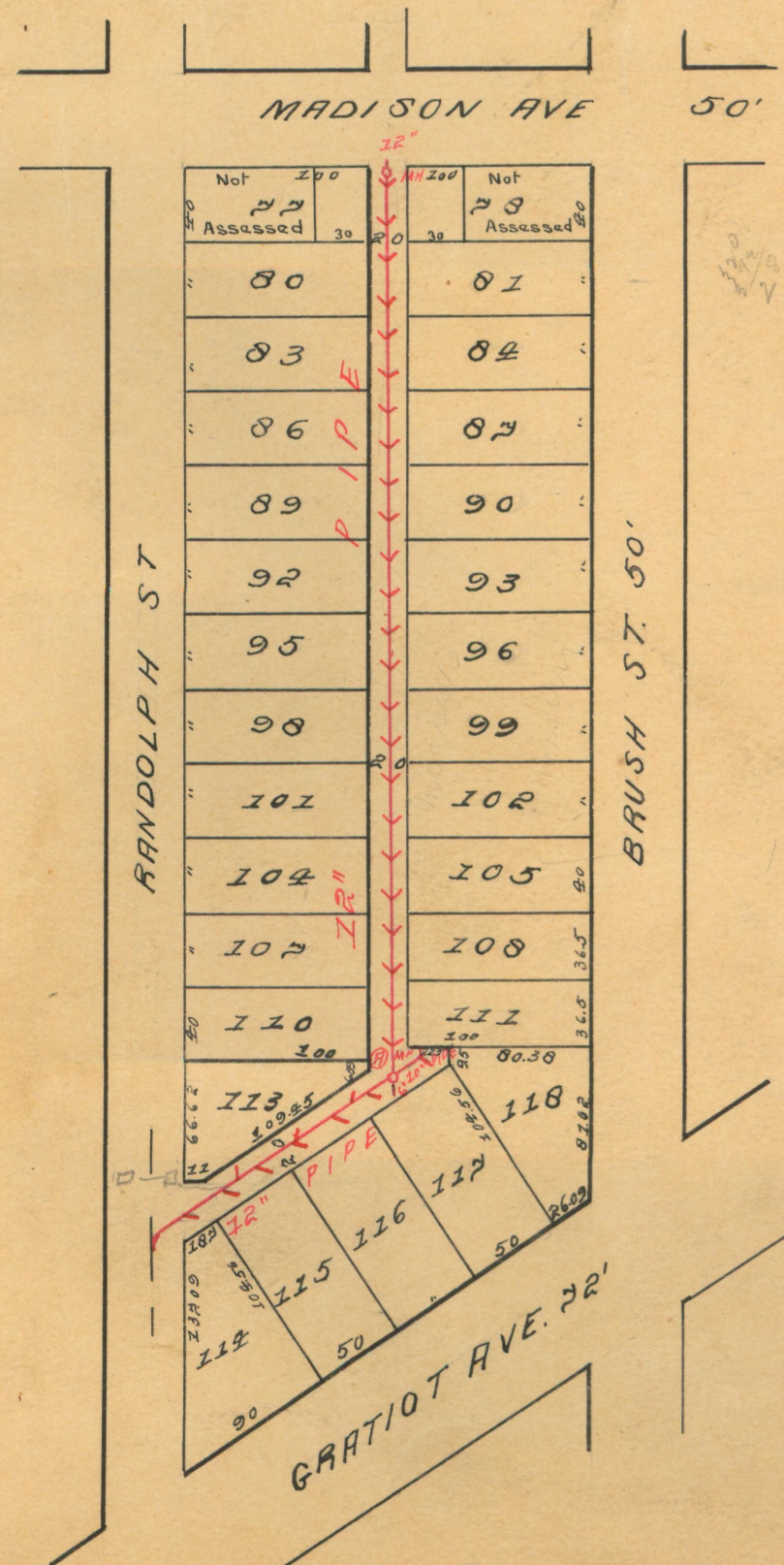
DETAILS
 LENGTH OF SEWER 663 FEET.
 " " 12" PIPE 643 " INC. 5 1/2" 6" Y³ BENDS, 1/2 SLANT
 " " 10" " 20 " INC 2-6" Y³.
 1-6" 1-12" CONNECTION IN MAN HOLES
 2 MAN HOLES WITH IRON STEPS
 GRADE: 0.50 PER 100 FEET.

NB. OLD SEWER TO BE
 REMOVED AND ALL CONNECTIONS
 TO BE REPLACED.
 FOR CONDUITS, PIPES, &c. SEE
 BACK OF THIS DIAGRAM.
 51- OLD CONNECTIONS MORE
 OR LESS

"NOTE" CONTRACTOR WILL NOT BE REQUIRED
 TO REPLACE PAVEMENT.

CONNECTIONS
 FOR SPECIFICATIONS
 NORTH SIDE R8
 EAST & SOUTH HOLLOW BRICK 3R

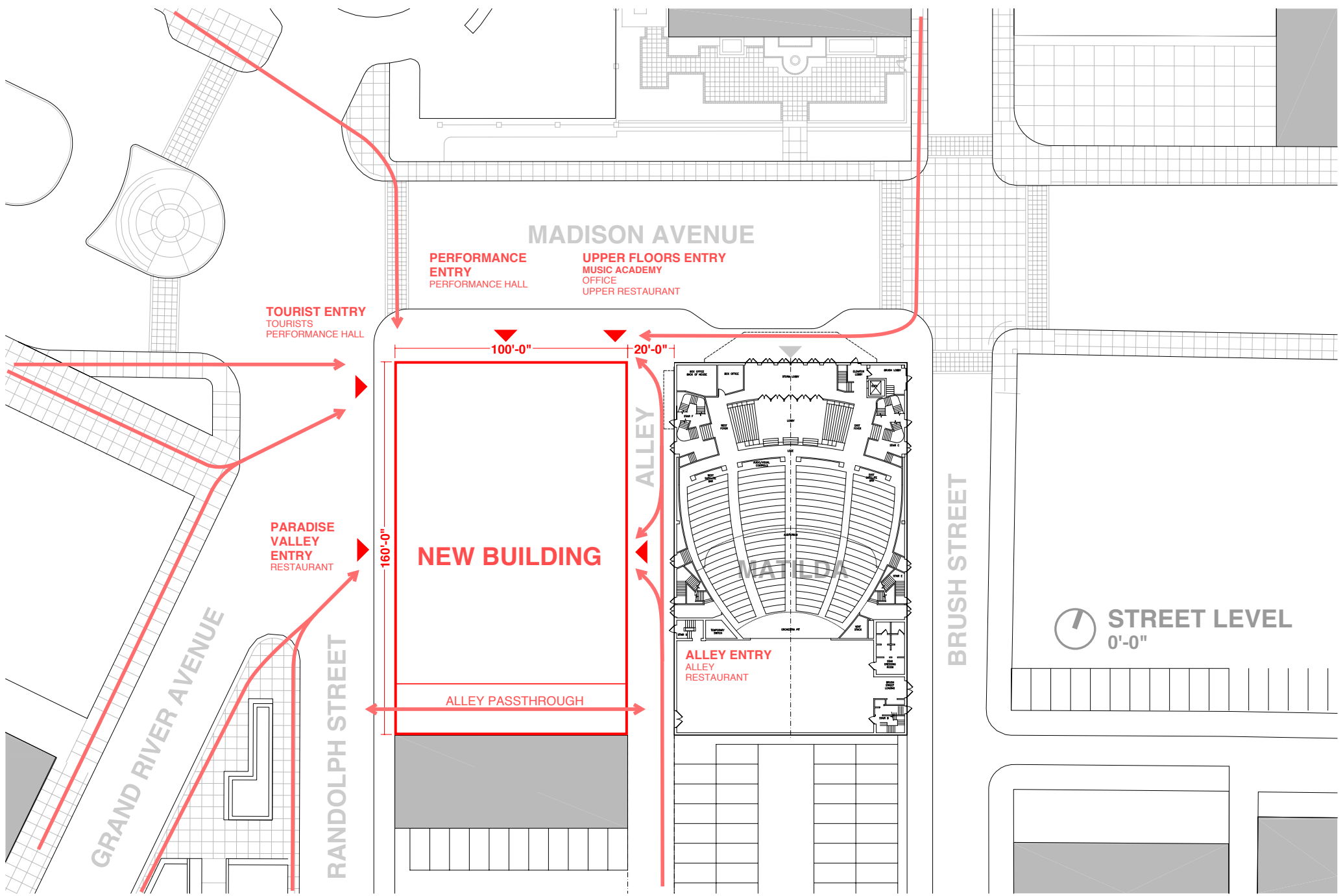
HORIZONTAL 1 INCH = 100 FEET
 VERTICAL 1 INCH = 10 FEET
 PLAN 1 INCH = 100 FEET
 1/4" = 4 FEET
 NOTE - Cement and Manhole Covers
 will be furnished by the City.

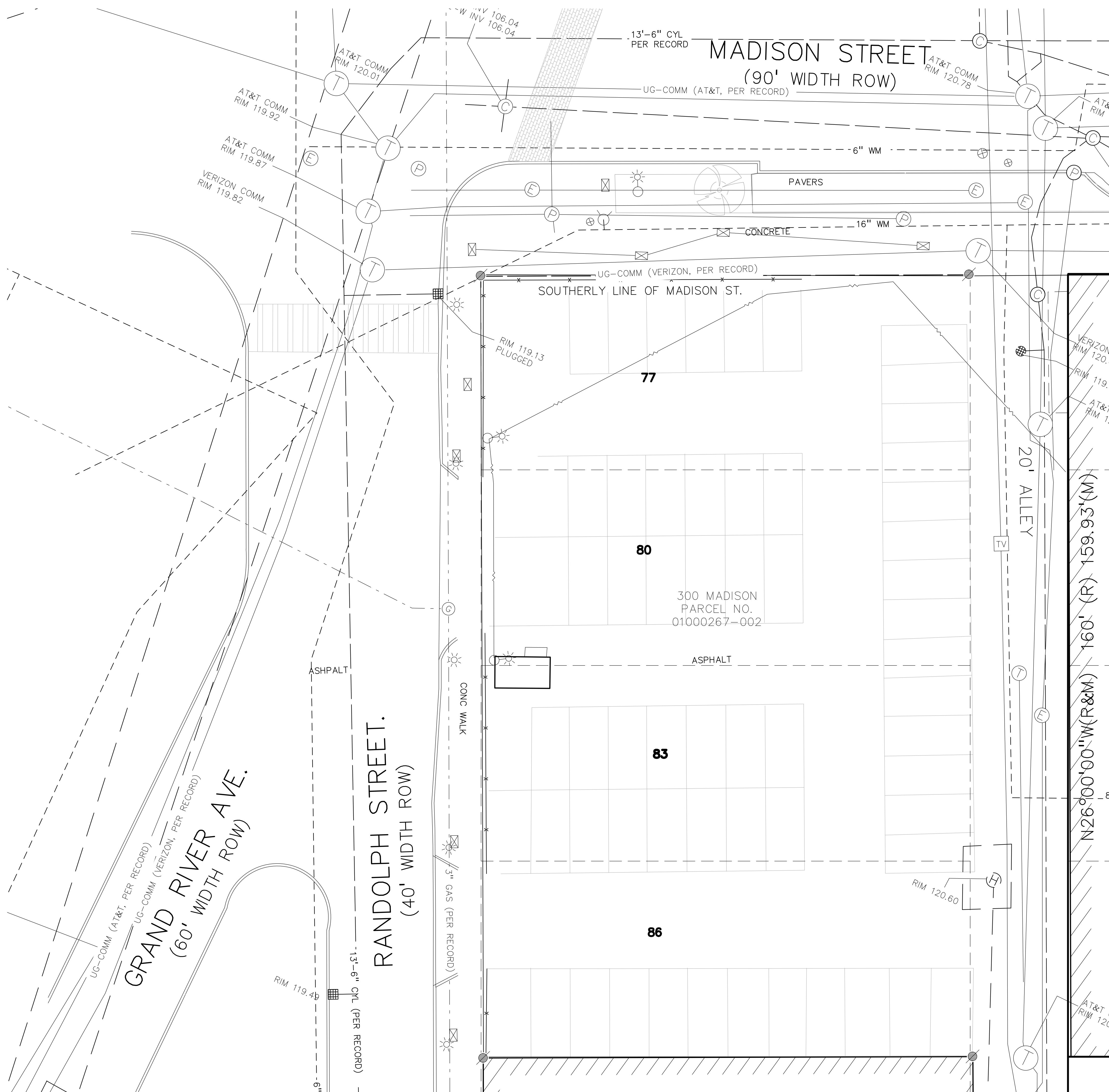


PETITION FEB 25, '08
 RESOLUTION MAR 3
 CANT CON- APR 21
 COLL CODE JULY 7, '08

23160

OK





GENERAL NOTES:

