



Letter of Transmittal

Date:
Petition Map:

Type of Petition

- | | | |
|---|---------------------------------------|--|
| <input type="checkbox"/> Outright Vacation | <input type="checkbox"/> Dedication | <input type="checkbox"/> Berm Use |
| <input type="checkbox"/> Conversion to Easement | <input type="checkbox"/> Encroachment | <input type="checkbox"/> Temporary Closing |

Review Status

The above petition has been received and reviewed by this office. Please see below for the review status as marked.

- | | |
|--|--|
| <input type="checkbox"/> Approved Subject to Attached Provisions | <input type="checkbox"/> Revise and Resubmit |
| <input type="checkbox"/> Not Approved | |

Additional Comments (if applicable):

Attached is the DWSD provision related to the petition.

	Name	Title	Signature	Date
Reviewed by:			<i>Mohammad Siddique</i>	
Approved by:			<i>Mohammad Siddique</i> For Syed Ali	

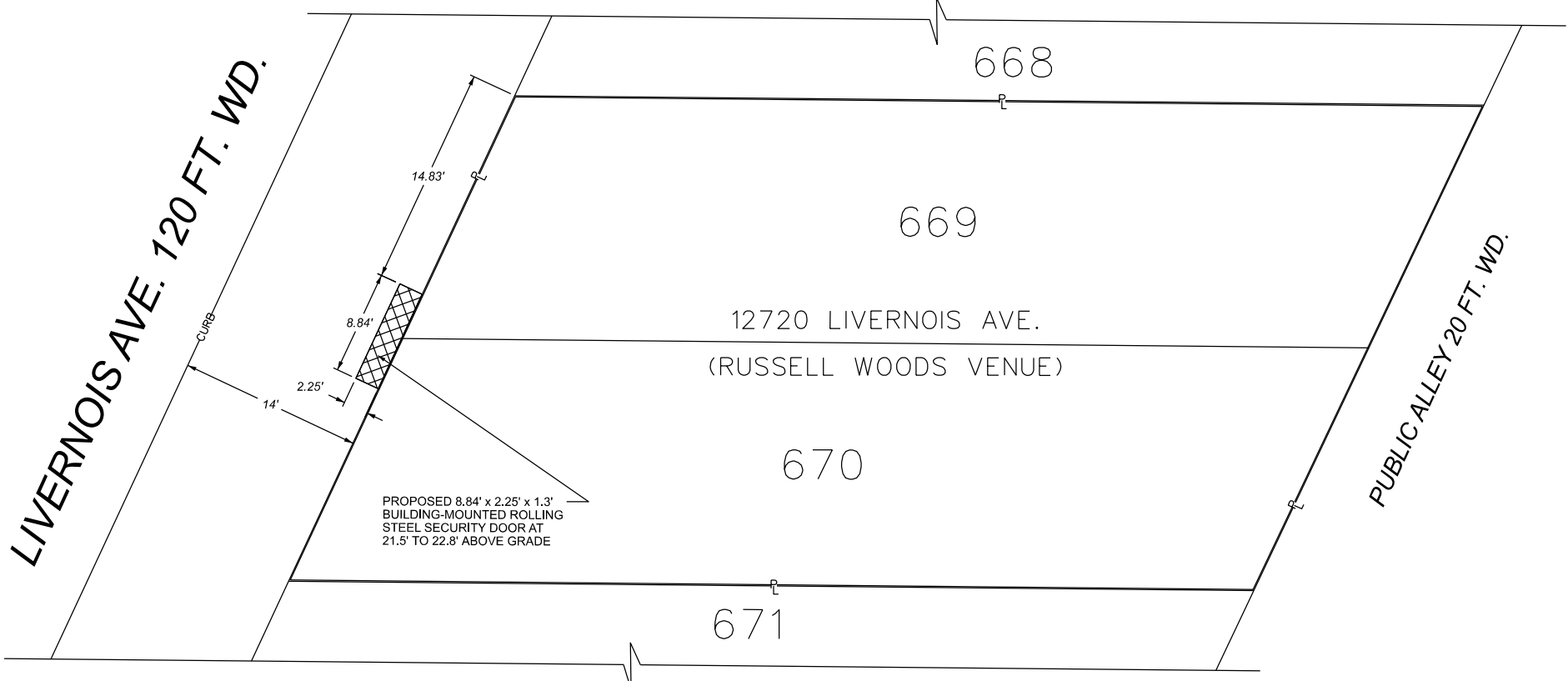
PROVISIONS FOR ENCROACHMENT

1. By approval of this petition the Detroit Water and Sewerage Department (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing, or inspection by DWSD shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hour notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
3. Construction under this petition is subject to inspection and approval by DWSD. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
4. DWSD prohibits the use of heavy construction equipment or the storage of building material directly over or near DWSD facilities. DWSD also prohibits the use of cranes and balls or hydraulic rams for pavement removal where DWSD facilities are involved. If the water main or sewer facilities are broken or damaged as a result of any action on the part of the contractor, the contractor shall be liable for all costs incidental to the repair of such broken or damaged water main or sewer facilities. If DWSD facilities located within the street shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
5. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.
6. If at any time in the future the petitioner shall request removal and / or relocation of DWSD's facilities in the street being encroached upon, the petitioner agrees to pay all costs for such removal and/or relocation.
7. Prior to construction, Easement Encroachment Permit (EEP) should be obtained and the insurance required by the EEP should not expire until after completion of the construction.
8. For any proposed work that involves DWSD water mains and/or sewers, an approval and a permit is required from DWSD before commencement of work.
9. It is DWSD's requirement that any proposed utility crossing DWSD water mains and/or sewers perpendicularly must maintain a minimum of 18 inches vertical clearance. Any proposed utility running adjacent to DWSD water mains and/or sewers must maintain a minimum of 10 feet lateral clearance including any conduit and/or manholes walls. No utility is allowed to run along the top of the water main or/or sewer.
10. It is DWSD's requirement that no encroachment has a vertical clearance of less than 16 feet from the ground surface over DWSD water mains and/or sewers.

Detroit Water & Sewerage Department (DWSD) Notes:

- Our records indicate that there are water mains and sewers which are located in the vicinity of the proposed project limits, the locations must be field verified to maintain our required clearances
- Usually water mains have 5' to 6' cover and sewers have 8' to 30' cover as approved by DWSD, depending on the location.
- No utilities are allowed to be installed along the length of the water main or sewer.
- It is DWSD's requirement that any proposed utility crossing DWSD water mains or sewers perpendicularly must maintain a minimum of 1.5 feet vertical clearance below DWSD assets. Also, any proposed utility running adjacent to DWSD water mains and sewers must maintain a minimum of 3.5 feet horizontal clearance from any conduit and/or manhole outside wall. No utility is allowed to run along the top of the water main or sewer.
- There are possibilities of several water and sewer service lines crossing in the vicinity of proposed work, field verify their location and depth to maintain our required clearance.
- Detroit Water and Sewerage Department (DWSD) prohibits the use of heavy construction equipment (bulldozers, backhoes, extremely large rollers, etc.) and or storage of building material directly over or near our mains or sewers. DWSD also prohibits the use of cranes and balls or hydraulic rams for pavement removal where the DWSD facilities are involved. If the water main or sewer facilities are broken or damaged as a result of any action on the part of the contractor, then the contractor shall be liable for all costs incidental to the repair of such broken or damaged water main/sewer facilities and appurtenances. The contractor shall waive all claims for damages under such circumstances.
- For any proposed work that involves DWSD utility assets (water mains and/or sewers), an approval and a permit is required from DWSD before the commencement of work. To request a DWSD permit and learn more about the current DWSD permitting process use the following link: [DWSD Permitting process](#)

GLENDALE AVE. 60 FT. WD.



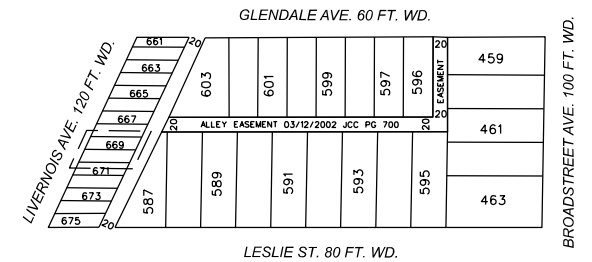
LIVERNOIS AVE. 120 FT. WD.

PUBLIC ALLEY 20 FT. WD.

12720 LIVERNOIS AVE.
(RUSSELL WOODS VENUE)

LESLIE ST. 80 FT. WD.

