



Letter of Transmittal

Date:
Petition Map:

Type of Petition

- | | | |
|---|---------------------------------------|--|
| <input type="checkbox"/> Outright Vacation | <input type="checkbox"/> Dedication | <input type="checkbox"/> Berm Use |
| <input type="checkbox"/> Conversion to Easement | <input type="checkbox"/> Encroachment | <input type="checkbox"/> Temporary Closing |

Review Status

The above petition has been received and reviewed by this office. Please see below for the review status as marked.

- | | |
|--|--|
| <input type="checkbox"/> Approved Subject to Attached Provisions | <input type="checkbox"/> Revise and Resubmit |
| <input type="checkbox"/> Not Approved | |

Additional Comments (if applicable):

Attached is the DWSD provision related to the petition.

	Name	Title	Signature	Date
Reviewed by:			<i>Mohammad Siddique</i>	
Approved by:			<i>Mohammad Siddique</i> For Syed Ali	

PROVISIONS FOR ENCROACHMENT

1. By approval of this petition the Detroit Water and Sewerage Department (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing, or inspection by DWSD shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hour notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
3. Construction under this petition is subject to inspection and approval by DWSD. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
4. DWSD prohibits the use of heavy construction equipment or the storage of building material directly over or near DWSD facilities. DWSD also prohibits the use of cranes and balls or hydraulic rams for pavement removal where DWSD facilities are involved. If the water main or sewer facilities are broken or damaged as a result of any action on the part of the contractor, the contractor shall be liable for all costs incidental to the repair of such broken or damaged water main or sewer facilities. If DWSD facilities located within the street shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
5. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.
6. If at any time in the future the petitioner shall request removal and / or relocation of DWSD's facilities in the street being encroached upon, the petitioner agrees to pay all costs for such removal and/or relocation.
7. Prior to construction, Easement Encroachment Permit (EEP) should be obtained and the insurance required by the EEP should not expire until after completion of the construction.
8. For any proposed work that involves DWSD water mains and/or sewers, an approval and a permit is required from DWSD before commencement of work.
9. It is DWSD's requirement that any proposed utility crossing DWSD water mains and/or sewers perpendicularly must maintain a minimum of 18 inches vertical clearance. Any proposed utility running adjacent to DWSD water mains and/or sewers must maintain a minimum of 10 feet lateral clearance including any conduit and/or manholes walls. No utility is allowed to run along the top of the water main or/or sewer.
10. It is DWSD's requirement that no encroachment has a vertical clearance of less than 16 feet from the ground surface over DWSD water mains and/or sewers.

Aug 6 2024

Coversheet;

Re; 6401 Otis a/k/a 3201 Gilbert

While at SLU2024-00009 hearing to convert an existing two-family dwelling into a four-unit Multiple-Family Dwelling, one of the conditions for approval (8) was to petition DPW for an encroachment permits for two existing staircases that encroach on the public sidewalk.