1. REFERENCE 100% SCHEMATIC PRICING NARRATIVE FOR TYPICAL MATERIAL & CONSTRUCTION SPECIFICATIONS
2. REFERENCE 100% SCHEMATIC PRICING NARRATIVE FOR ALTERNATES
3. REFERENCE 100% SCHEMATIC PRICING NARRATIVE FOR ROOM MATERIAL AND CONSTRUCTION SPECIFICATIONS
4. DRAWINGS ARE PRELIMINARY, REFERENCE 100% SCHEMATIC PRICING NARRATIVE FOR ALL APPLICABLE CODES

LEGEND:

—OH—ELEC—W—O—	EX. OH. ELEC. POLE & GUY WIRE
—UG—CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG—COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
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⊖	EX. WATER VALVE BOX & SHUTOFF
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⊙	EX. SANITARY CLEANOUT & MANHOLE
⊚	EX. COMBINED SEWER MANHOLE
---	EX. STORM SEWER
⊙	EX. CLEANOUT & MANHOLE
⊚	EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
⊙	EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
⊙	EX. UNIDENTIFIED STRUCTURE
⊙	EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
---	EX. FENCE
---	EX. GUARD RAIL
⊙	EX. DEC. TREE, CONIFEROUS TREE & SHRUB
⊙	EX. TREE TAG & TREE LINE
⊙	EX. SPOT ELEVATION
---	EX. CONTOUR
---	EX. WETLAND
⊙	IRON FOUND / SET
⊙	NAIL FOUND / NAIL & CAP SET
⊙	BRASS PLUG SET
⊙	MONUMENT FOUND / SET
⊙	SECTION CORNER FOUND
R M C	RECORDED / MEASURED / CALCULATED

ARCHITECTS
 TOD WILLIAMS
 BILLIE T S I E N
 AND ASSOCIATES

222 CENTRAL PARK SOUTH
 NEW YORK CITY, NY 10019
 T 212-562-2985
 F 212-245-1884
 E IAH@TWBTA.COM

100% SCHEMATIC DESIGN
 SEPTEMBER 08, 2023

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

**DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS**

350 MADISON ST., DETROIT, MI 48226

SCALE: 1"=10'

DRAWN BY: PEA GROUP

**TOPOGRAPHIC
 SURVEY**

C.001

MADISON STREET
(90' WIDTH ROW)

GENERAL NOTES:

- REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, SMFP+FP+IT, AND CIVIL DRAWINGS.
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- REFER TO 100% SD APPENDIX V FOR CODE SUMMARY.

LEGEND:

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.

ARCHITECTS
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BILLIE T S I E N
AND ASSOCIATES

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CENTER FOR THE PERFORMING ARTS**

350 MADISON ST., DETROIT, MI 48226

SCALE: 1"=10'
DRAWN BY: PEA GROUP

**PRELIMINARY
SITE PLAN**

C.003

GRAND RIVER AVE.
(60' WIDTH ROW)

RANDOLPH STREET.
(40' WIDTH ROW)

300 MADISON
PARCEL NO.
01000267-002

N64°E(R) ↑
160' (R) 159.93'(M)
N26°00'00"W(R&M)

CURB TO ALLOW TRUCK
MOVEMENTS

STANDARD DUTY CONCRETE
PAVEMENT, TYP. REFER TO
DETAIL ON SHEET C-9.0

LIMITS OF BUILDING BELOW GRADE,
TYP. REFER TO ARCHITECTURAL
DRAWINGS FOR ADDITIONAL
DETAILS, TYP.

LIMITS OF BUILDING BELOW GRADE,
TYP. REFER TO ARCHITECTURAL
DRAWINGS FOR ADDITIONAL
DETAILS, TYP.

DUMPSTER
ENCLOSURE

DOOR, TYP.

DOOR, TYP.

EXISTING CROSSWALK

PROPOSED PLANTER, TYP.

ADDITIONAL CURBSIDE
PARKING

CONCRETE SIDEWALK, TYP.

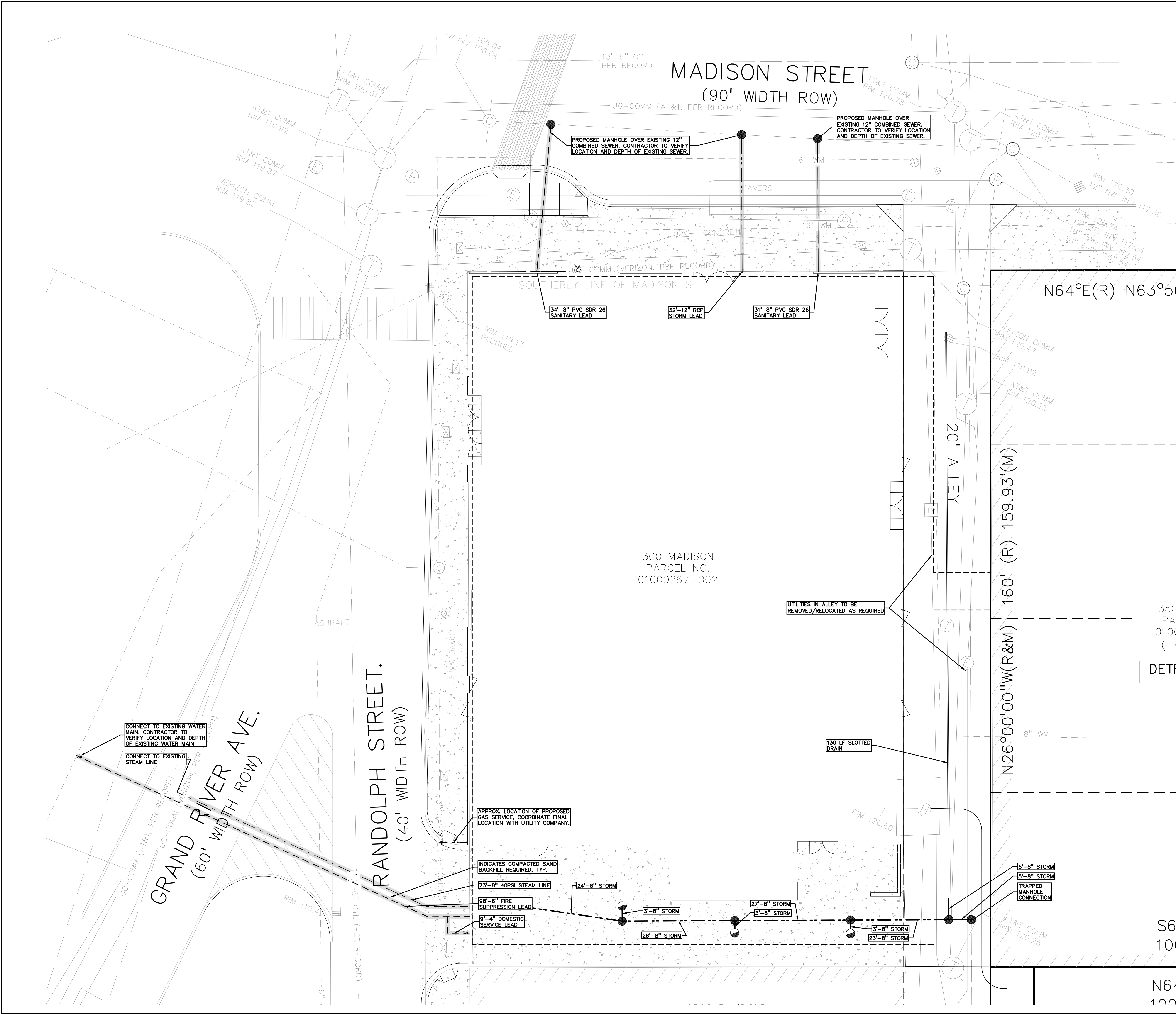
BARRIER FREE PATH, TYP.

12.93'

5'

20'

15.35'



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⊞	PROPOSED CATCH BASIN, INLET & YARD DRAIN

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REFER TO:
 UTILITY NOTES AND DETAILS ON SHEET C-9.0

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 CONTRACTOR TO VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PE GROUP FOR VERIFICATION, PRIOR TO BIDDING.

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 BILLIE T SIEN
 AND ASSOCIATES
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 NEW YORK CITY, NY 10019
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 F 212-245-1884
 E tsi@twbta.com

100% SCHEMATIC DESIGN
 SEPTEMBER 08, 2023

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

**DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS**
 350 MADISON ST., DETROIT, MI 48226

SCALE: 1"=10'