PROPOSED 8.84' x 2.25' x 1.3'
BUILDING-MOUNTED ROLLING
STEEL SECURITY DOOR AT
21.5' TO 22.8' ABOVE GRADE



 - REQUEST ENCROACHMENT
(FOR SECURITY DOOR AT
21.5' TO 22.8' ABOVE GRADE)

(FOR OFFICE USE ONLY)

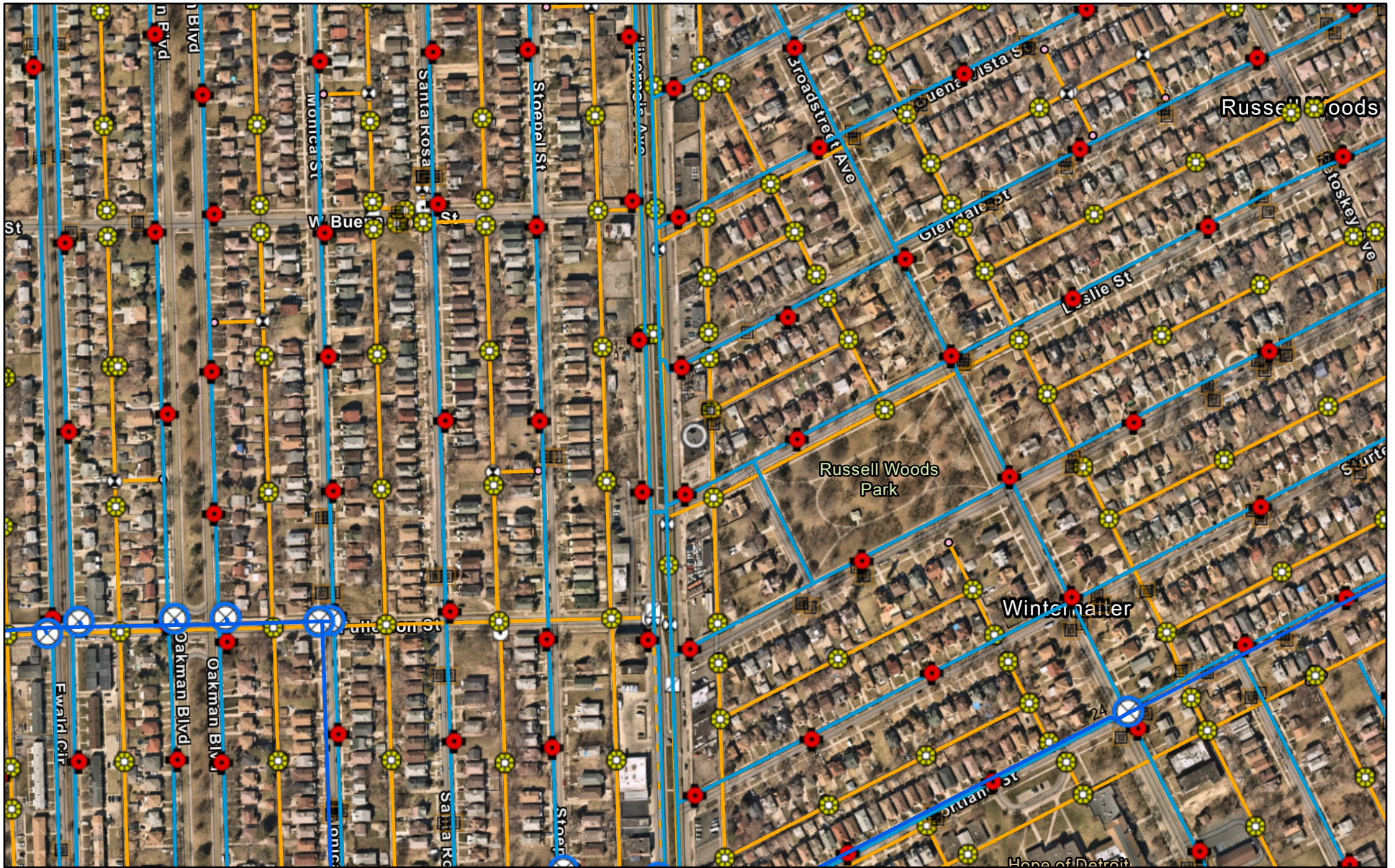
CARTO 17 A

**REQUEST ENCROACHMENTS INTO
THE EASTERLY PART OF LIVERNOIS AVE.
AT 12720 LIVERNOIS AVE.**

CITY OF DETROIT
CITY ENGINEERING DIVISION
SURVEY BUREAU
JOB NO. 24-148
DRWG. NO.

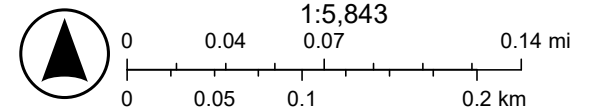
B					
A					
	DESCRIPTION	DRWN	CHKD	APPD	DATE
	REVISIONS				
	DRAWN BY	TS	CHECKED	AP	
	DATE	10-07-2024	APPROVED	RW	

12720 Livernois

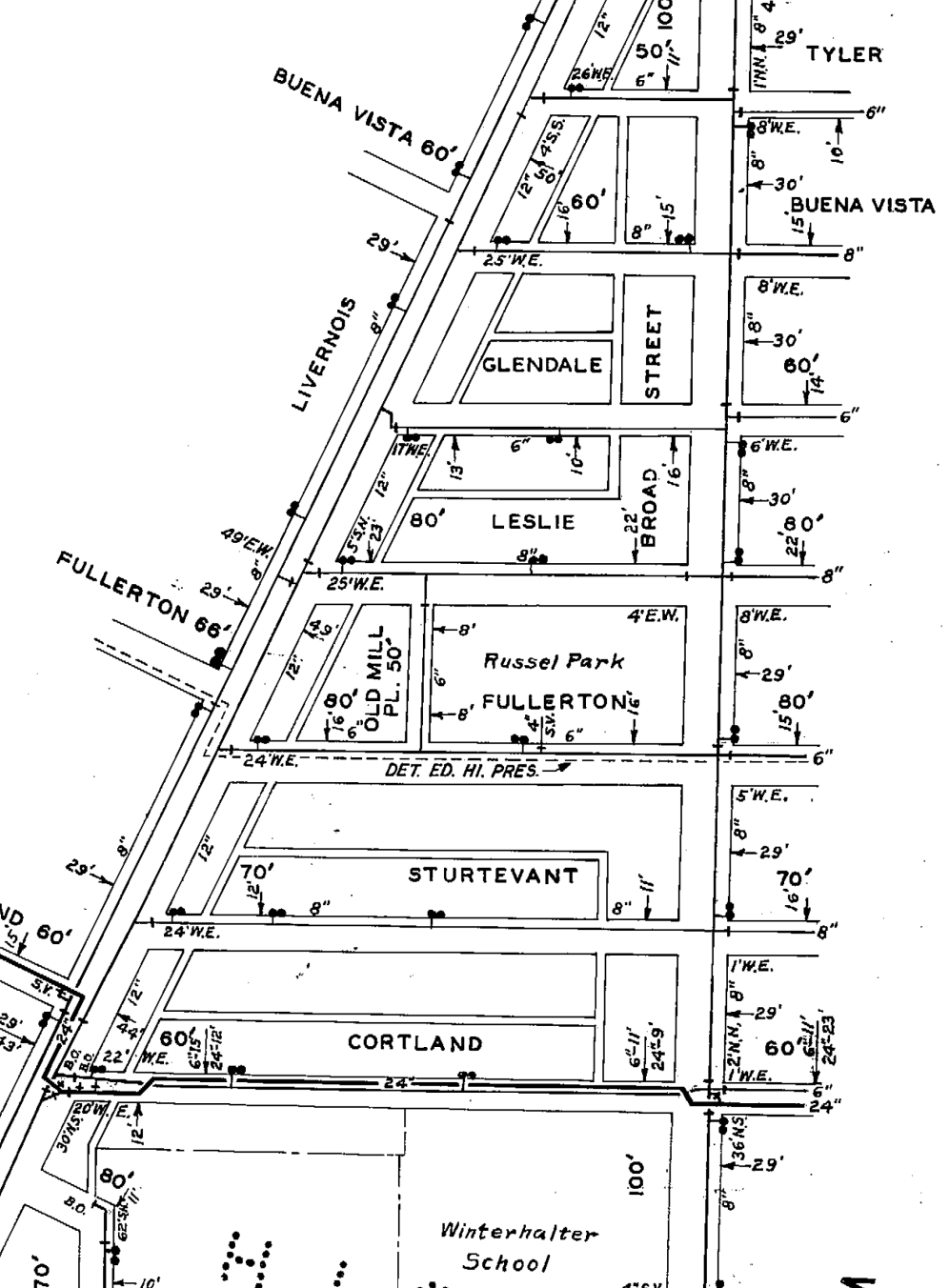


10/10/2024

- | | | | | |
|-----------------------------------|-----------------------------|------------------------|----------------------|-------------------------|
| Transmission System Mains - GLWA | Distribution System Hydrant | Wastewater Catch Basin | Blind Connection | Wastewater Gravity Main |
| Active Water Main | Distribution System Main | Wastewater Manhole | Bulkhead/Cap | Active |
| Transmission System Valves - GLWA | Active | Wastewater Fitting | Material/Size Change | |
| Gate | Abandoned | Bend/Slope Change | Crown/Main Point | |



DWSD, Esri Community Maps Contributors, Province of Ontario, SEMCOG, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph,



Cornelius Arnold

D.B.A Arnold Cta Properties LLC

12152 Hemingway

Bedford, MI 48239

313-409-7785

This letter includes ~~attached~~ details

about our front facing roll down

door.

O.H. Rolling steel security door

6'-6" Length x ~~height~~ height

16'-0" From North corner of building.