6401 Otis



10/2/2024

Wastewater Control Devices - GLWA

Inflatable Dam

Wastewater Structures - GLWA

Manhole

Wastewater Mains - GLWA

GLWA Gravity Main

Transmission System Mains - GLWA

Active Water Main

Transmission System Valves - GLWA

Blowoff

Gate

Distribution System Hydrant

Distribution System Main

Active

Abandoned

Wastewater Catch Basin

Wastewater Manhole

Wastewater Fitting

Bend/Slope Change

Blind Connection

Material/Size Change

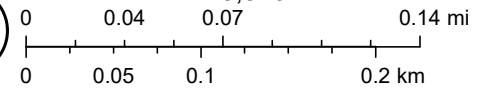
Crown/Main Point

Wastewater Lamp Hole

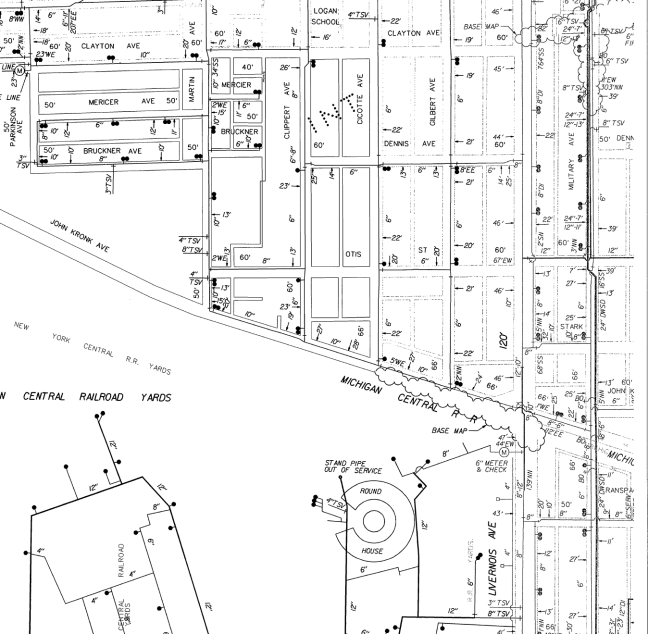
Wastewater Gravity Main

Active

Abandoned/Inactive/Retired

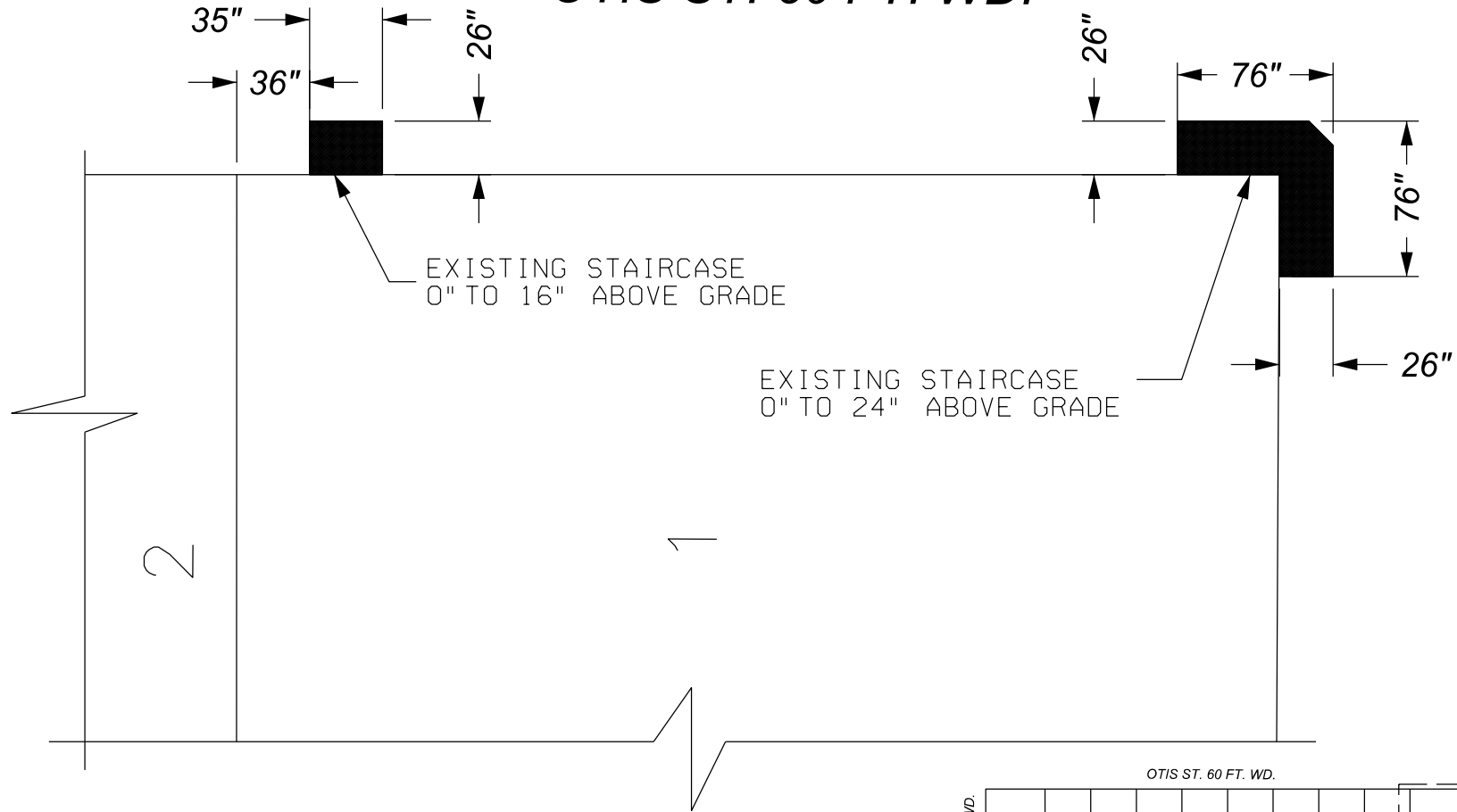


DWSD, Esri Community Maps Contributors, Province of Ontario, SEMCOG, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph



MAP-24-115

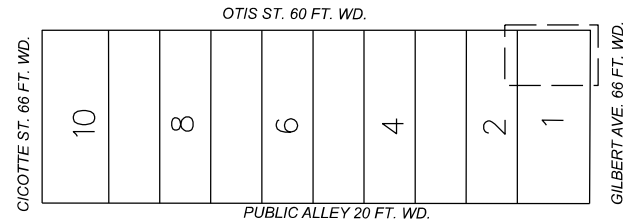