DRAWN BY: PE GROUP

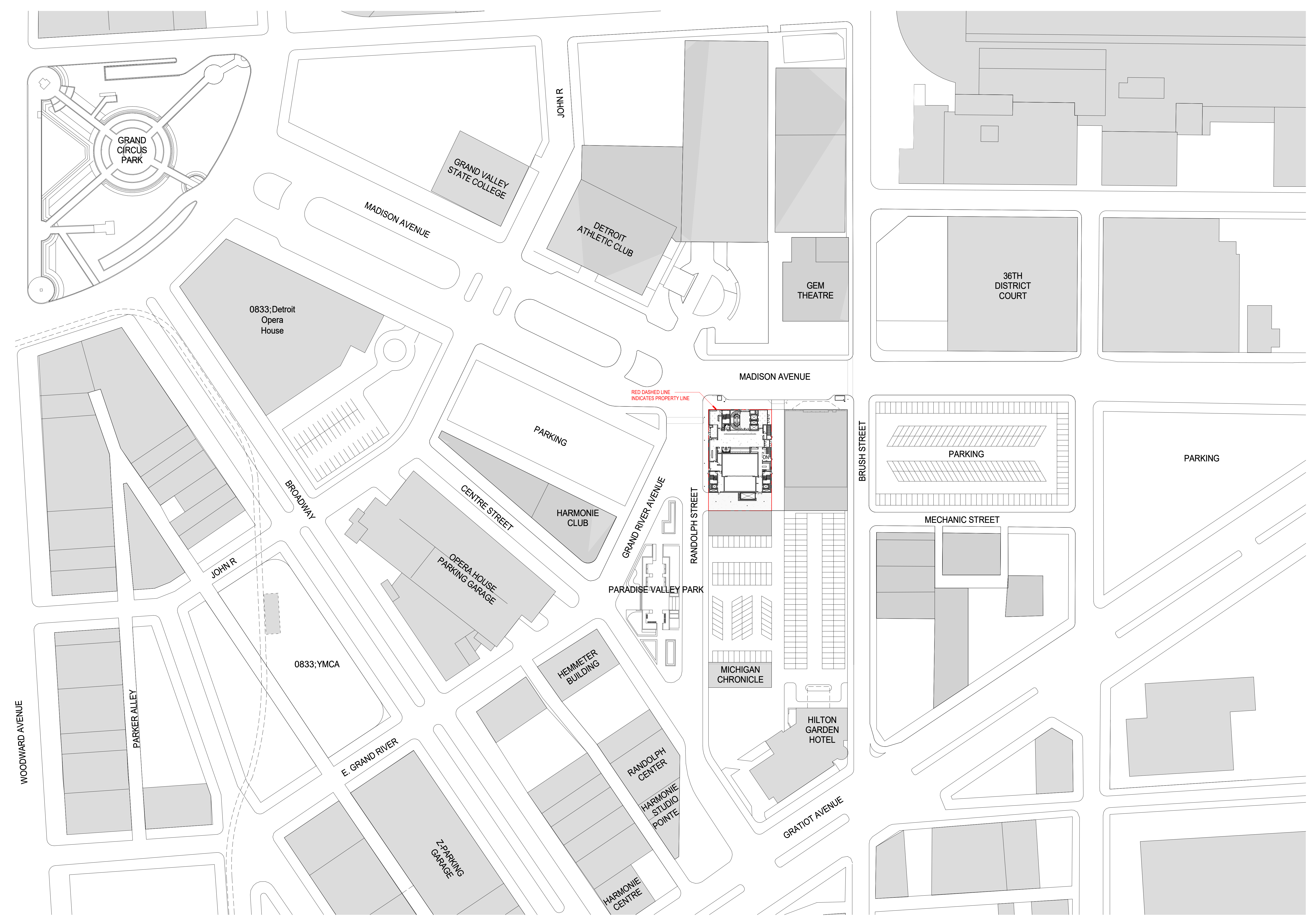
PRELIMINARY
 UTILITY PLAN

C.006

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 5. REFER TO 100% SD APPENDIX V FOR CODE SUMMARY.
 6. ALL EXISTING UTILITIES AND SITE CONDITIONS, INCLUDING BUT NOT LIMITED TO NEIGHBORING STRUCTURES, MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
 7. ALL PROPOSED SCOPE ADJACENT TO (OR ENCRoACHING UPON) EXISTING ELEMENTS REQUIRE APPROVAL FROM RELEVANT GOVERNING BODIES.
 8. SEICANT WALL DESIGN SCOPE IS FOR REFERENCE ONLY AND MUST BE DIMENSIONALLY CONFIRMED AND FURTHER DEVELOPED BY ERS SUBCONTRACTOR.

225 CLEVELAND PARKWAY
 NEW YORK, NY 10019
 T 212.562.2385
 F 212.562.2386
 E info@twilliams.com

TOD WILLIAMS
 BILLIE TRSIEN
 ARCHITECTS, LLP



2 SITE CONTEXT PLAN - L1 STREET
 SCALE: 1/8" = 1'-0"

100% SCHEMATIC DESIGN
 SEPTEMBER 08, 2023
 REVISIONS

NOT FOR CONSTRUCTION

DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS
 350 JACOBSON ST. DETROIT, MI 48226

DWN BY: TWBTA
 SCALE: As indicated

SITE CONTEXT
 PLAN

A.001

MADISON AVENUE

GEM THEATRE

MADISON AVENUE

BRUSH STREET

MECHANIC STREET

HARMONIE CLUB

GRAND RIVER AVENUE

PARADISE VALLEY PARK

RANDOLPH STREET

LA CASA CIGAR LOUNGE

EXISTING MUSIC HALL MATILDA BUILDING

- GENERAL NOTES:**
1. REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, S MEP-FP-IT, AND CIVIL DRAWINGS.
 2. REFER TO 100% SD APPENDIX II FOR PLAN AND WALL FINISH DESCRIPTIONS.
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 5. REFER TO 100% SD APPENDIX V FOR CODE SUMMARY.
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TOD WILLIAMS
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 ARCHITECTS, LLP

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 F 212.562.2886
 E info@twiarch.com

100% SCHEMATIC DESIGN
 SEPTEMBER 08, 2023
 REVISIONS

NOT FOR CONSTRUCTION

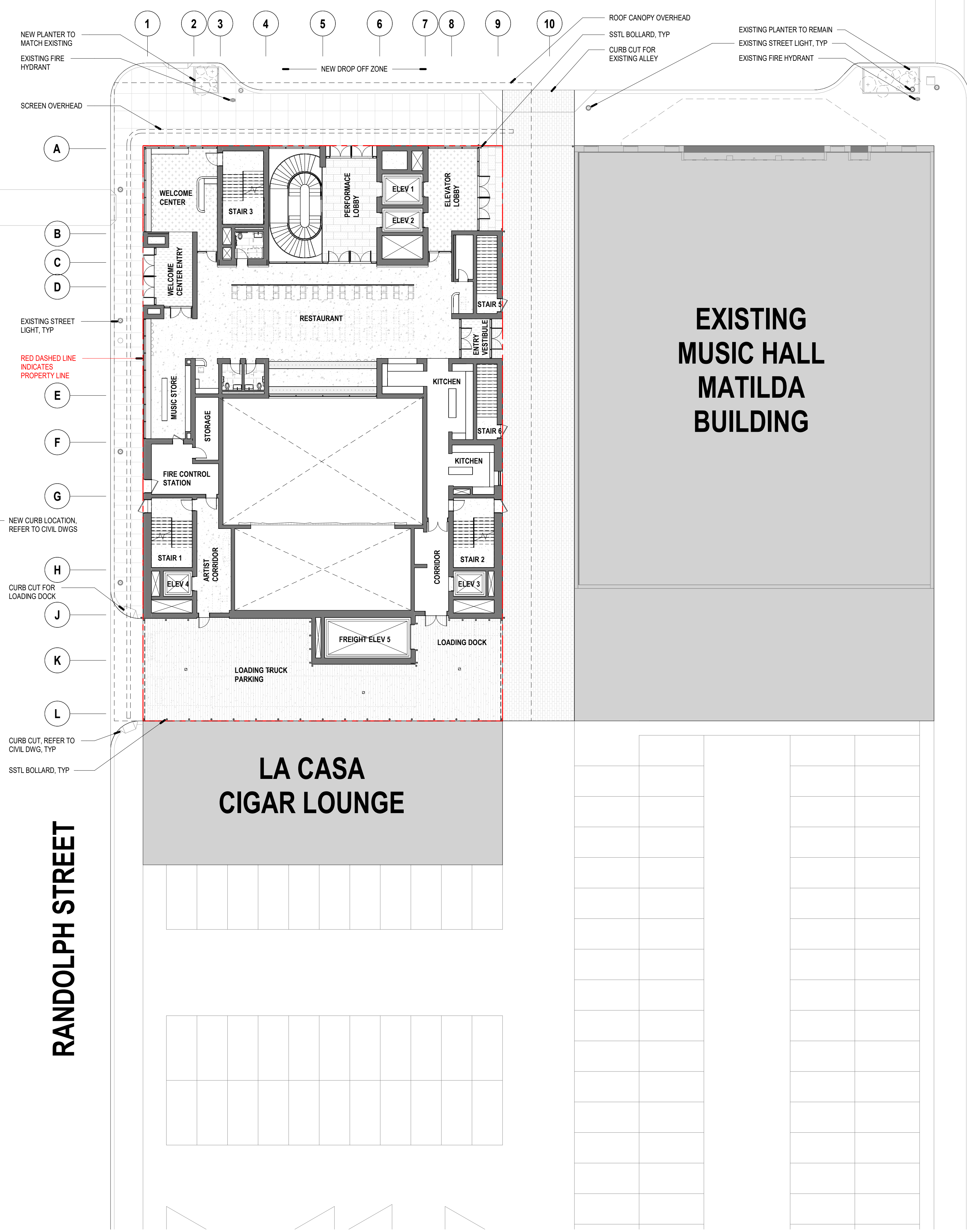
DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS

350 JACOBSON ST. DETROIT, MI 48226

DWN BY: TWBTA
 SCALE: As indicated

SITE PLAN

A.002



- GENERAL NOTES:**
1. REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, S MEP-FP-IT, AND CIVIL DRAWINGS.
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- LEGEND**
- C30 FLOORS:**
- CN-1 STAINED CONCRETE
 - CN-2 SCORED CONCRETE
 - PF-1 PAINT OR SEALER
 - PF-2 EPOXY COATING
 - STN-1 STONE PAVERS
 - STN-2 STONE TREADS AND RISERS
 - TL-1 FLOOR TILE
 - ET-1 EPOXY TERRAZZO
 - ET-2 EPOXY TERRAZZO TREADS
 - WD-1 WOOD
 - WD-2 WOOD
 - SF-1 PERFORMANCE PLATFORM
 - CPT-1 CARPET
 - CPT-2 CARPET
 - CPT-3 WALK-OFF MAT
 - L1 LINOLEUM
- C30 WALLS:**
- CN-1 STAINED CONCRETE
 - STN-1 STONE CLADDING
 - PF-1 PAINT
 - PF-2 INTUMESCENT PAINT
 - CT-1 CERAMIC TILE
 - CT-2 CERAMIC TILE
 - BRK-1 INTERIOR BRICK CLADDING
 - MTL-1 FIXED METAL PANEL
 - AP-1 ACOUSTICAL WALL PANEL
 - AP-2 ACOUSTICAL WALL PANEL W/ WOOD BATTEN OVERLAY
 - BLK-1 CMU
 - PL-1 FIBER REINFORCED PLASTIC
 - TEX-1 TEXTILE WALL COVERING
 - WD-1 ARTICULATED WOOD PANEL A
 - WD-2 ARTICULATED WOOD PANEL B
- C10 INTERIOR CONSTRUCTION:**
- VASG VERTICAL ACTING SECURITY GATE
- GLASS:**
- GL-AF ACOUSTIC/FIRE RATED GLASS ASSEMBLY
 - GL-A ACOUSTIC RATED GLASS ASSEMBLY
 - GL-S SMOKE RATED GLASS ASSEMBLY
 - GLR-1 INTERIOR GUARDRAIL
 - GLR-2 INTERIOR GUARDRAIL
- R00 EXTERIOR ENCLOSURE:**
- EXT STN-1 STONE PANELS
 - EXT MTL-1 METAL CLADDING
 - EXT MTL-2 EXTERIOR FIRE RESISTANT METAL PANEL
 - EXT PLST-1 EXTERIOR HARD COAT STUCCO
 - EXT BRK-1 EXTERIOR BRICK CLADDING
 - EXT CW-1 CURTAIN WALL SYSTEM A (BUILDING STREET & ROOF TOP W/ IN-S)
 - EXT CW-2 CURTAIN WALL SYSTEM B (BUILDING BODY)
 - EXT CW-3 CURTAIN WALL SYSTEM C (RECTRAL HALL GLAZING)
 - EXT RS-1 EXTERIOR ORNAMENTAL METAL SCREEN
 - EXT GLR-01 EXTERIOR GLASS GUARDRAIL