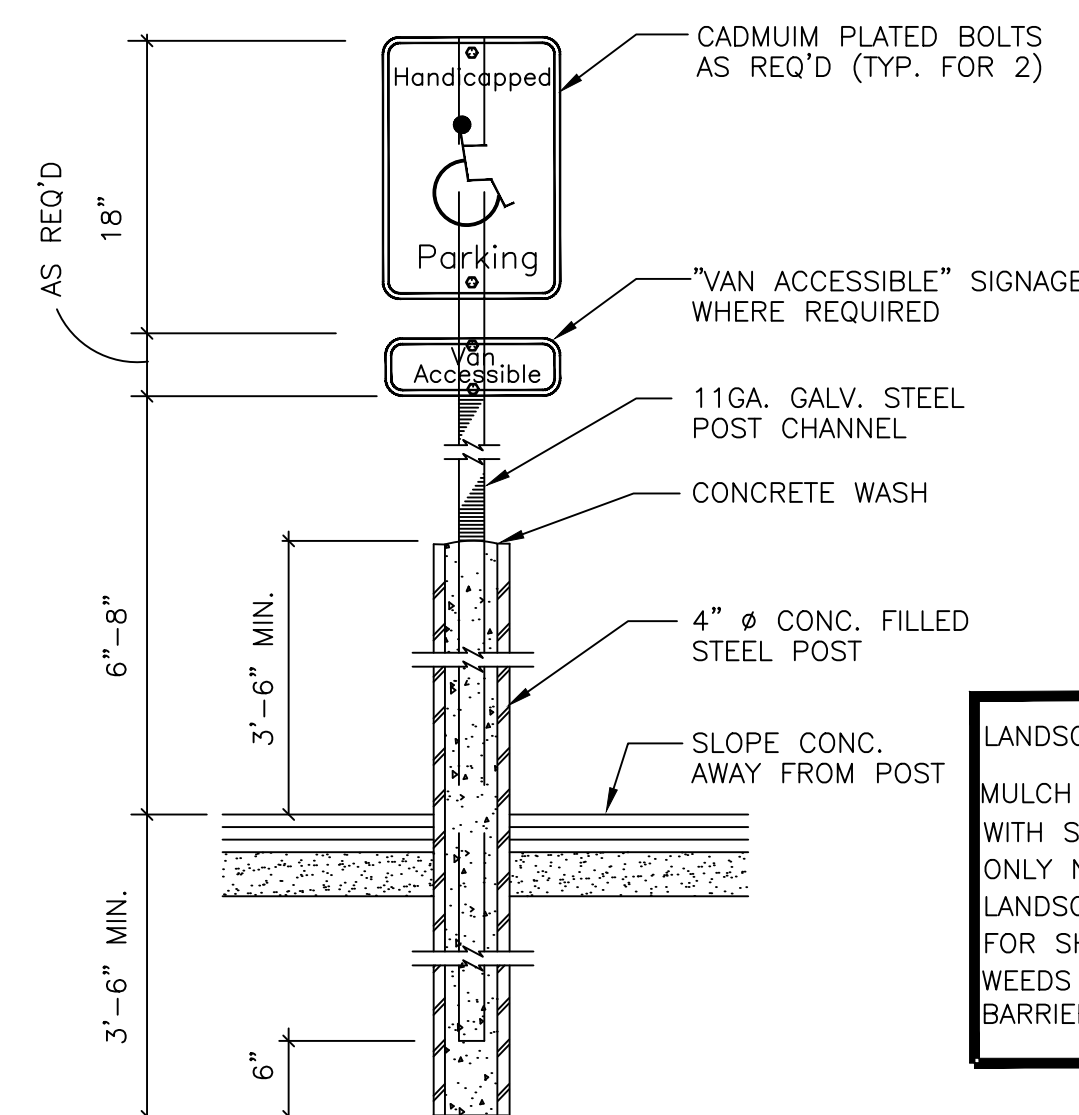
C. Arnold

EXTERIOR LIGHT WALL MOUNTED FIXTURES

NOTE: ALL NEW LIGHTING TO BE SHIELDED AND DIRECTED DOWN WARD.

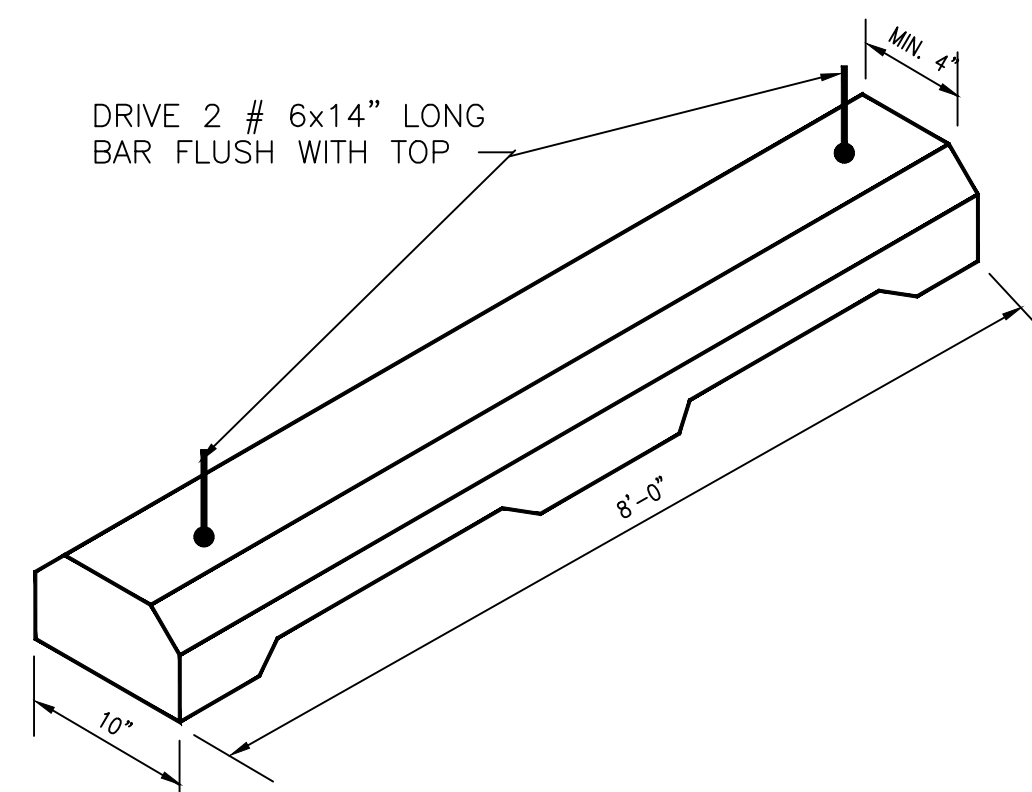
LIGHTING NOTES:

- 1- PARKING LOT LIGHTING POLE LENS TO BE LIMITED TO 250 W
- 2- WALL PACK ON WEST WALL AT LOADING ZONE ARE LIMITED TO 175 W.
- 3- ALL LIGHTS TO BE SHIELDED FROM ADJACENT PROPERTY.



HANDICAP PARKING SIGN

N.T.S.



CONC. PARKING BUMPER

N.T.S.

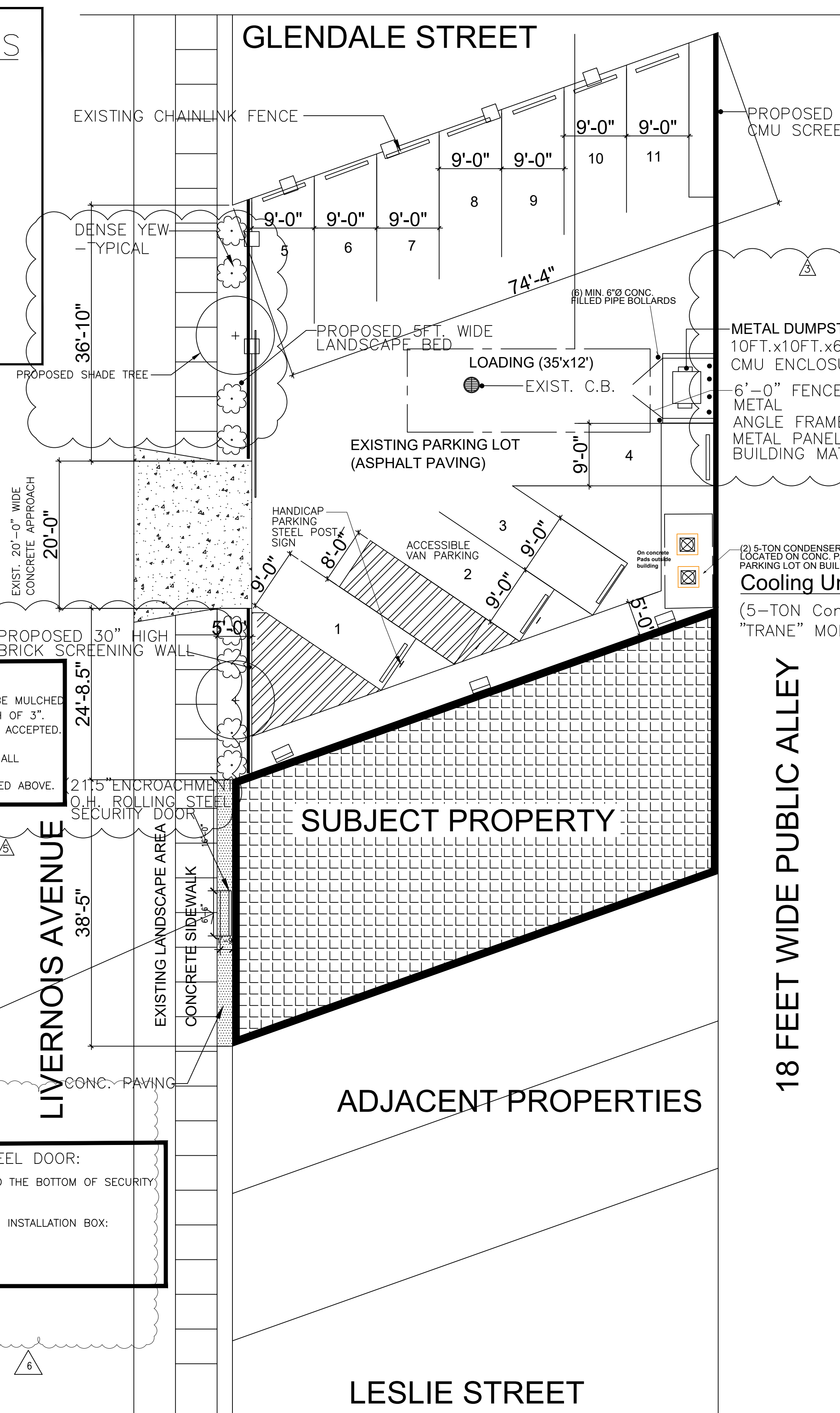
GENERAL NOTES:

THE SITE PLAN SHOWN ABOVE DEPICTS THE EXISTING BUILDING LAYOUT SUPERIMPOSED ON THE PLOT PLAN BASED ON AVAILABLE INFORMATION. ALL INDICATED DIMNSIONS ARE APPROXIMATE, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL DIMENSIONS. THE ARCHITECT DOES NOT GUARANTY ACCURACY OF THE INDICATED DIMENSIONS SINCE NO FORMAL TOPOGRAPHIC SURVEY WAS PRESENTED PRIOR TO COMMENCEMENT OF THE ARCHITECT'S SERVICES. THESE DRAWINGS SHALL BE UTILIZED FOR REFERENCE ONLY.

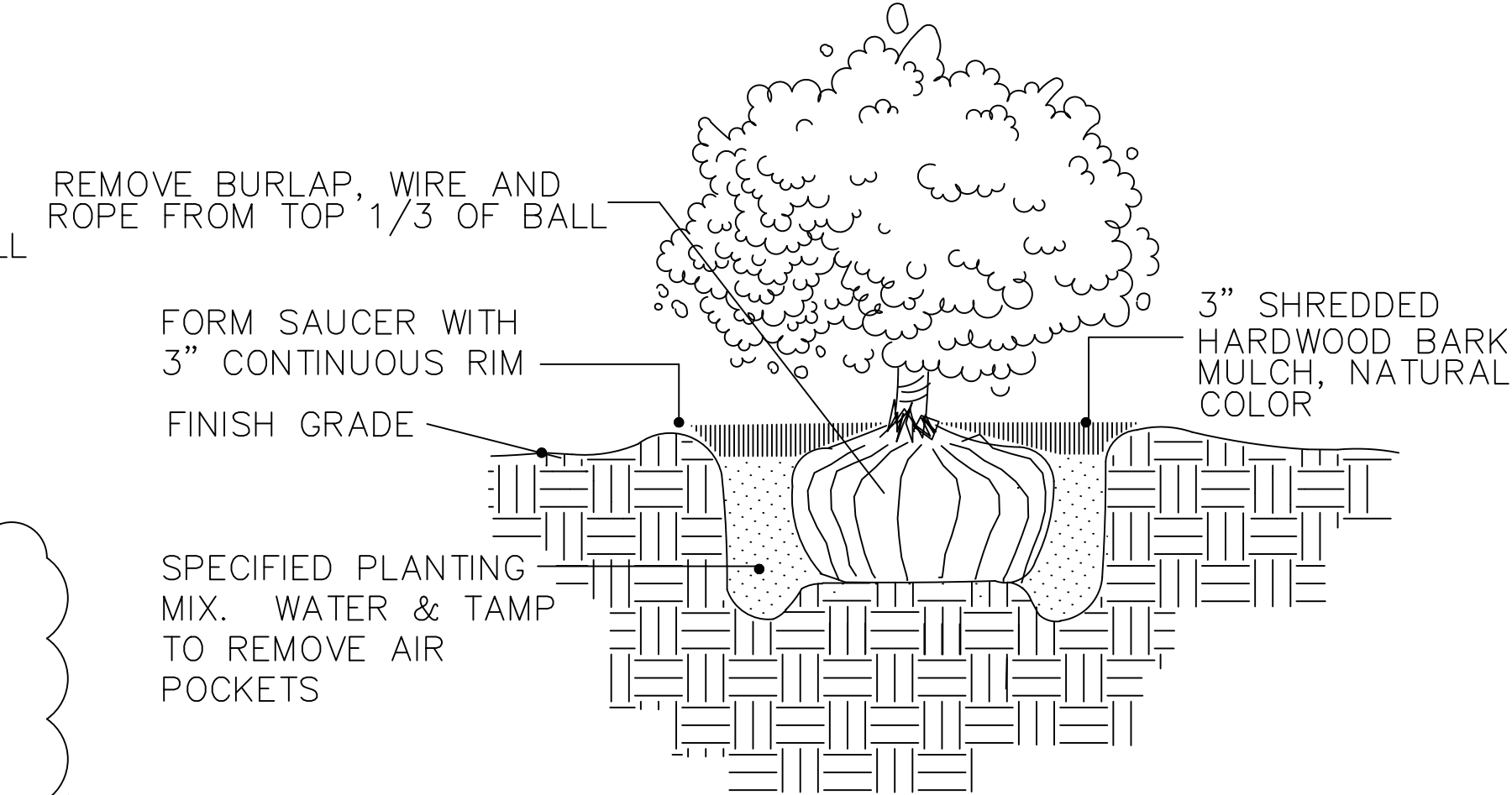
EXISTING FLOOR PLAN

ARCHITECTURAL SITE PLAN

SCALE: 3/32" = 1'-0"

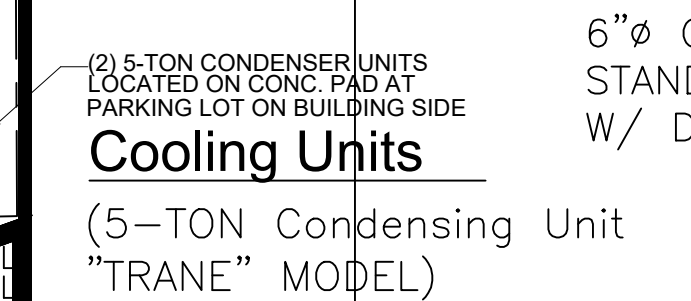


DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL



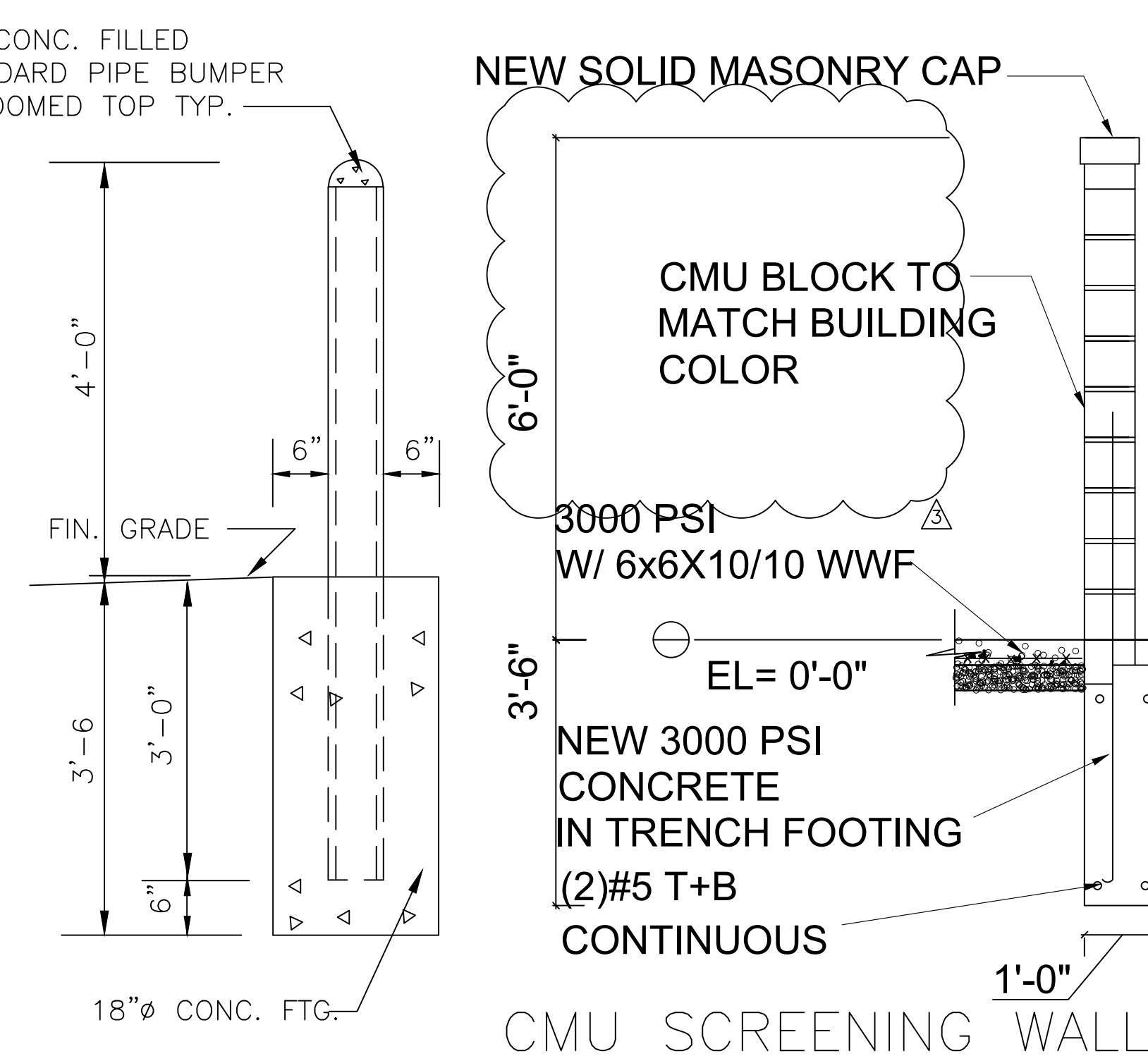
SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE



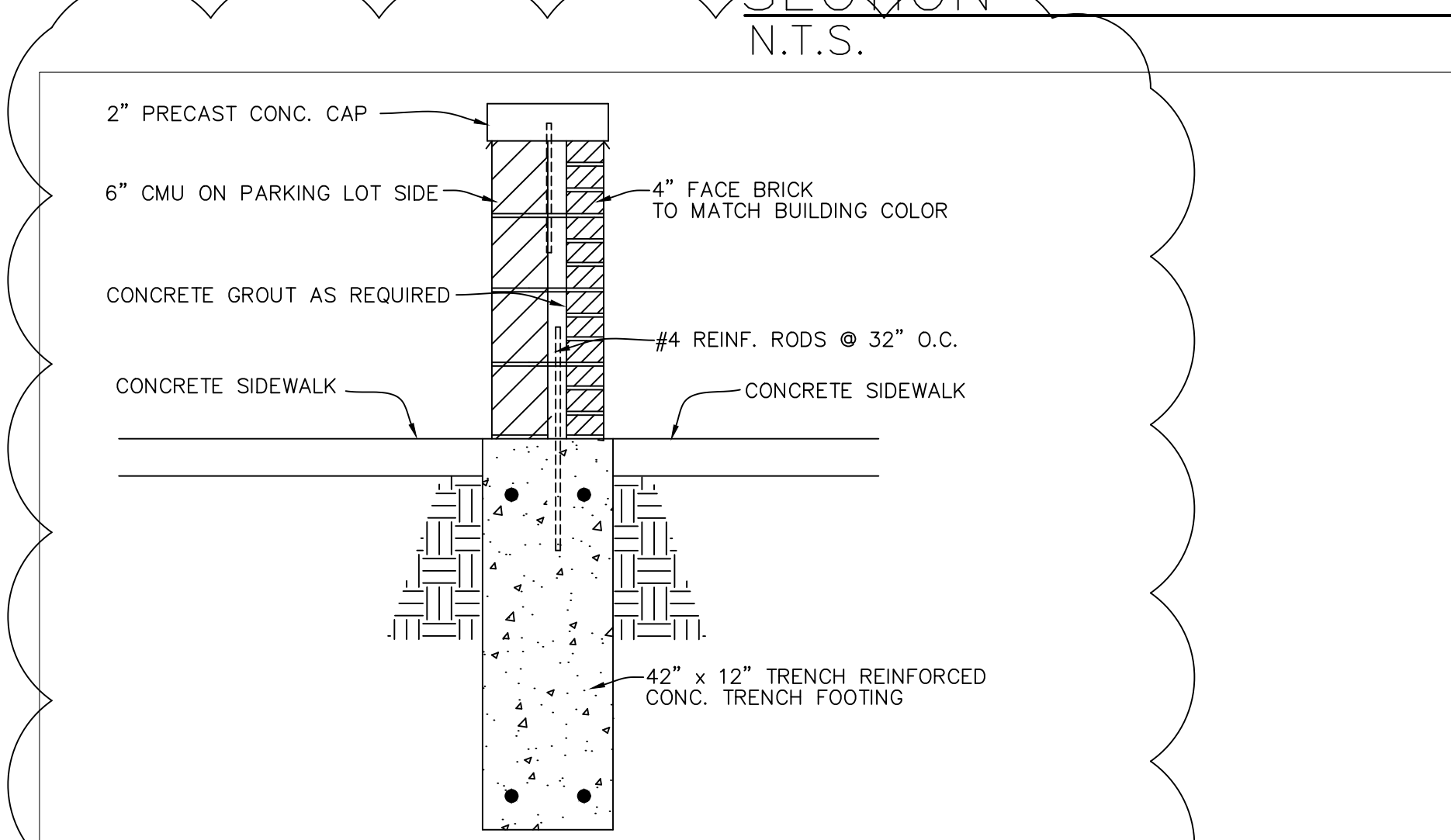
Cooling Units

(5-TON Condensing Unit "TRANE" MODEL)



BUMPER POST DETAIL

N.T.S.



MASONRY/BRICK SCREENING WALL

SCALE: 3 / 4" = 1' - 0"

PROJECT:

PROPOSED "RENTAL HALL"

LOCATED AT 12720 LIVERNOIS AVENUE
 DETROIT, MICHIGAN

ISSUES/REVISIONS:	ISSUE DATE
BUILDING PERMIT	03/23/23
REVISION NO.2	11/15/23
REVISION NO.3	08/05/24
REVISION NO.4	09/17/24
REVISION NO.5	09/24/24
REVISION NO.6	10/07/24

SHEET TITLE

PROPOSED SITE PLAN

APPROVED BY:
 CHECKED BY:
 DESIGNED BY:
 DRAWN BY:

ARCH./ENG. SEAL:



SHEET NUMBER:

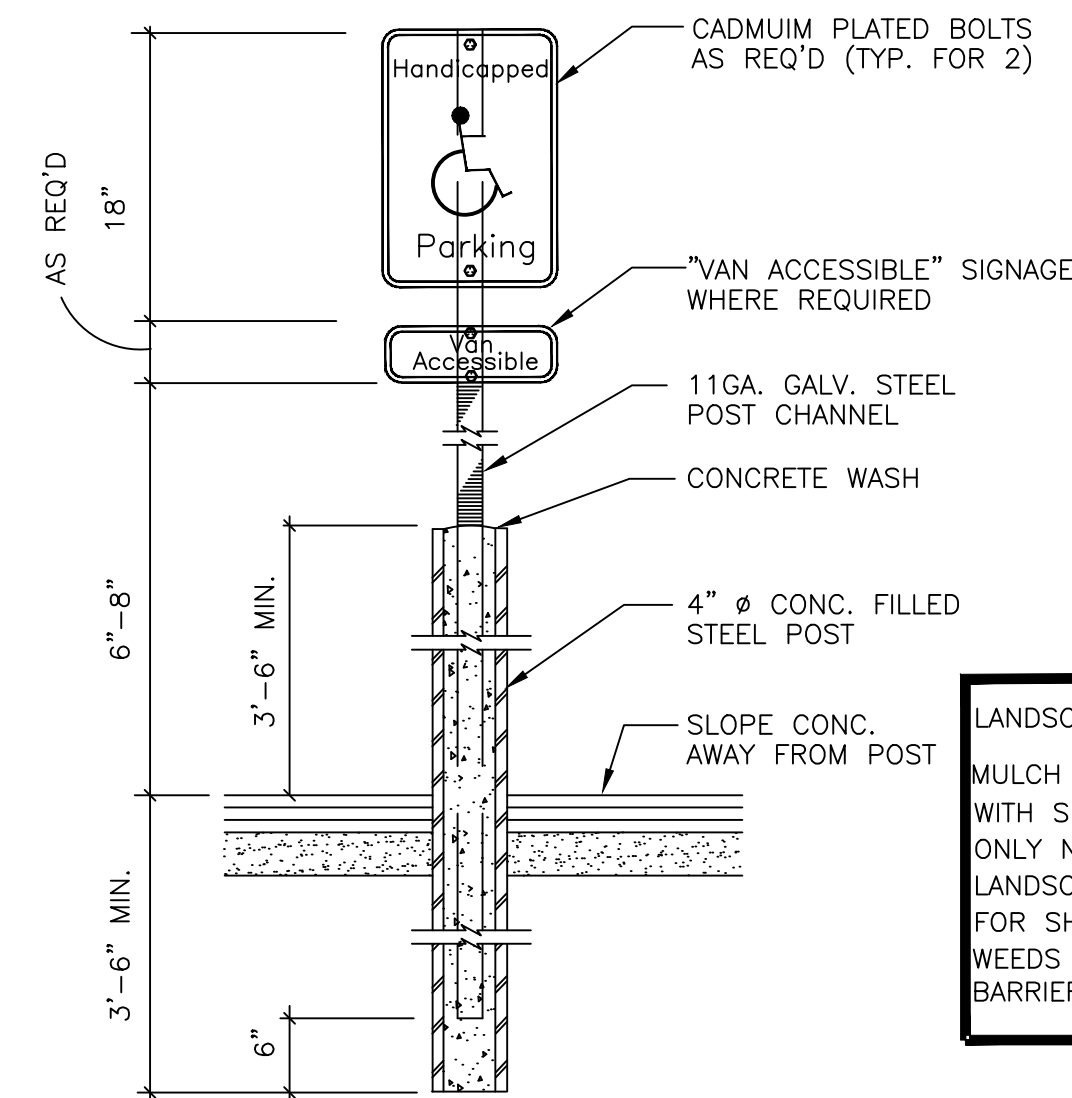
SP-101

EXTERIOR LIGHT WALL MOUNTED FIXTURES

NOTE: ALL NEW LIGHTING TO BE SHIELDED AND DIRECTED DOWN WARD.