OTIS ST. 60 FT. WD.



GILBERT AVE. 66 FT. WD.

EXISTING STAIRCASE
0" TO 16" ABOVE GRADE

EXISTING STAIRCASE
0" TO 24" ABOVE GRADE



- REQUEST ENCROACHMENT
(For Two Existing Staircases)

(FOR OFFICE USE ONLY)

CARTO 12 B

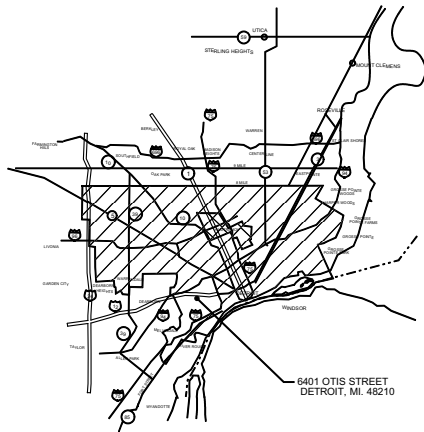
REQUEST ENCROACHMENT INTO OTIS ST. AND GILBERT AVE. AT 6401 OTIS ST.

CITY OF DETROIT
CITY ENGINEERING DIVISION
SURVEY BUREAU

JOB NO. 24-115

DRWG. NO.

B					
A					
DESCRIPTION		DRWN	CHKD	APPD	DATE
REVISIONS					
DRAWN BY	LC	CHECKED		AP	
DATE	08-28-2024	APPROVED		RW	



METRO DETROIT- LOCATION MAP



LEGAL ADDRESS :6401 OTIS STREET, DETROIT, MI. 48210
 LEGAL DESCRIPTION : 5 OTIS 1 OTIS ST SUB L 26 P63 PLATS , WCR 18/ 212 41 X 100
 PARCEL NUMBER : 18001541
 EXISTING USE GROUP : R2 - COMMERCIAL: TWO FAMILY FAMILY
 CONSTRUCTION TYPE : TYPE V - WOOD STUD FRAMING

