

Janice M. Winfrey
City Clerk

City of Detroit
OFFICE OF THE CITY CLERK

Andre P. Gilbert II
Deputy City Clerk

DEPARTMENT PETITION REFERENCE COMMUNICATION

To: The Department or Commission Listed Below

From: Janice M Winfrey, Detroit City Clerk

The following petition is herewith referred to you for report and recommendation to the City Council.

In accordance with that body's directive, kindly return the same with your report in duplicate within four (4) weeks.

Petition No.	2024-382
Name of Petitioner	Francisco Cardona Sanchez
Description of Petition	Please see petition for encroachment into Otis St. and Gilbert Ave. for two existing staircases.
Type of Petition	Alley Vacation/ Encroachment/ Utility Vacation
Submission Date	11/14/2024
Concerned Departments	Department of Public Work, Planning and Development Department, City Engineering Division
Petitioner Contact	Francisco Cardona Sanchez 6401 Otis Detroit, MI 48210



**CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION**

**COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 TTY: 711
WWW.DETROITMI.GOV**

To: Clerk's Office
From: The Department of Public Works
City Engineering Division
MapsandRecordsBureau@DetroitMI.Gov
(313) 224-3970

Petitioner:
Francisco Cardona Sanchez
6401 Otis St.
Detroit, MI, 48210

On behalf of the above-mentioned petitioner the Department of Public Works: City Engineering Division is submitting a petition request for the action below. The petitioner has received a project consultation from the Department of Public Works: City Engineering Division and has been advised the following:

Type of action recommended:

Petition for encroachment into Otis St. and Gilbert Ave. for two existing staircases.

Raven Wright
Supervisor of Maps & Records
Department of Public Works
City Engineering Division
313-224-3985



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Aug 6 2024

Coversheet;

Re: 6401 Otis s/r/a 3201 Gilbert

While at SLU2024-00009 hearing to convert an existing two-family dwelling into a four-unit Multiple-Family Dwelling, one of the conditions for approval (8) was to petition DPW for an encroachment permits for two existing staircases that encroach on the public sidewalk.



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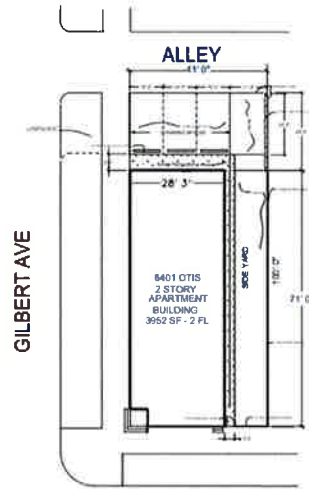
METRO DETROIT - LOCATION MAP

LEGAL ADDRESS: 6401 OTIS STREET, DETROIT, MI, 48210
 LEGAL EASEMENT FROM: 5 OTIS STREET, DETROIT, MI, 48210
 PARCEL NUMBER: 1808141
 EXISTING USE GROUP: 03 - COMMERCIAL, TWO-FAMILY FRAME
 CONSTRUCTION TYPE: TYPE III - UNICO-BUILD FRAMEWORK

INDEX OF DRAWINGS
 SHEET 1: LOCATION MAP, LOTS PLAN, CODE DATA AND GENERAL NOTES
 SHEET 2: FLOOR PLANS
 SHEET 3: ALIENATIONS
 SHEET 4: SECTION A-A

REFERENCES TO OTHER CODES
 2015 MICHIGAN PENALTY CODE FOR BUILDING VIOLATIONS, MIRCSD 2015
 2017 NATIONAL ELECTRICAL CODE, NFPA 70E, STATE PARTY AMENDMENTS
 2015 MICHIGAN ELECTRICAL CODE, MIRCSD 2015
 2018 MICHIGAN PLUMBING CODE, MIPC 2018