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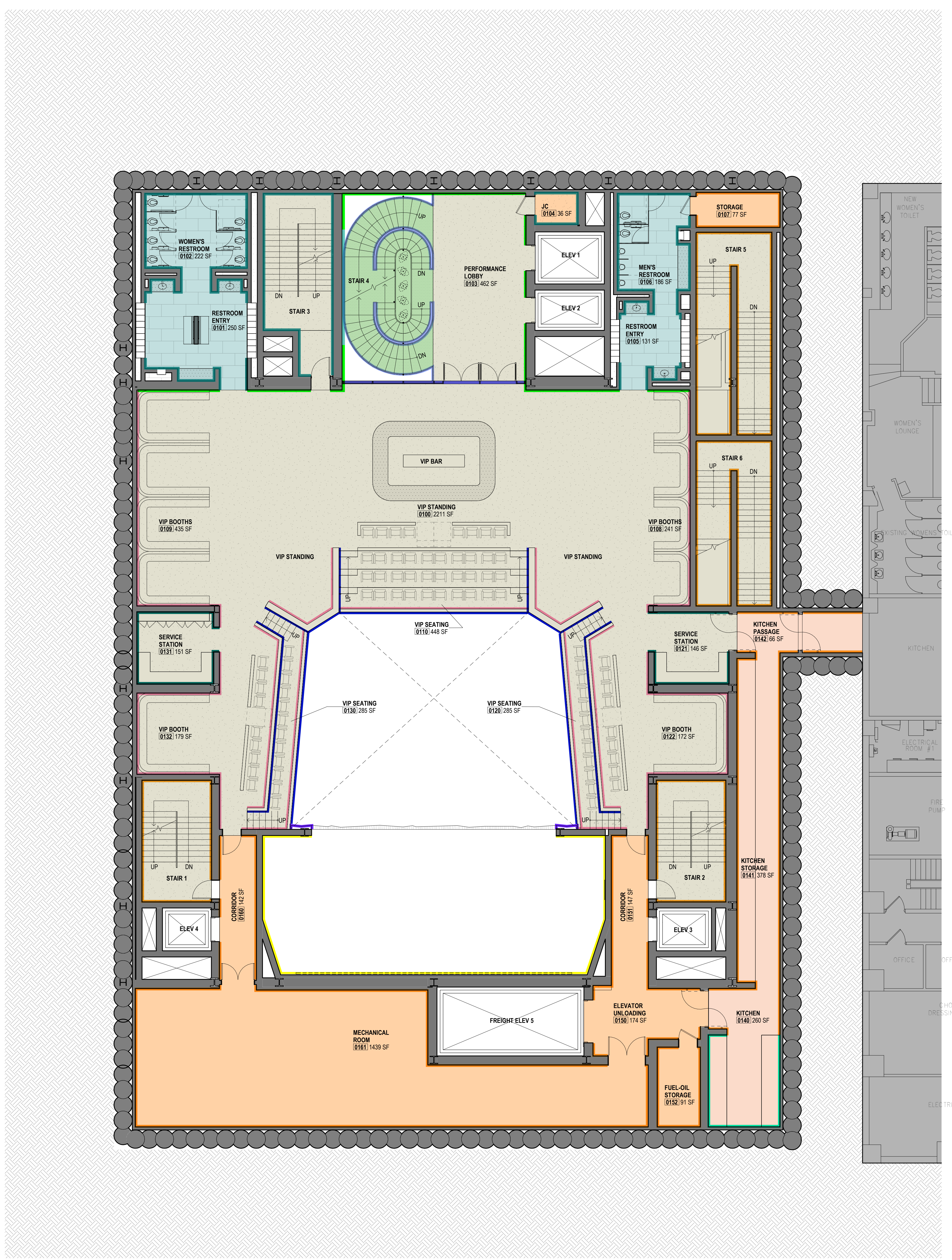
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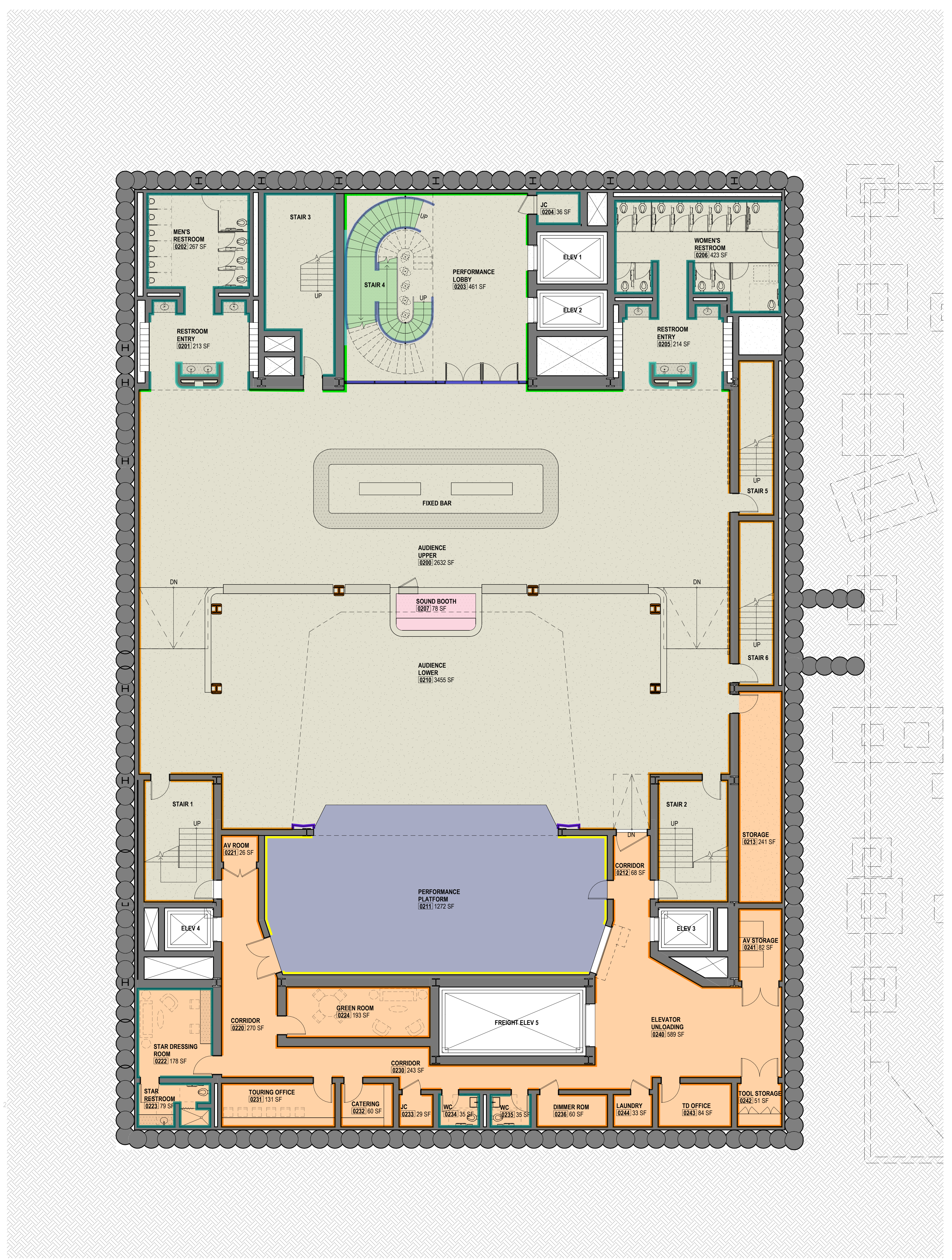
DWN BY: TWBTA
SCALE: As indicated
**LL-2 PERFORMANCE
& LL-1 VIP FINISH
PLANS**

APPENDIX II

A.110



2 LL-1 VIP FINISH PLAN
SCALE: 1/8" = 1'-0"



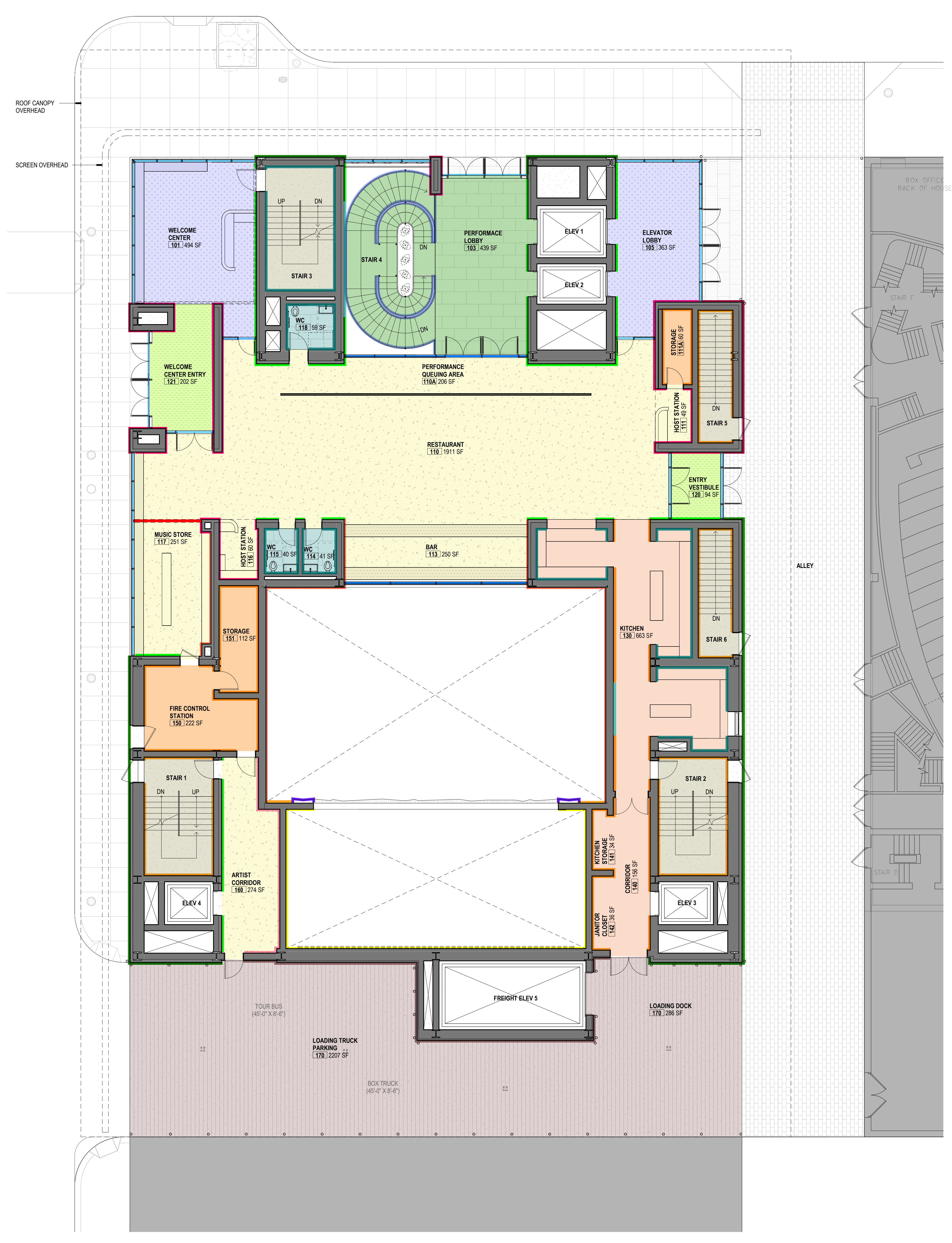
1 LL-2 PERFORMANCE FINISH PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
- REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, S MEP-FP-IT, AND CIVIL DRAWINGS.
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 - SEMIANT WALL DESIGN SCOPE IS FOR REFERENCE ONLY AND MUST BE DIMENSIONALLY CONFIRMED AND FURTHER DEVELOPED BY ERS SUBCONTRACTOR.