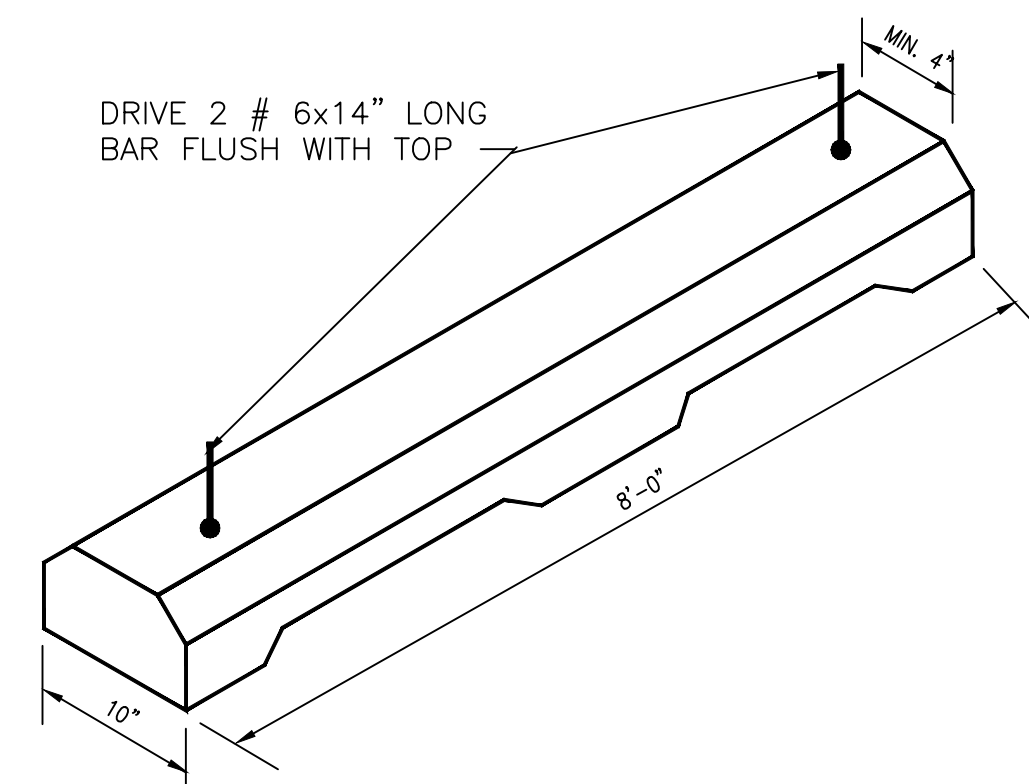
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HANDICAP PARKING SIGN

N.T.S.

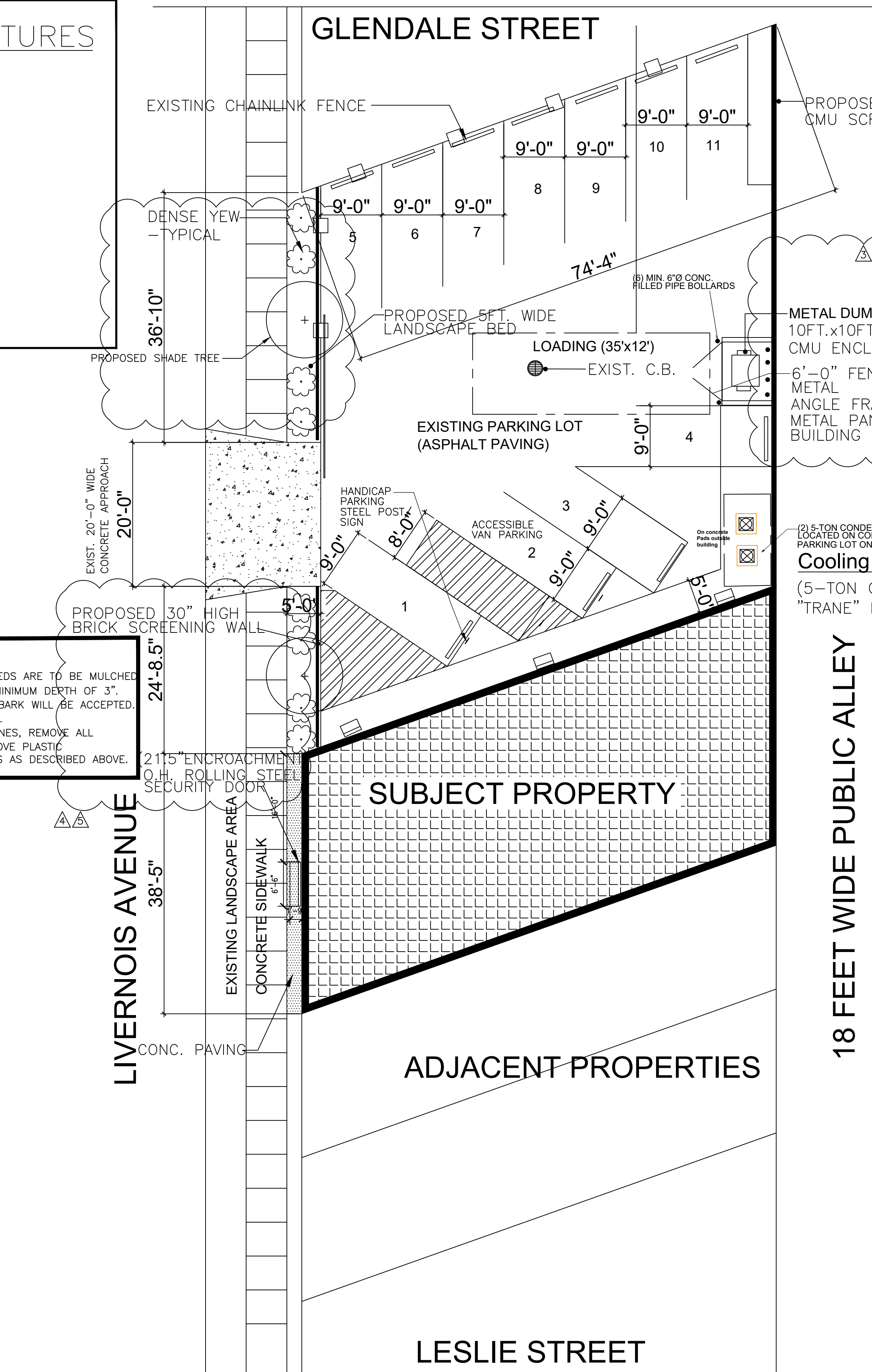


CONC. PARKING BUMPER

N.T.S.