- General Notes:**
1. ALL WORK UNDER THE CONTRACT SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES, STATUTES & REGULATIONS.
 2. THE GENERAL CONTRACTOR SHALL INCLUDE CONTRACTOR'S ADDRESS AT ADDRESS FOR ALL ORDINANCES AND PAY FOR ALL PERMITS, FEES & INSURANCE REQUIREMENTS.
 3. THE GENERAL CONTRACTOR AS WELL AS SUBCONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL PROCEDURES SET FORTH BY FEDERAL, STATE, & LOCAL GOVERNMENT AGENCIES IN THE CONSTRUCTION OF THIS PROJECT. IF AN ORIGINAL CONTRACTOR IS RESPONSIBLE TO THE GENERAL CONTRACTOR, ALL REPORTS AND PERMITS SHALL BE RETURNED TO THE GENERAL CONTRACTOR'S OFFICE.
 4. ALL CONSTRUCTION DOCUMENTS ARE BASED UPON THE ACCURACY OF THE EXISTING RECORD DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND TRADE CONTRACTORS TO VERIFY EXISTING CONDITIONS AND CORRECT ANY DISCREPANCIES PRIOR TO THE START OF ANY NEW WORK OR ALTERATION OF EXISTING CONSTRUCTION. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
 5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE TO COMPLETE PUBLIC CONTRIBUTION REQUIREMENTS AND INSURANCE PRIOR TO THE START OF CONSTRUCTION.
 6. INFORMATION OF LAZERS, UTILITY LINES AND SERVICES AS NECESSARY MUST BE OBTAINED FROM THE OWNER PRIOR TO THE START OF CONSTRUCTION.