- LEGEND**
- C30 FLOORS:**
- CN-1 STAINED CONCRETE
 - CN-2 SCORED CONCRETE
 - PF-1 PAINT OR SEALER
 - PF-2 EPOXY COATING
 - STN-1 STONE PAVERS
 - STN-2 STONE TREADS AND RISERS
 - TL-1 FLOOR TILE
 - ET-1 EPOXY TERRAZZO
 - ET-2 EPOXY TERRAZZO TREADS
 - WD-1 WOOD
 - WD-2 WOOD
 - SF-1 PERFORMANCE PLATFORM
 - CPT-1 CARPET
 - CPT-2 CARPET
 - CPT-3 WALK OFF MAT
 - L1-1 LINOLEUM
- C30 WALLS:**
- STN-1 STONE CLADDING
 - PF-1 PAINT
 - PF-2 INTUMESCENT PAINT
 - CT-1 CERAMIC TILE
 - CT-2 CERAMIC TILE
 - BRK-1 INTERIOR BRICK CLADDING
 - MTL-1 FIXED METAL PANEL
 - AP-1 ACOUSTICAL WALL PANEL
 - AP-2 ACOUSTICAL WALL PANEL W/ WOOD BATTEN OVERLAY
 - BLK-1 CMU
 - PL-1 FIBER REINFORCED PLASTIC
 - TEX-1 TEXTILE WALL COVERING
 - WD-1 ARTICULATED WOOD PANEL A
 - WD-2 ARTICULATED WOOD PANEL B
- C10 INTERIOR CONSTRUCTION:**
- VASG VERTICAL ACTING SECURITY GATE
- GLASS:**
- GL-AF ACOUSTIC/FIRE RATED GLASS ASSEMBLY
 - GL-A ACOUSTIC RATED GLASS ASSEMBLY
 - GL-S SMOKE RATED GLASS ASSEMBLY
 - GLR-1 INTERIOR GUARDRAIL
 - GLR-2 INTERIOR GUARDRAIL
- R00 EXTERIOR ENCLOSURE:**
- EXT STN-1 STONE PANELS
 - EXT MTL-1 METAL CLADDING
 - EXT EXT-1 EXTERIOR FIRE RESISTANT METAL PANEL
 - EXT PLST-1 EXTERIOR HARD COAT STUCCO
 - EXT BRK-1 EXTERIOR BRICK CLADDING
 - EXT CW-1 CURTAIN WALL SYSTEM A (BUILDING STREET & ROOF TOP W/ IN-S)
 - EXT CW-2 CURTAIN WALL SYSTEM B (BUILDING BODY)
 - EXT CW-3 CURTAIN WALL SYSTEM C (RECITAL HALL GLAZING)
 - EXT RS-1 EXTERIOR ORNAMENTAL METAL SCREEN
 - EXT GLR-1B EXTERIOR GLASS GUARDRAIL



2 L2 MUSIC ACADEMY FINISH PLAN
 SCALE: 1/8" = 1'-0"



1 L1 STREET FINISH PLAN
 SCALE: 1/8" = 1'-0"

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**DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS**
 350 JACKSON ST. DETROIT, MI 48226

OWN BY: TWBTA
 SCALE: As indicated

**L1 STREET & L2
 MUSIC ACADEMY
 FINISH PLANS**

APPENDIX II

A.111

- GENERAL NOTES:**
- REFER TO 100% SD APPENDIX I FOR ARCHITECTURAL, S MEP-FP-IT, AND CIVIL DRAWINGS.
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- KEYNOTE LEGEND**
- C30 FLOORS:**
- CN-1 STAINED CONCRETE
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 - PF-2 EPOXY COATING
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 - CPT-3 WALK-OFF MAT
 - L1 LINOLEUM
- C30 WALLS:**
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 - EXT GLR-01 EXTERIOR GLASS GUARDRAIL

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DWN BY: TWBTA
SCALE: As indicated

**L3 OFFICES & L4
OFFICES FINISH
PLANS**

APPENDIX II

A.112



2 L4 OFFICE 2 FINISH PLAN
SCALE: 1/8" = 1'-0"



1 L3 OFFICE 1 FINISH PLAN
SCALE: 1/8" = 1'-0"

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 - WD-1 WOOD
 - WD-2 WOOD
 - STF-1 PERFORMANCE PLATFORM
 - CPT-1 CARPET
 - CPT-2 CARPET
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 - L1-1 LINOLEUM
- C30 WALLS:**
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DWN BY: TWBTA
SCALE: As indicated

L5 RESTAURANT &
L6 MECH ROOF
FINISH PLANS

APPENDIX II

A.113

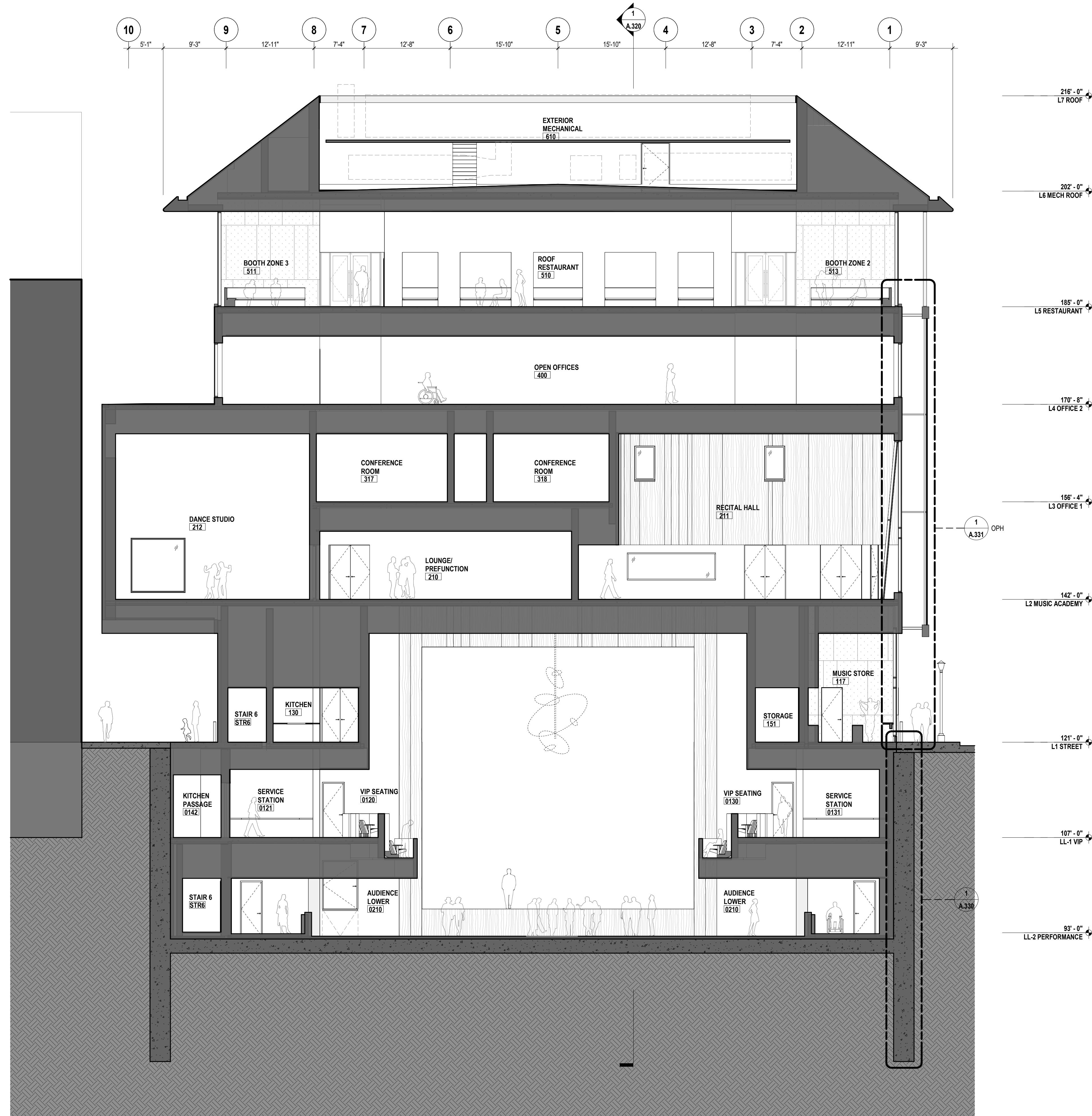
1 L5 RESTAURANT FINISH PLAN
SCALE: 1/8" = 1'-0"



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TOD WILLIAMS
 BILLIE TSIBEN
 ARCHITECTS, LLP



2 SECTION - EW PERFORMANCE
 SCALE: 1/8" = 1'-0"



1 SECTION - EW LOBBY
 SCALE: 1/8" = 1'-0"

100% SCHEMATIC DESIGN
 SEPTEMBER 08, 2023

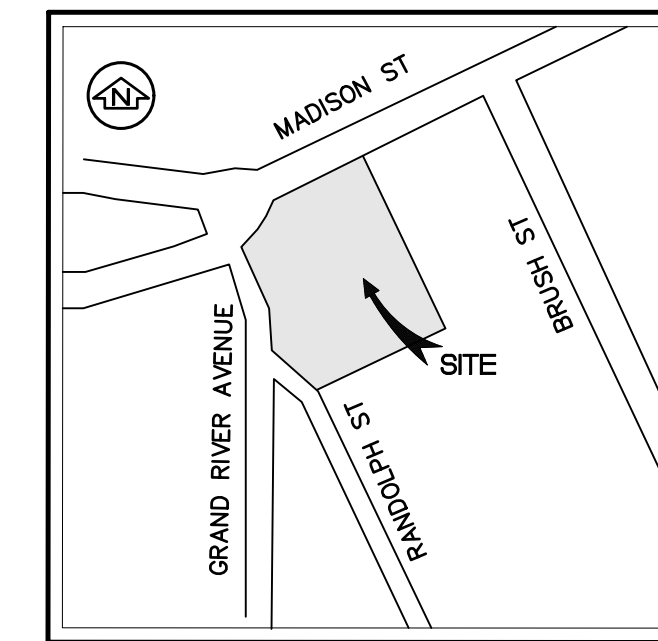
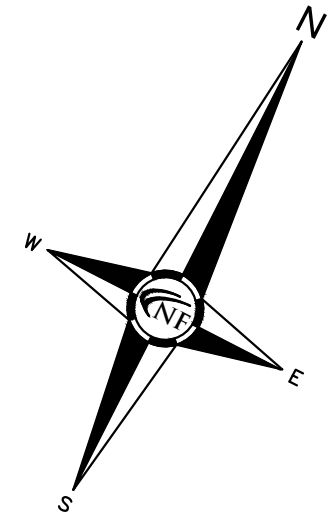
REVISIONS

NOT FOR CONSTRUCTION

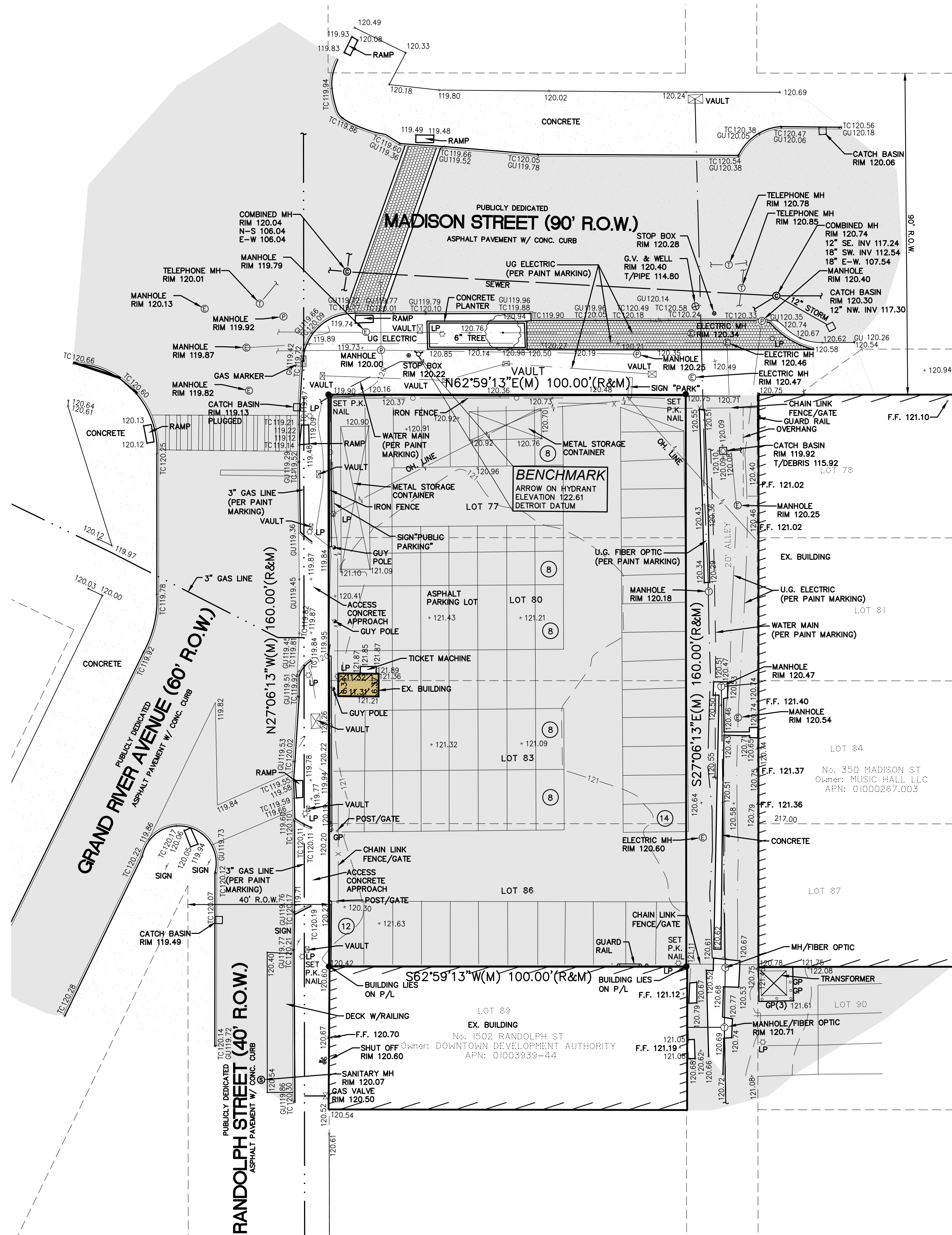
DETROIT MUSIC HALL EXPANSION
 CENTER FOR THE PERFORMING ARTS
 355 JACKSON ST. DETROIT, MI 48226

DWN BY: TWBTA
 SCALE: As Indicated
 BUILDING SECTION -
 EW LOBBY &
 PERFORMANCE

A.321



LOCATION MAP



LEGAL DESCRIPTION

Land Situated in the State of Michigan, County of Wayne, City of Detroit, described as:

Lots 77, 80, 83 and 86 of "Plat of Subdivision of Houghten's Section of the Brush Farm, North of Grotto Ave. according to the plat thereof as recorded in Liber 7, Page 174 of Plats, Wayne County Records.