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SUBJECT PROPERTY

ADJACENT PROPERTIES

18 FEET WIDE PUBLIC ALLEY

EXISTING FLOOR PLAN

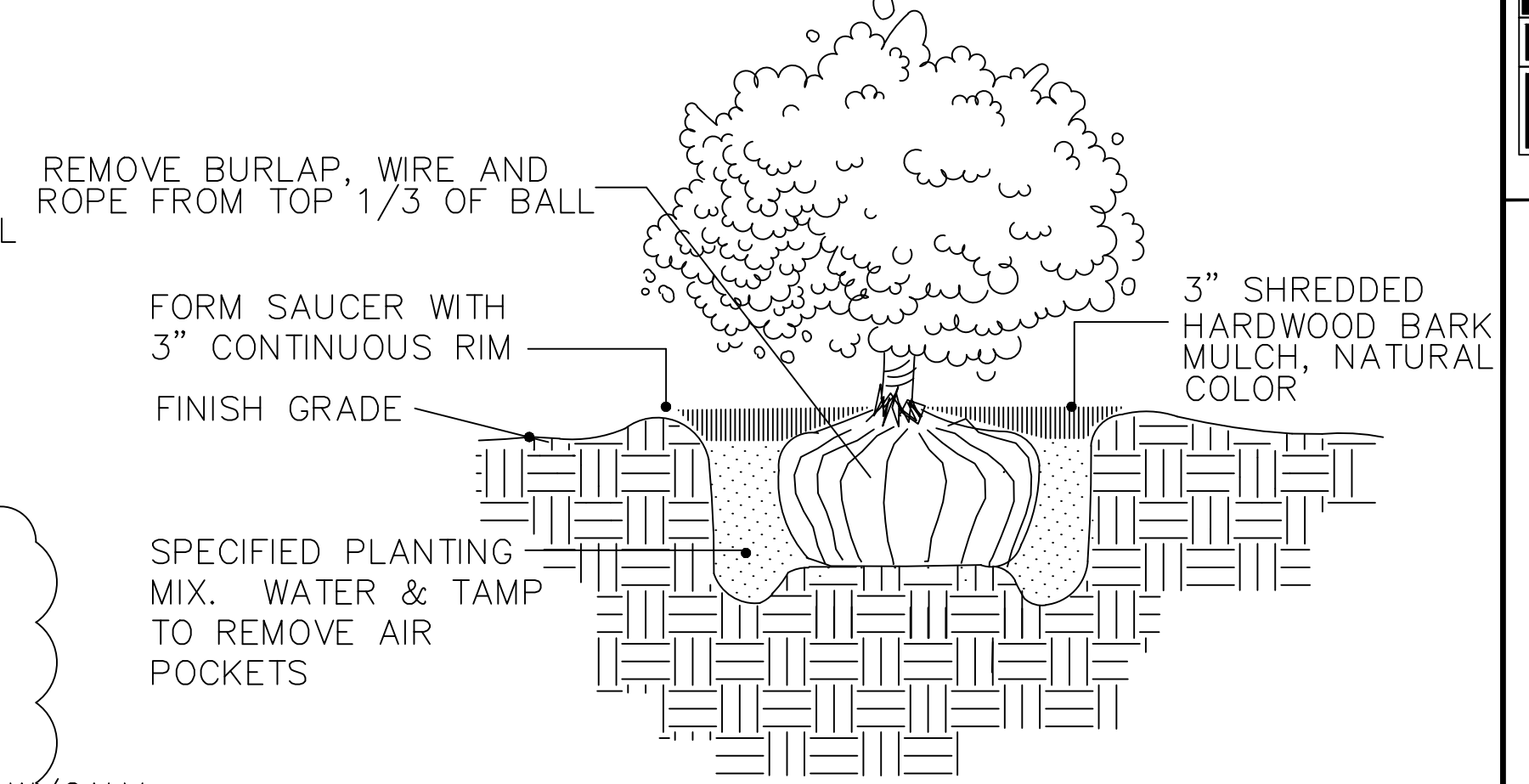
SCALE: 3/32" = 1' - 0"

ARCHITECTURAL SITE PLAN

SCALE: 3/32" = 1' - 0"

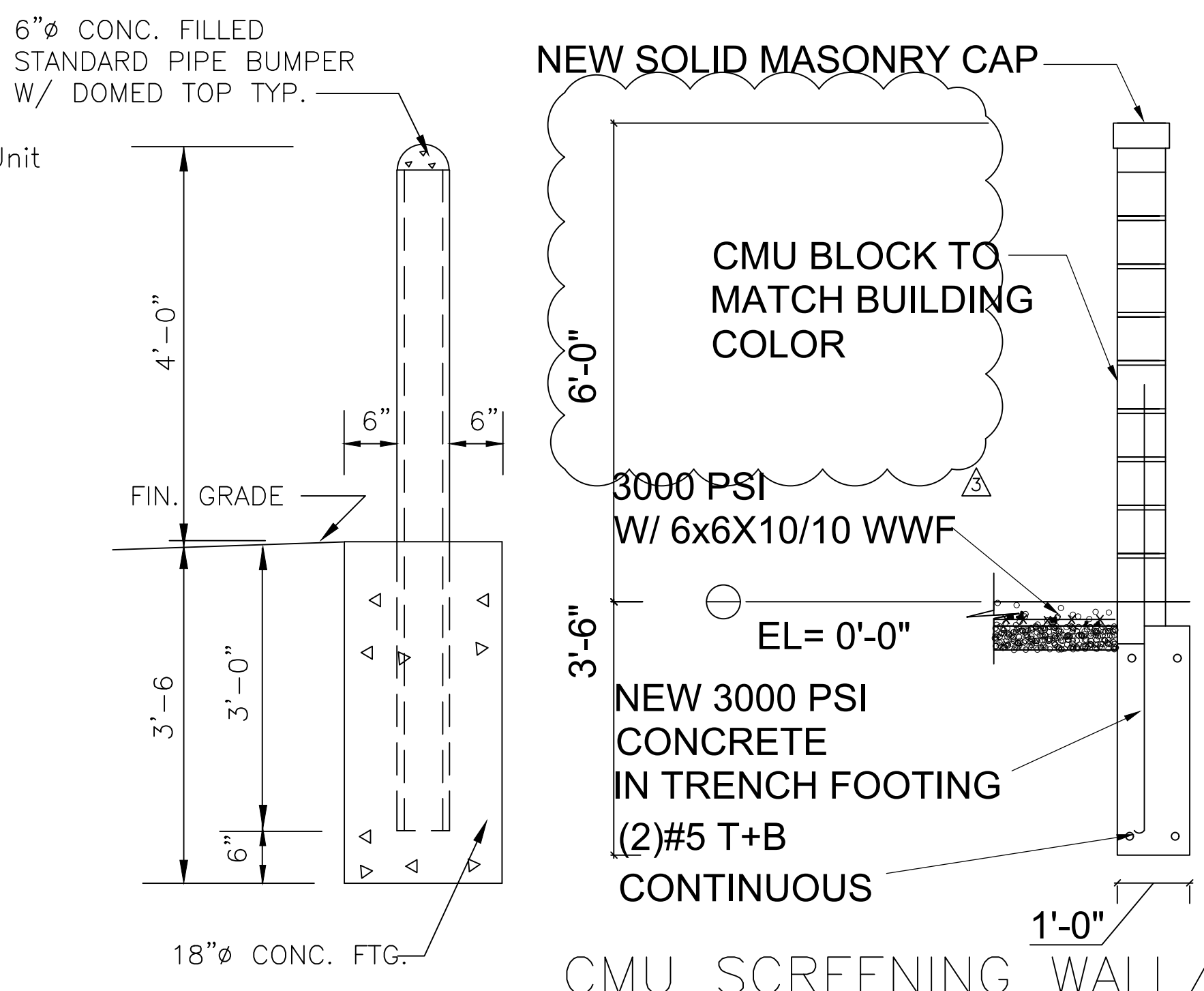


DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL



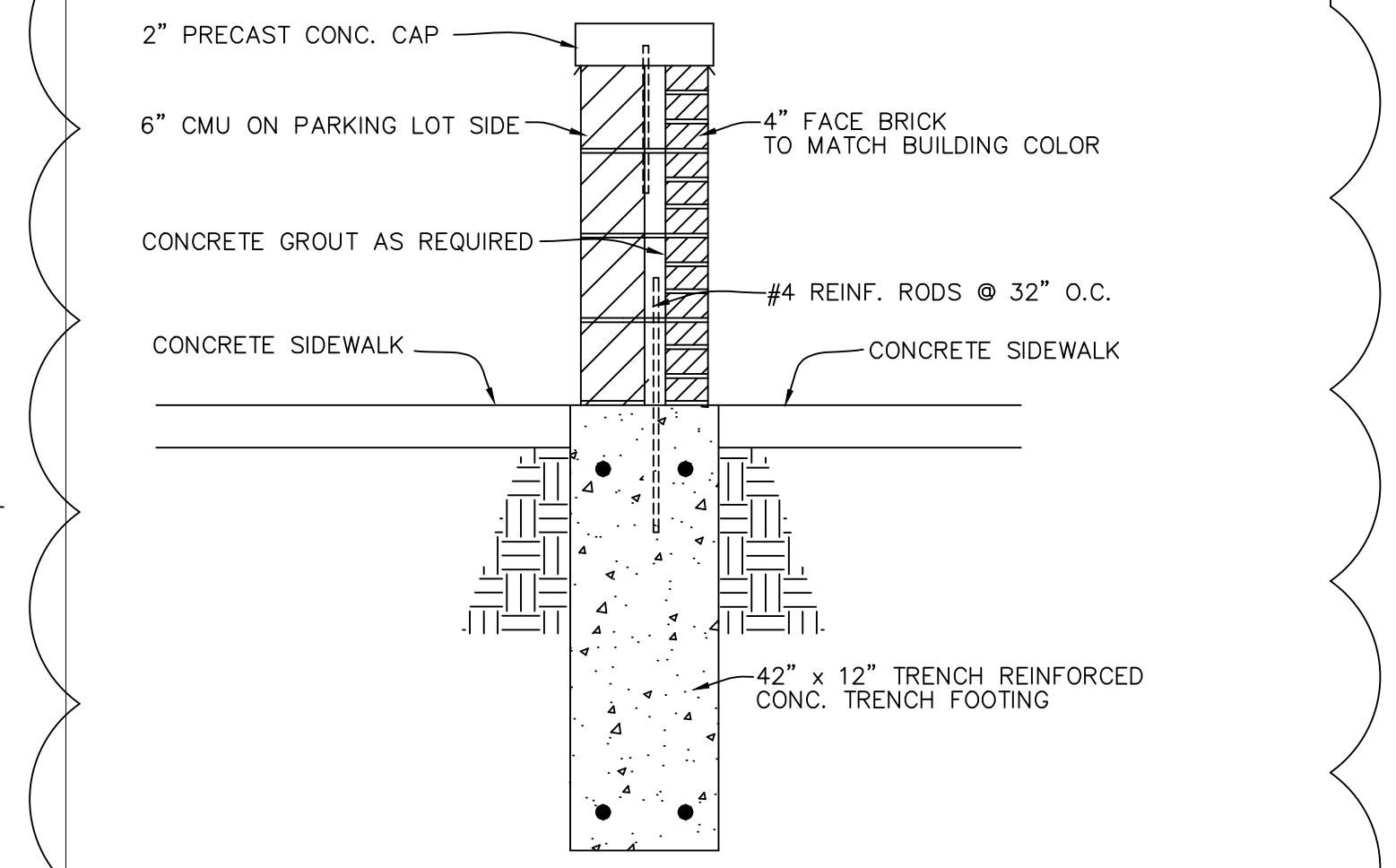
SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE



BUMPER POST DETAIL SECTION

N.T.S.