GILBERT AVE

ALLEY

6401 OTIS
2 STORY
APARTMENT
BUILDING
3952 SF - 2 FL

OTIS STREET

SITE PLAN
 TOTAL LOT SF: 4100 SF
 TOTAL HOUSE COVERAGE 1988 SF
 TOTAL LOT COVERAGE 48%

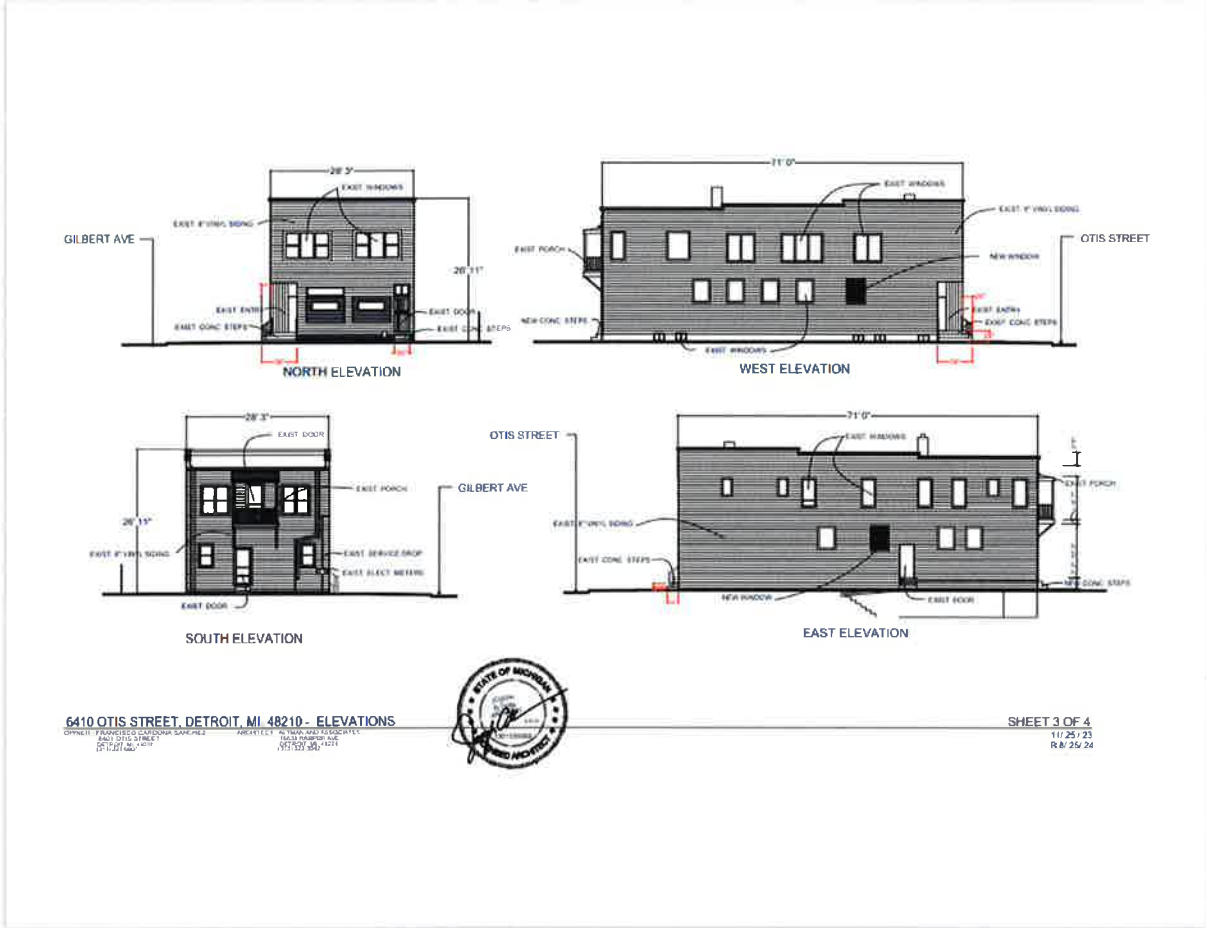
SCOPE OF WORK: REMOVE FIRST FLOOR BAR AND CONVERT SPACE TO TWO APARTMENT UNITS

6401 OTIS STREET, DETROIT, MI, 48210 - LOCATION MAP, SITE PLAN & NOTES



SHEET 1 OF 4

11/25/23
R 5/25/24