PIN: 01000267.002L

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the Michigan State Plane Coordinate System (South Zone)

TITLE NOTES

This survey may not show all easements of record unless an updated Title Search, Commitment or Policy is furnished to the surveyor.

ACCESS NOTE

The subject land has direct vehicle and pedestrian access to Madison Street, Grand River Avenue and Randolph Street all being a publicly dedicated right of way.

SITE DATA

Gross Land Area: 15,999 Square Feet or 0.367 Acres. Zoned: B5 (Major Business District) Building Setbacks: Front= None Sides= None Rear= None

Max. Building Height permitted: None

Total Striped Parking: 66 striped spaces including 0 barrier free (handicap) spaces.

The above zoning and zoning requirements were obtained from the City of Detroit online Zoning Map and Zoning Ordinance.

NOTE: The setbacks & height restrictions noted above are for reference purposes only and should not be used for design or construction and should not be used to determine compliance. A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. A zoning endorsement letter should be obtained from City of Detroit to insure conformity as well as make a final determination of the required building setback & height requirements.

FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the current available Flood Insurance Rate Map identified as Map No. 26163C0285F bearing an effective date of 10/21/2021.

CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE

All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

NOTE: DTE has new regulations that may impact development outside their easement or the public right of way. Client shall contact DTE to determine the 'New Structures and Power Line' requirements as they may apply to any future building or renovation of a structure. DTE Energy can be contacted at 800-477-4747.

TABLE A NOTES

2. Street Address is 300 Madison Street, Detroit, MI

11(b): A Miss Dig Ticket number 2022123000445, pursuant to Michigan Public Act 174 was entered for the surveyed property. Due to the extended reporting period for underground facility owners to provide their records, the survey may not reflect all the utilities at the time the survey was issued on 02-01-2023. The survey only reflects those utilities which could be observed by the surveyor in the field or as depicted by the utility company records furnish prior to the date this survey was issued. The Client and/or their authorized agent shall verify with the Facility Owners and/or their authorized agents, the completeness and exactness of the utilities location.

14. The Northwest corner of the Subject Land lies at the intersection of the South right of way line of Madison Street and the East right of way line of Grand River Avenue.

16: There was no observable evidence of current earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

17: There are no known proposed changes in street right-of-way lines available from the controlling Jurisdiction.

17: There was no observable evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

18: Improvements within offsite easements or servitudes as provided by the Title Company are shown within 25 feet of the subject land only.

SURVEYOR'S CERTIFICATION

To:

Yale Porter

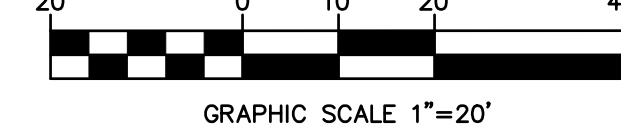
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11(c), 13, 14, 16, 17, 18 and 19 of Table A thereof.

The field work was completed on 01-13-2023.

Kevin Christopher Navaroli, P.S. No. 4001053503 Date of Plat or Map: 02-01-2023 Revised:



- LEGEND: AC = Air Conditioner, ASPH = Asphalt, CATV = Cable Television/Box/Riser, CB = Catch Basin, etc.



PROJECT 300 Madison Street

PROJECT LOCATION No. 300 Madison Street City of Detroit, Wayne County, MI

SHEET Boundary / Topographic / ALTA / NSPS Land Title Survey

REVISIONS

DRAWN BY: D.McConkey APPROVED BY: K.N./R.FRAUS EMAIL: rfraus@nfe-engr.com DATE ISSUED: 02-01-2023 SCALE: 1"=20' SHEET NO. N381 1 of 1

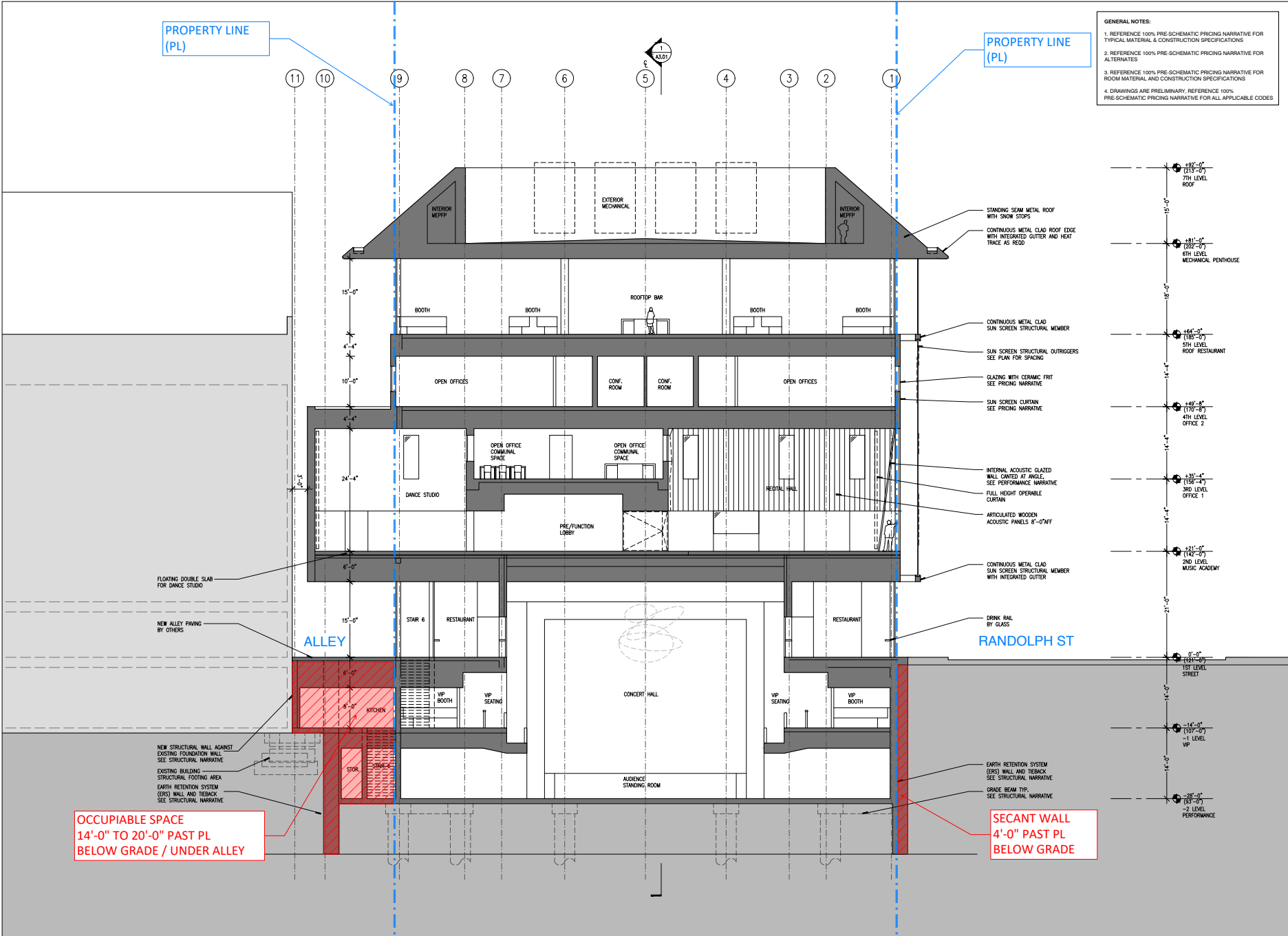
Detroit Music Hall Expansion | Center for the Performing Arts

Below Grade - Encroachment Package

PROPERTY LINE (PL)

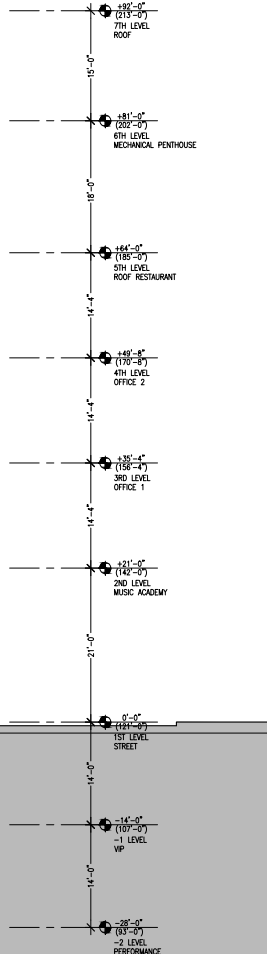
PROPERTY LINE (PL)

- GENERAL NOTES:
1. REFERENCE 100% PRE-SCHEMATIC PRICING NARRATIVE FOR TYPICAL MATERIAL & CONSTRUCTION SPECIFICATIONS
 2. REFERENCE 100% PRE-SCHEMATIC PRICING NARRATIVE FOR ALTERNATES
 3. REFERENCE 100% PRE-SCHEMATIC PRICING NARRATIVE FOR ROOM MATERIAL AND CONSTRUCTION SPECIFICATIONS
 4. DRAWINGS ARE PRELIMINARY. REFERENCE 100% PRE-SCHEMATIC PRICING NARRATIVE FOR ALL APPLICABLE CODES