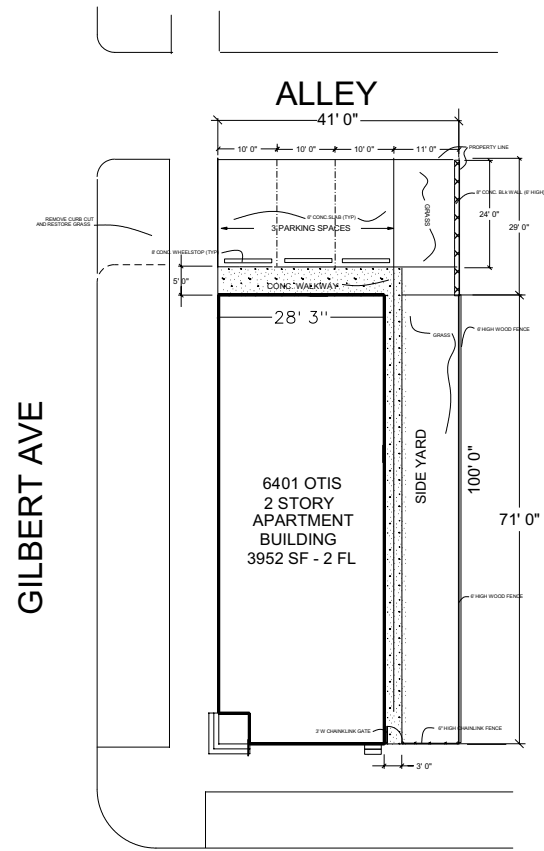
INDEX OF DRAWINGS:
 SHEET #1 : LOCATION MAP, SITE PLAN , CODE DATA AND GENERAL NOTES
 SHEET #2 : FLOOR PLANS
 SHEET #3 : ELEVATIONS
 SHEET #4 : SECTION A -A

CODES CURRENTLY IN EFFECT:
 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS MRCEB 2015
 2017 NATIONAL ELECTRICAL CODE NEC 2017, STATE PART AMENDMENTS
 2015 MICHIGAN MECHANICAL CODE MMC 2015
 2018 MICHIGAN PLUMBING CODE MPC 2018

General Notes:

1. ALL WORK UNDER THE CONTRACT SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, STANDARDS & REGULATIONS.
2. THE GENERAL CONTRACTOR SHALL THROUGH CATEGORY ASSIGNMENT ARRANGE FOR ALL INSPECTIONS AND PAY FOR ALL PERMITS, FEES, & INSURANCE REQUIRED.
3. THE GENERAL CONTRACTOR AS WELL AS SUBCONTRACTOR SHALL BE FAMILIAR WITH & COMPLY WITH ALL PROCEDURES SET FORTH BY FEDERAL, STATE, & LOCAL GOVERNING AGENCIES IN THE CONSTRUCTION OF THIS PROJECT. IT IS THE GENERAL CONSTRUCTOR'S RESPONSIBILITY TO FURNISH AFFIDAVITS, CERTIFICATES, AND REPORTS AS MAY BE REQUIRED BY ANY AND ALL AGENCIES UPON REQUEST.
4. ALL CONSTRUCTION DOCUMENTS ARE BASED UPON THE ACCURACY OF THE EXISTING RECORD DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND TRACE CONTRACTORS TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE INSTALLATION OF ANY NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED.
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6. INTERRUPTION OF EXISTING UTILITES AND SERVICES AS NECESSARY MUST BE COORDINATED WITH THE OWNER'S REP. WITH A MINIMUM 72 HR. NOTICE

SCOPE OF WORK: REMOVE FIRST FLOOR BAR AND CONVERT SPACE TO TWO APARTMENT UNITS



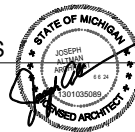
OTIS STREET

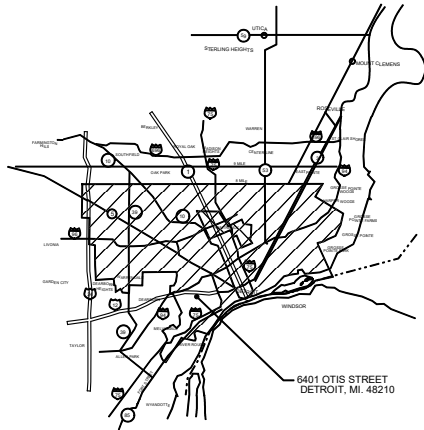
SITE PLAN
 TOTAL LOT SF: 4100 SF
 TOTAL HOUSE COVERAGE 1988 SF
 TOTAL LOT COVERAGE 48%