R 6/6/24



6410 OTIS STREET, DETROIT, MI 48210 - ELEVATIONS

OWNER: FRANCESCO CARONDI/SANFORD ARCHITECT: 26 WOODWARD AVENUE
 48226 DETROIT, MI 48226
 DATE: 07/27/2011 07/27/2011



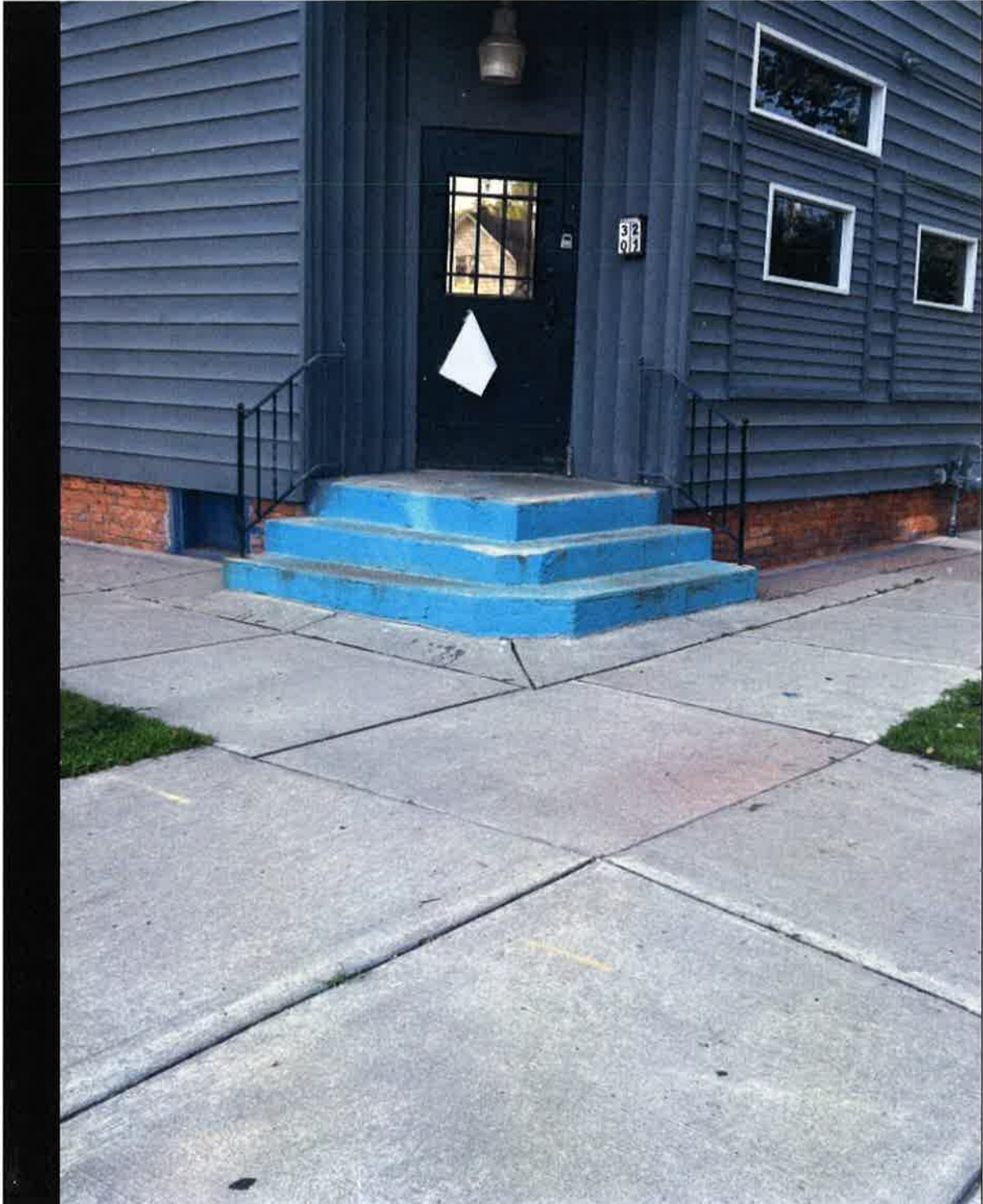
SHEET 3 OF 4

11/25/23
 R& 25/24



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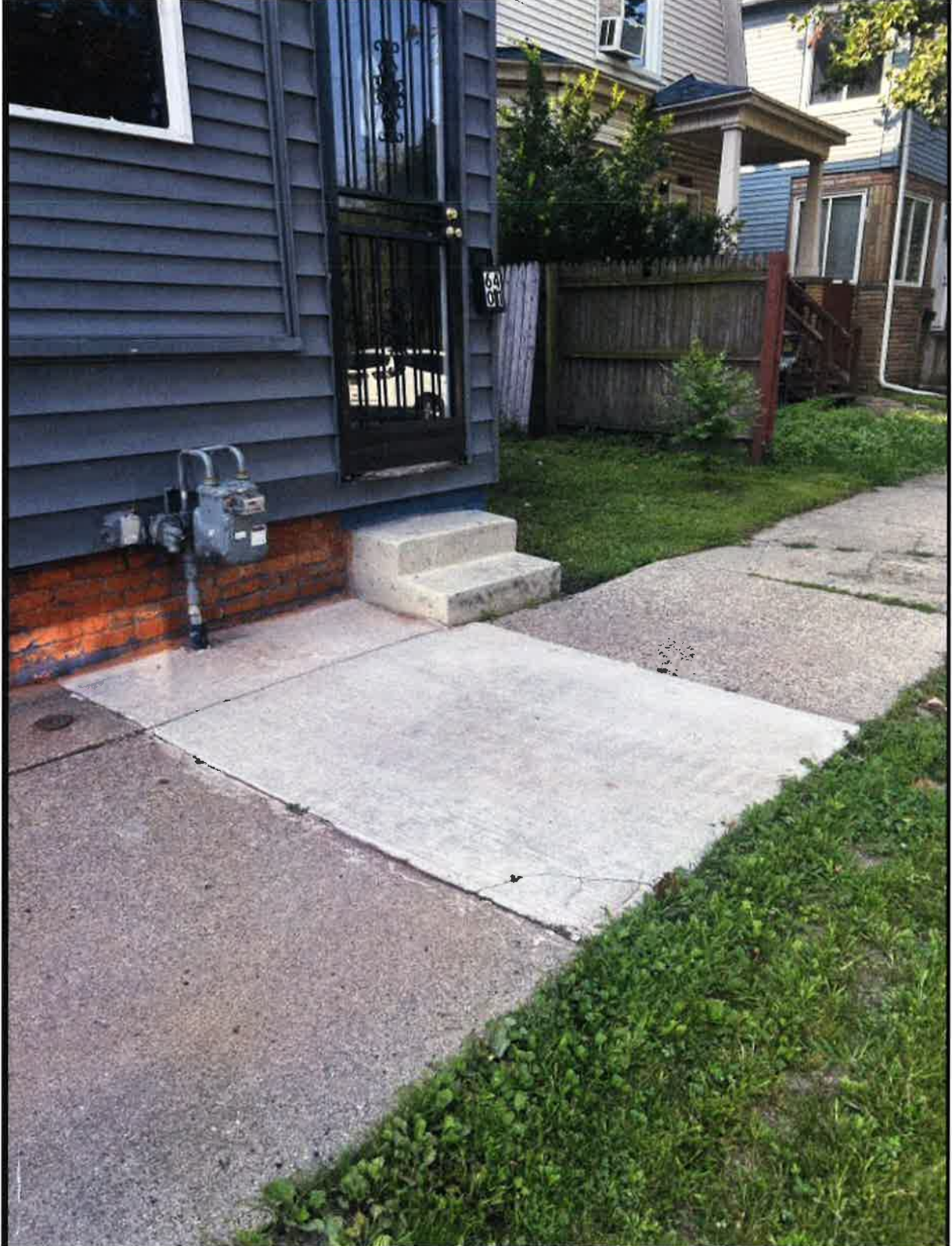
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