OCCUPIABLE SPACE
14'-0" TO 20'-0" PAST PL
BELOW GRADE / UNDER ALLEY

SECANT WALL
4'-0" PAST PL
BELOW GRADE



ARCHITECTS
252 ZION PARK SOUTH
NEW YORK CITY, NY 10003
TEL: 212 512 5188
F: 212 512 5189
E: IWA@TWFA.COM

TOD WILLIAMS
WILLIE TS'EN
AND ASSOCIATES

DESIGN TEAM
ARCHITECT
TOD WILLIAMS T'SEN ARCHITECTS
252 ZION PARK S. NEW YORK, NY 10003
TEL: 212 512 5188

THEATRICAL ENGINEER
MUSIC HALL EXPANSION FOR THE AIA
1000 ZION PARK S. NEW YORK, NY 10003
TEL: 212 512 5188

MECHANICAL ENGINEER
252 ZION PARK S. NEW YORK, NY 10003
TEL: 212 512 5188

MEP ENGINEER
ALAN BROWN ENGINEERS, CT 06011
40 WILSON ST. NEWTON, CT 06459
TEL: 203 698 0238

LIGHTING ENGINEER
FARUK MANSOURI DESIGN
40 WILSON ST. NEWTON, NY 10011
TEL: 212 512 5188

100% PRE-SD

NO.	DATE	DESCRIPTION	100% PRE-SD
1	9/20/2023		

ISSUANCES

LEGEND

DETROIT MUSIC HALL EXPANSION
CENTER FOR THE PERFORMING ARTS
350 MADISON ST., DETROIT, MI 48206

DATE: 02/29/2023
SCALE: 1/8"=1'-0"
DRAWN BY: CM
SHEET TITLE:
SECTION
EAST WEST
PERFORMANCE

A3.03

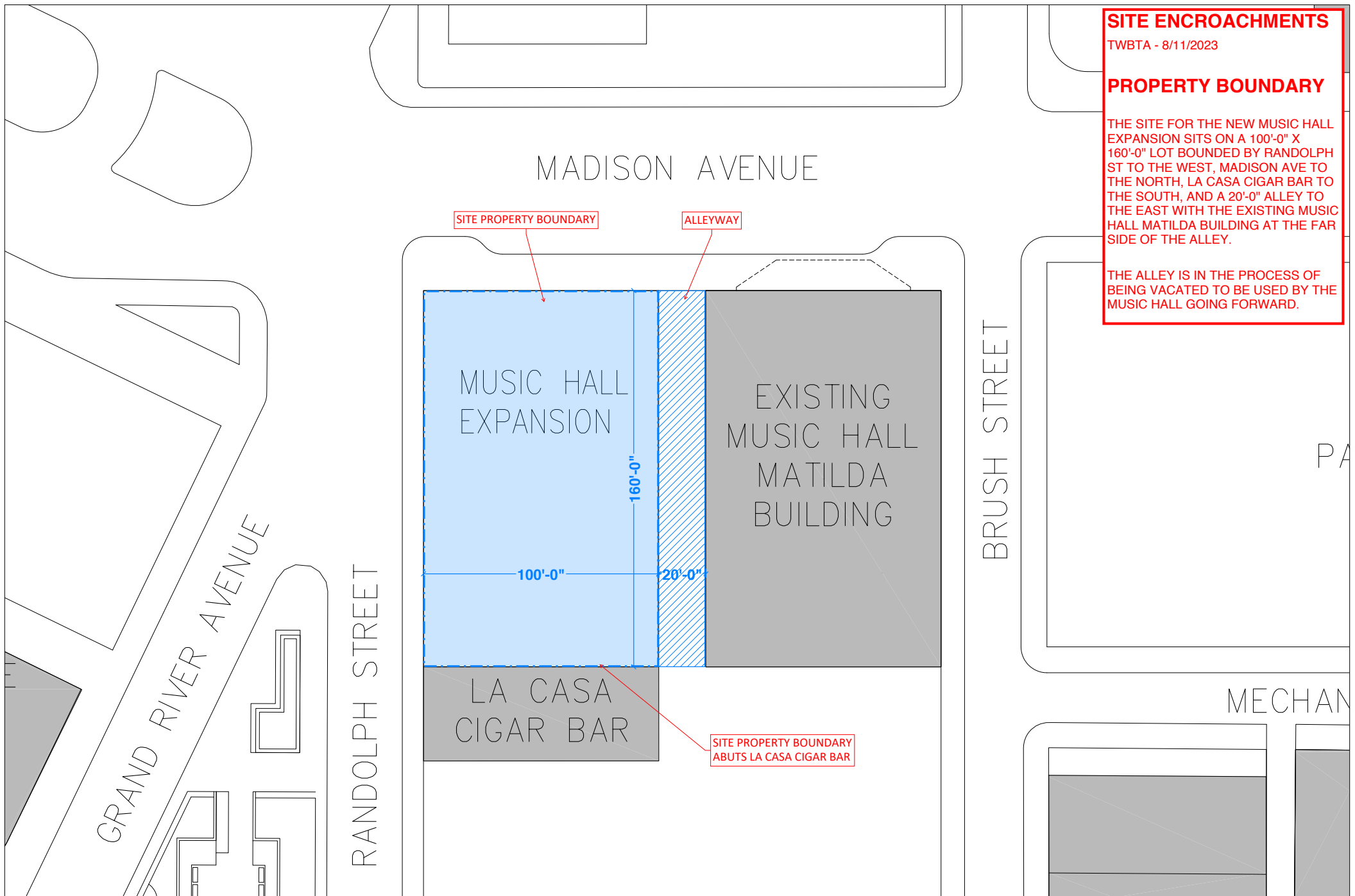
SITE ENCROACHMENTS

TWBTA - 8/11/2023

PROPERTY BOUNDARY

THE SITE FOR THE NEW MUSIC HALL EXPANSION SITS ON A 100'-0" X 160'-0" LOT BOUNDED BY RANDOLPH ST TO THE WEST, MADISON AVE TO THE NORTH, LA CASA CIGAR BAR TO THE SOUTH, AND A 20'-0" ALLEY TO THE EAST WITH THE EXISTING MUSIC HALL MATILDA BUILDING AT THE FAR SIDE OF THE ALLEY.

THE ALLEY IS IN THE PROCESS OF BEING VACATED TO BE USED BY THE MUSIC HALL GOING FORWARD.



MADISON AVENUE

SITE PROPERTY BOUNDARY

ALLEYWAY

MUSIC HALL
EXPANSION

EXISTING
MUSIC HALL
MATILDA
BUILDING

BRUSH STREET

GRAND RIVER AVENUE

RANDOLPH STREET

LA CASA
CIGAR BAR

SITE PROPERTY BOUNDARY
ABUTS LA CASA CIGAR BAR

MECHANIC STREET



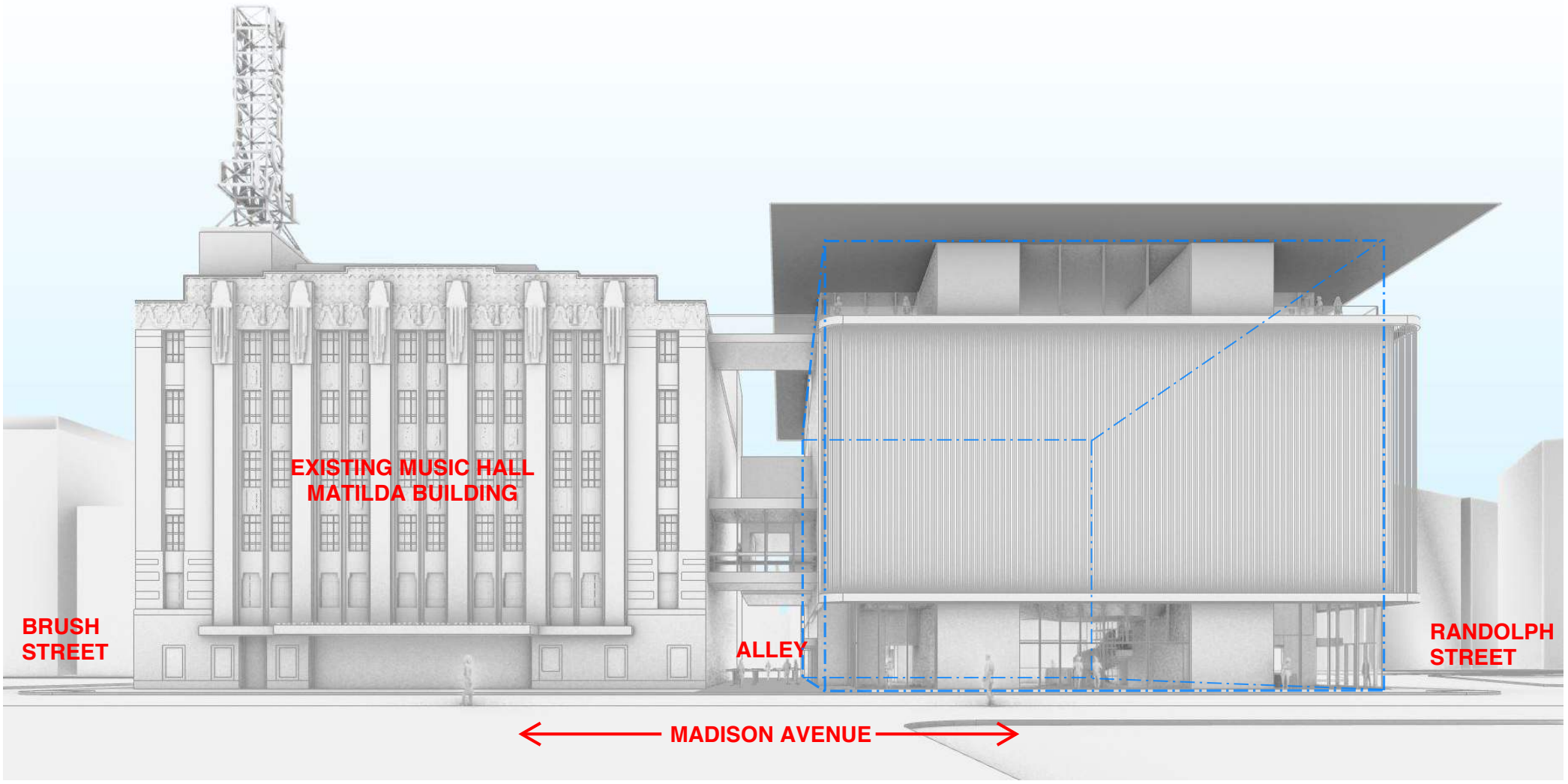
**EXISTING MUSIC HALL
MATILDA BUILDING**

**BRUSH
STREET**

ALLEY

**RANDOLPH
STREET**

MADISON AVENUE



Robert C. Pozen, Trustee
Robert C. Pozen Revocable Trust
3100 6th Avenue, #503
San Diego, California 92103
(610) 675-7133
rcpozen@gmail.com

August 4, 2022

Mr. Jered Dean
City of Detroit
c/o Vincent Paul
Music Hall Center (Petitioner)
330 Madison
Detroit MI 48226

Re: Parcel 01003933-4

Dear Mr. Dean:

As a property owner in the Paradise Valley District area, I have no objection regarding vacating the alley between the Music Hall and our parking lot. I am pleased to provide this letter of consent to vacate the alley adjacent to our property 01003933-4. Thank you.

Sincerely,



Robert C Pozen, Trustee of the
Robert C. Pozen Revocable Trust
3100 6th Avenue, #503
San Diego, California 92103

LetterVacateAlley080422

INGRESS AND EGRESS EASEMENT

THIS INGRESS AND EGRESS EASEMENT (this “Grant”) is made this ____ day of _____, 2023 (the “Effective Date”), by **Music Hall Center for the Performing Arts, Inc.**, a Michigan nonprofit corporation with an address of 350 Madison Avenue, Detroit, Michigan 48226 (“Grantor”), to and for the benefit of certain real property currently owned by **the City of Detroit Downtown Development Authority**, a Michigan public body corporate with an address of 500 Griswold, Suite 2200, Detroit, Michigan 48226 (“DDA”), **La Casa Properties, LLC**, a Michigan limited liability company with an address of 1502 Randolph Street, Detroit, Michigan 48226 (“La Casa”), **Paradise Valley Real Estate Holdings, LLC**, a Michigan limited liability company with an address of 1452 Randolph Street, Suite 400 (“Paradise Valley”), Detroit, Michigan 48226, **Detroit Hospitality DST**, a Delaware _____ with an address of 2901 Butterfield Rd., Oak Brook, Illinois 60523 (“Detroit Hospitality”), **Robert C. Pozen Revocable Trust**, with an address of 3100 6th Avenue, #503, San Diego, California 92103 (“Pozen”, and together with DDA, La Casa, Paradise Valley, Detroit Hospitality and Pozen and their respective successors, “Grantees”, each of the foregoing individually being referred to as “Grantee”).

RECITALS:

A. Grantor is the owner of certain real property located in the City of Detroit, County of Wayne, State of Michigan, which property is described on Exhibit A attached hereto and incorporated herein (the “Grantor Parcel”).

B. Grantor plans to commence the development and construction of a building on the portion of Grantor’s Parcel commonly known as 300 Madison Avenue (the “Development”), which is anticipated to take approximately three (3) years to complete.

C. The Grantor Parcel includes land that was previously part of a public alley that was vacated by the City of Detroit, which land is described on Exhibit B attached hereto and incorporated herein (the “Easement Area”).