6401 OTIS STREET , DETROIT, MI. 48210- LOCATION MAP, SITE PLAN & NOTES

OWNER : FRANCISCO CARDONA SANCHEZ
 6401 OTIS STREET
 DETROIT, MI. 48210
 (313) 228-6807

ARCHITECT : ALTMAN AND ASSOCIATES
 15633 HARPER AVE
 DETROIT, MI. 48224
 (313) 522-3042





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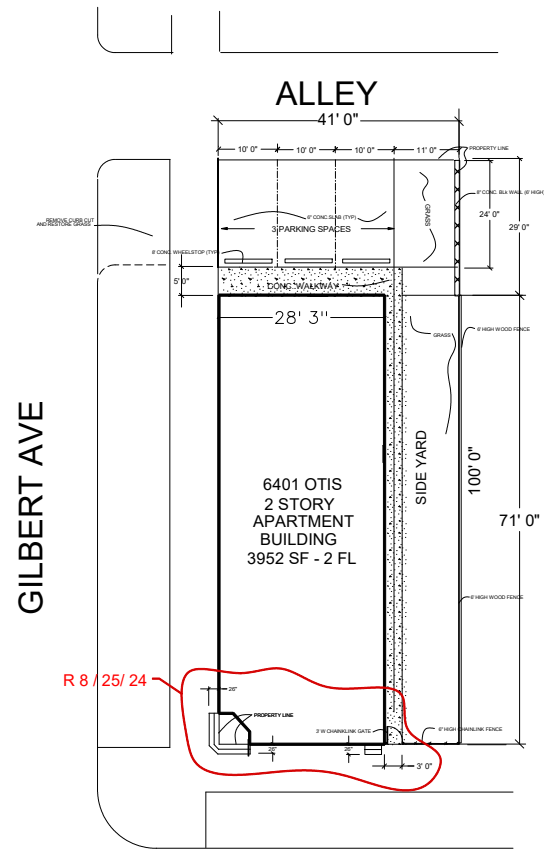
CODES CURRENTLY IN EFFECT:

- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS MRCEB 2015 - PRESCRIPTIVE COMPLIANCE METHOD USED
- ALTERATIONS @ LEVEL 2 - MINOR RECONFIGURING OF FIRST FLOOR PLAN
- 2017 MICHIGAN ELECTRICAL CODE -MECC 2017, STATE PART AMENDMENTS
- 2015 MICHIGAN MECHANICAL CODE -MMC 2015
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R 8 / 25 / 24