D. Each Grantee owns land adjacent to the portion of the alley that remains open to the public and located immediately to the south of the Easement Parcel, such public alley being more particularly described on Exhibit C attached hereto and incorporated herein (the “Public Alley”).

E. In connection with Grantor’s petition to vacate the portion of the public alley formerly located within the Easement Area, Grantor has agreed to grant to each Grantee, for the

benefit of the Benefitted Parcels (as defined below), a perpetual, non-exclusive easement over the Easement Area for the purposes and on the terms and conditions set forth herein.

NOW THEREFORE, for the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, Grantor agrees as follows:

1. Grant of Easement - DDA. Effective as of the date of the later to occur of (i) the issuance of a final certificate of occupancy for the Development and (ii) the third (3rd) anniversary of the date of the issuance of the construction permit for the Development (the “Development Date”), Grantor hereby grants to DDA for the benefit of the land described on Exhibit D attached hereto and incorporated herein (the “DDA Parcel”), a perpetual non-exclusive easement and right of way over and across the Easement Area for the purpose of providing vehicular ingress and egress to and from the Public Alley and Madison Street during the hours of 4:00 a.m. to 12:00 p.m., Detroit time, seven (7) days a week (the “Access Period”) for commercial purposes, including, but not limited to, refuse removal, and commercial deliveries, excluding heavy duty construction vehicles and machinery, and for non-commercial purposes for residential tenants, limited to moving and furniture and equipment delivery (the “Permitted Use”), and for no other purpose.

2. Grant of Easement - La Casa. Effective as of the Development Date, Grantor hereby grants to La Casa for the benefit of the land described on Exhibit E attached hereto and incorporated herein (the “La Casa Parcel”), a perpetual non-exclusive easement and right of way over and across the Easement Area during the Access Period for the Permitted Use, and for no other purpose.

3. Grant of Easement – Paradise Valley. Effective as of the Development Date, Grantor hereby grants to Paradise Valley for the benefit of the land described on Exhibit F attached hereto and incorporated herein (the “Paradise Valley Parcel”), a perpetual non-exclusive easement and right of way over and across the Easement Area during the Access Period for the Permitted Use, and for no other purpose.

4. Grant of Easement - Detroit Hospitality. Effective as of the Development Date, Grantor hereby grants to Detroit Hospitality for the benefit of the land described on Exhibit G attached hereto and incorporated herein (the “Detroit Hospitality Parcel”), a perpetual non-exclusive easement and right of way over and across the Easement Area during the Access Period for the Permitted Use, and for no other purpose.

5. Grant of Easement - Pozen. Effective as of the Development Date, Grantor hereby grants to Pozen for the benefit of the land described on Exhibit H attached hereto and incorporated herein (the “Pozen Parcel”), a perpetual non-exclusive easement and right of way over and across the Easement Area during the Access Period for the Permitted Use, and for no other purpose.

6. Off-Hours Access. From and after the Development Date, Grantor shall use commercially reasonable efforts to accommodate requests by any Grantee to use the Easement Area for the Permitted Use outside of the hours stipulated Access Period when reasonably practicable, provided that such request is made at least two (2) business days prior to the time of the requested period of use.

7. Maintenance and Repair. Grantor shall, at its sole cost and expense, be responsible for the maintenance, repair and replacement of the Easement Area, and, from and after the Development Date, shall keep the same in good condition and repair, inclusive of snow and ice removal. Without limiting the generality of the foregoing, Easement Area shall at all times be constructed and maintained in a manner to support the Permitted Use, including but not limited to standard load capacity and height and width requirements of commercial and refuse removal vehicles; provided, however, that Grantor shall not be required to provide load capacity, height or width in excess of that existing on the Effective Date.

8. Temporary Closures. Notwithstanding any other provision of this Grant, Grantor may, from time to time, close access to the Easement Area; provided, however, that, after the Development Date, unless expressly consented to in writing by the owners of a majority of the Benefitted Parcels, (i) closures required for the purpose of constructing improvements or performing maintenance or repairs on the Easement Area, the Grantor Parcel and the structures or other improvements thereon shall be for periods no more than thirty (30) days unless such improvement, maintenance or repair cannot reasonably be completed within thirty (30) days, and in such event, the closure may continue for the period reasonably required for such improvement or until the expiration date of any permit issued for the performance of such improvement, maintenance or repair so long as Grantor or its successor or assign is diligently prosecuting such work to completion, and (ii) closures for other purposes shall be for periods of no more than ten (10) business days. Grantor shall provide advance written notice of at least five (5) business days to Grantees of any such closure advising of the anticipated duration of the closure, except advance notice shall not be required in the event of an emergency. From and after the Development Date, at any Grantee's request and where reasonably practicable, for the duration of any temporary closure expected to continue for longer than five (5) business days, Grantor shall permit such Grantee ingress and egress across the portion of the Grantor Parcel depicted on Exhibit I attached hereto and incorporated herein (the "East to West Driveway") to and from the Public Alley and Randolph Street for the Permitted Use only; provided, however, that nothing set forth herein shall be deemed to grant any Grantee an easement or other interest in the East to West Driveway. For purposes of determining whether the owners of a majority of the DDA Parcel, the La Casa Parcel, the Paradise Valley Parcel, the Detroit Hospitality Parcel and the Pozen Parcel (each a "Benefitted Parcel") have granted any consent required under this paragraph, (i) if any Benefitted Parcel is converted to a condominium, such consent may only be given by the condominium association for such Parcel and not the individual co-owners, (ii) if any Benefitted Parcel is owned by a co-operative corporation, such consent may only be given by the co-operative corporation and not the individual co-operative shareholders, (iii) if any Benefitted Parcel is owned by persons or entities holding title as joint tenants, tenants in common or other multiple or joint ownership structure, such owners shall appoint one representative to exercise such consent, and (iv) the DDA Parcel shall be deemed to comprise one Benefitted Parcel so long as all of the parcels comprising the DDA Parcel are under the direct or indirect ownership or control of the same person or entity.

9. Indemnity. To the extent permitted by law, each Grantee, by its use (or its contractors', invitees', or licensees' use) of the Easement Area, agrees to and shall defend, indemnify and save harmless Grantor, its affiliated companies and their respective officers, directors, shareholders, agents and employees (collectively "Grantor Indemnified Parties"), from and against any and all liability or claim thereof (including but not limited to actual attorneys' fees and costs) whether for injury to persons, including death, or damage to property, which may be imposed upon, incurred by or asserted against the Grantor Indemnified Party allegedly or actually

arising as a direct result of any activity by such Grantee, its employees, agents, contractors, licensees or invitees in, on, or about the Easement Area; provided, however, that such indemnity shall not apply to liabilities or claims to the extent such liabilities or claims arise from Grantor's actions or omissions, including, without limitation, Grantor's failure to comply with any of the terms or conditions of this Grant.

10. Duration; Covenants Run with the Land. The terms and conditions set forth in this Grant shall be perpetual. This Grant and the rights and burdens created hereby are intended to and shall run with the land, and shall be binding upon and inure to the benefit of the present and future owners of the Easement Parcel, the Benefitted Parcels and their respective, successors and assigns.

11. Amendment; Termination. No termination, amendment or waiver of any of the provisions of this Grant shall be effective unless in writing, signed by Grantor and the owner of any Benefitted Parcel affected by such termination, amendment or waiver. Any written waiver shall only be applicable to the specific instance which it relates and shall not be deemed to be a continuing and permanent waiver unless so specifically stated.

12. Severability. The provisions of this instrument are severable. If any section, paragraph, sentence or provision hereof shall be determined to be invalid or unenforceable, it shall not affect the validity of any remaining provisions herein and all remaining provisions shall be given full force and effect separately from the invalid or unenforceable section, paragraph, sentence or provision, as the case may be.

13. Captions. The captions in the paragraph headings contained in this Grant are for convenient reference only and in no way define, describe, extend or limit the scope or intent of this Grant, nor the intent of any provision hereof.

14. Notices. All notices or other communications required or permitted to be given under this Grant shall be in writing and shall be deemed given to a party when (a) delivered by hand, (b) one business day after being sent by a nationally recognized overnight courier service for next day delivery (costs prepaid), (d) received by the addressee, if sent by registered US mail; or (e) sent by email, in each case to the address of such Grantor or Grantee set forth in the preamble to this Grant or to such other address as a party may designate in writing from time to time delivered in accordance with the provisions of this paragraph.

[Signatures on Following Page]

IN WITNESS WHEREOF, the undersigned have caused its signature to be placed on the day and year first above written.

Music Hall Center for the Performing Arts, Inc.,
a Michigan nonprofit corporation

By: _____
Vincent C. Paul
Its: President

STATE OF MICHIGAN }
 }ss.
COUNTY OF WAYNE }

The foregoing instrument was acknowledged before me this ____ day of _____, 2023, by Vincent C. Paul, the President of Music Hall Center for the Performing Arts, Inc. a Michigan non-profit corporation, who appeared before me and who is personally known to me or has produced sufficient evidence that he is the individual described in and who executed the foregoing instrument.

_____, Notary Public
_____, County, Michigan
My commission expires: _____
Acting in Wayne County

DRAFTED BY AND WHEN

RECORDED RETURN TO:

Geaneen M. Arends, Esq.
Butzel Long
150 West Jefferson, Suite 150
Detroit, MI 48226
313-225-7000

This instrument is exempt from transfer tax pursuant to MCL 207.505(a) and MCL 207.526(a).

EXHIBIT A

LEGAL DESCRIPTION OF GRANTOR PARCEL

EXHIBIT B

LEGAL DESCRIPTION OF EASEMENT AREA

EXHIBIT C

LEGAL DESCRIPTION OF PUBLIC ALLEY

EXHIBIT D

LEGAL DESCRIPTION OF DECG PARCEL

EXHIBIT E

LEGAL DESCRIPTION OF LA CASA PARCEL

EXHIBIT F

LEGAL DESCRIPTION OF PARADISE VALLEY PARCEL

EXHIBIT G

LEGAL DESCRIPTION OF DETROIT HOSPITALITY PARCEL

EXHIBIT H

LEGAL DESCRIPTION OF POZEN PARCEL

EXHIBIT I
EAST TO WEST DRIVEWAY

Subject: Fwd: Music Hall Alley Request

Date: Thursday, October 5, 2023 at 8:51:44 PM Eastern Daylight Time

From: Vince Paul

To: John Biggar, Brian Mooney

Vince Paul
President and Artistic Director
Music Hall Center

Sent from my iPhone

Begin forwarded message:

From: Hiram Jackson <hjackson@realtimesmedia.com>
Date: October 5, 2023 at 8:28:14 PM EDT
To: Vince Paul <vincep@musichall.org>, alp@honigman.com
Subject: Music Hall Alley Request

Vince/Alex,

I have reviewed the October 5, 2023 draft version of the Ingress Egress Easement for the Music Hall Alley. The terms set forth in the document are acceptable and I approve the vacation request subject to final document terms.

Subject: Fwd: Ingress Egress Easement agreement.
Date: Friday, October 6, 2023 at 11:08:06 AM Eastern Daylight Time
From: Vince Paul
To: Geaneen Arends, Alex 'Parrish, John Biggar, Buzz Thomas, George Etheridge, Terence Thomas, Clarence Gayles
Attachments: Ingress Egress Easement - Music Hall Vacated Alley-100385159-v7.docx

Cigar bar updated consent

Vince Paul
President and Artistic Director
Music Hall Center

Sent from my iPhone

Begin forwarded message:

From: Ismail Houmani <ismail@casacigars.com>
Date: October 6, 2023 at 11:06:18 AM EDT
To: Vince Paul <vincep@musichall.org>
Subject: **Ingress Egress Easement agreement.**

Dear Vince

I have reviewed the 10/5/23 final draft Ingress Egress Easement for the Music Hall alley. The terms set forth in the document are acceptable and I approve the requested vacation subject to the documents terms.

Best Regards,

Ismail Houmani
Founder
La Casa Cigars & Lounge
ismail@casacigars.com
www.casacigars.com