OTIS STREET

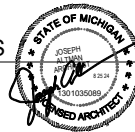
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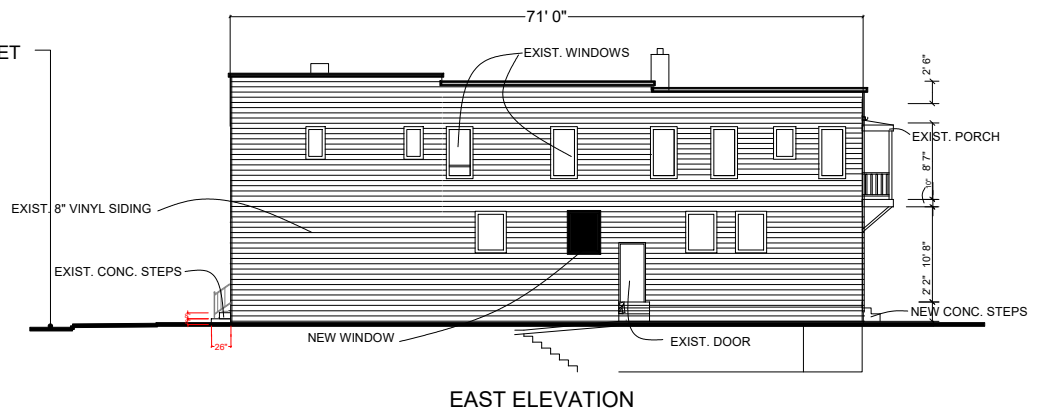
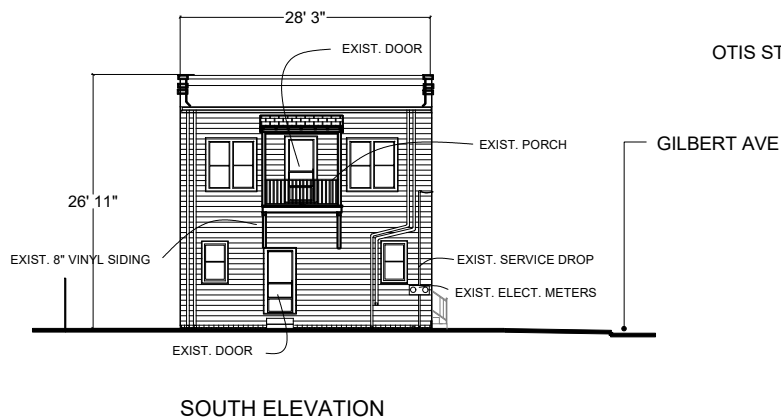
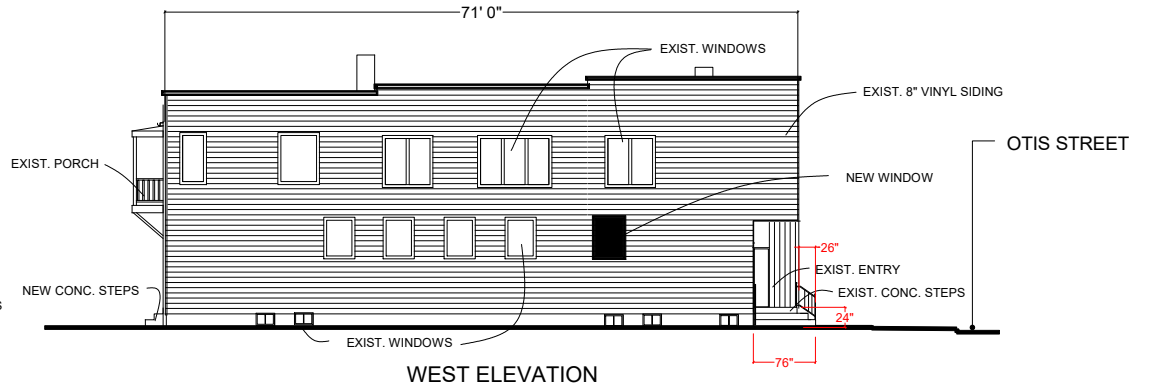
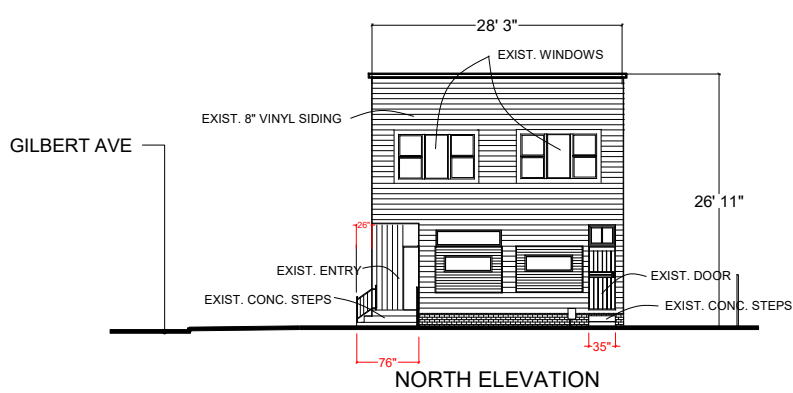
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SHEET 1 OF 4

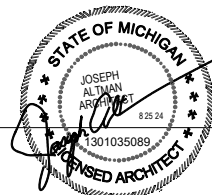
11/ 25 / 23
 R 5 / 25 / 24
 R 6 / 6 / 24
 R 8 / 21 / 24
 R 8 / 25 / 24



6410 OTIS STREET, DETROIT, MI. 48210 - ELEVATIONS

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DETROIT, MI. 48224
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SHEET 3 OF 4

11/ 25/ 23
R 8/ 25/ 24



64
011



32
01