MASONRY/BRICK SCREENING WALL

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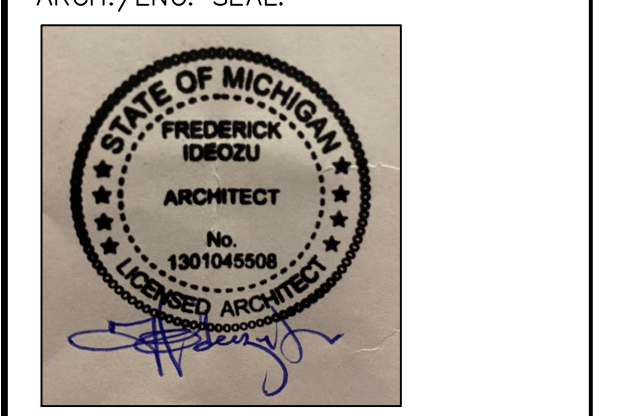
ARCHITECTURE • ENGINEERING
ONATH
CONSULTANTS, INC.
400 MONROE, #237, DETROIT, MI 48226
313-415-4038 (PH) • 248-871-4566 (CELL)

PROJECT:
PROPOSED "RENTAL HALL"
LOCATED AT 12720 LIVERNOIS AVENUE
DETROIT, MICHIGAN

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REVISION NO.5	09/24/24

SHEET TITLE
PROPOSED SITE PLAN

APPROVED BY:
CHECKED BY:
DESIGNED BY:
DRAWN BY:



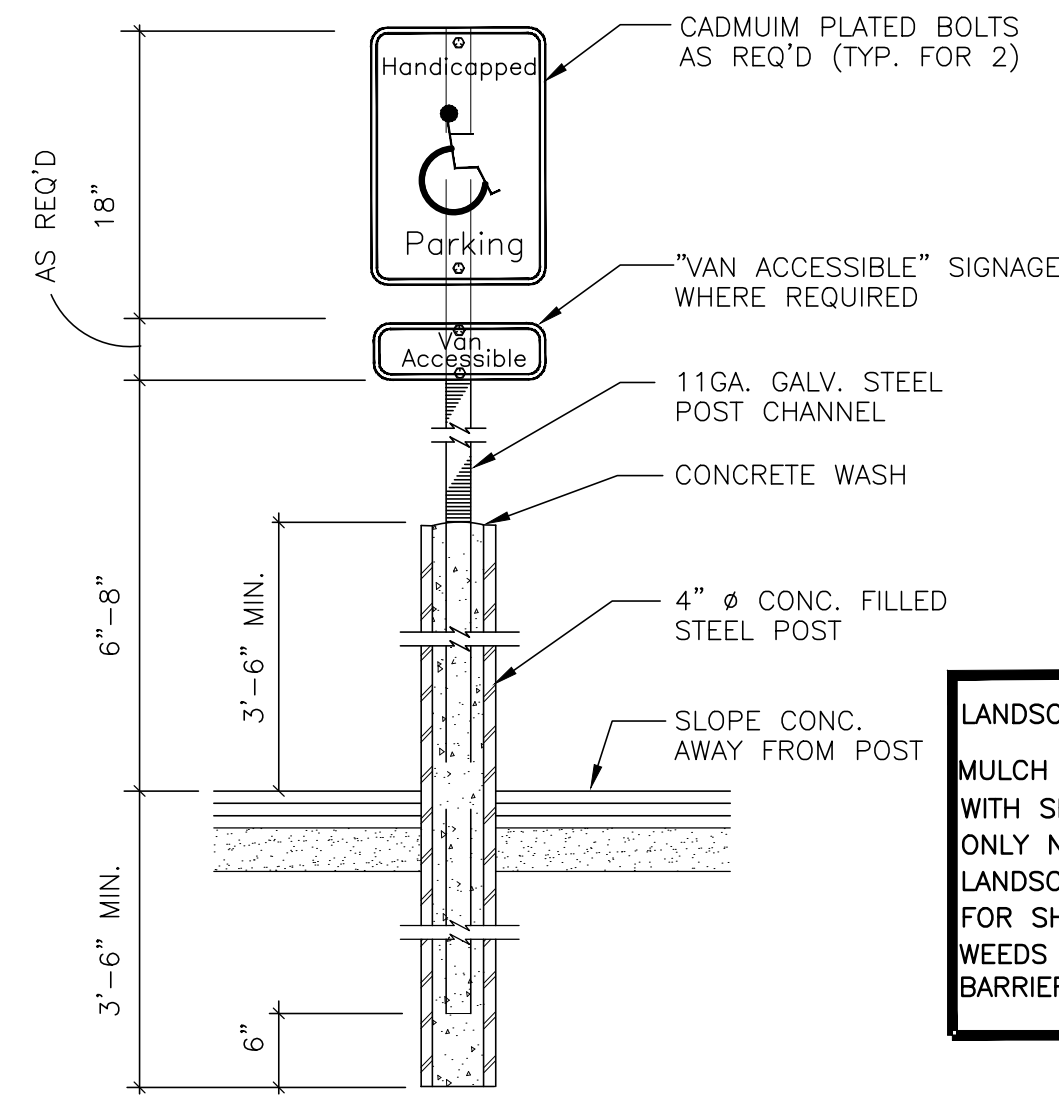
ARCH./ENG. SEAL:
SHEET NUMBER:
SP-101

EXTERIOR LIGHT WALL MOUNTED FIXTURES

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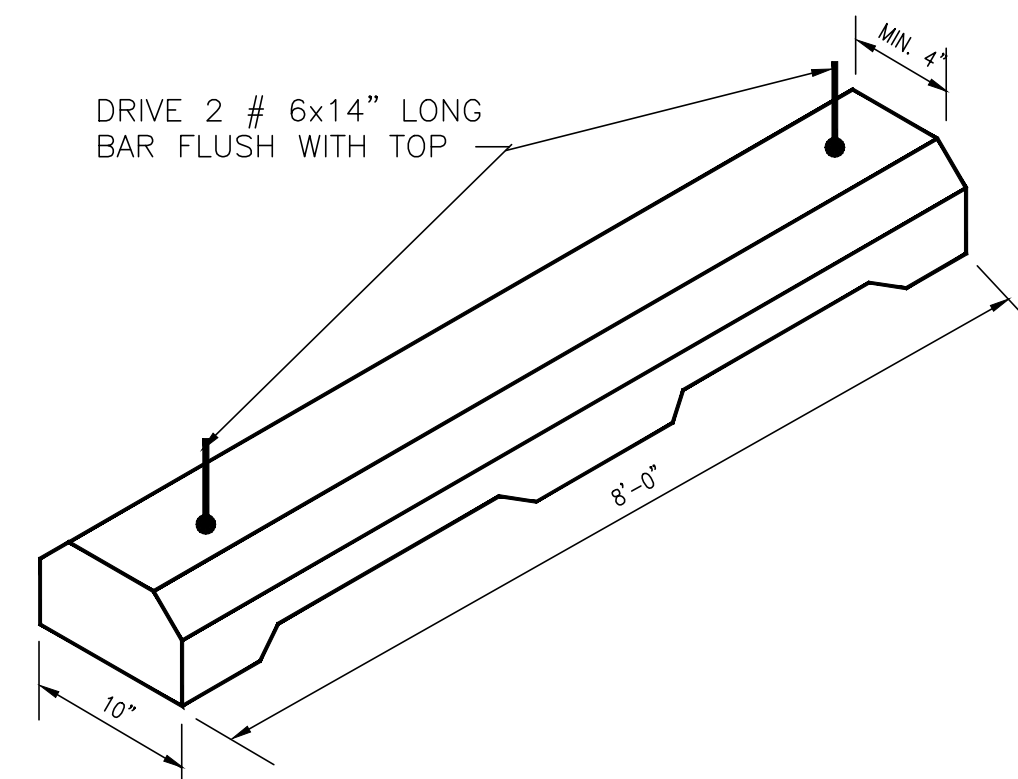
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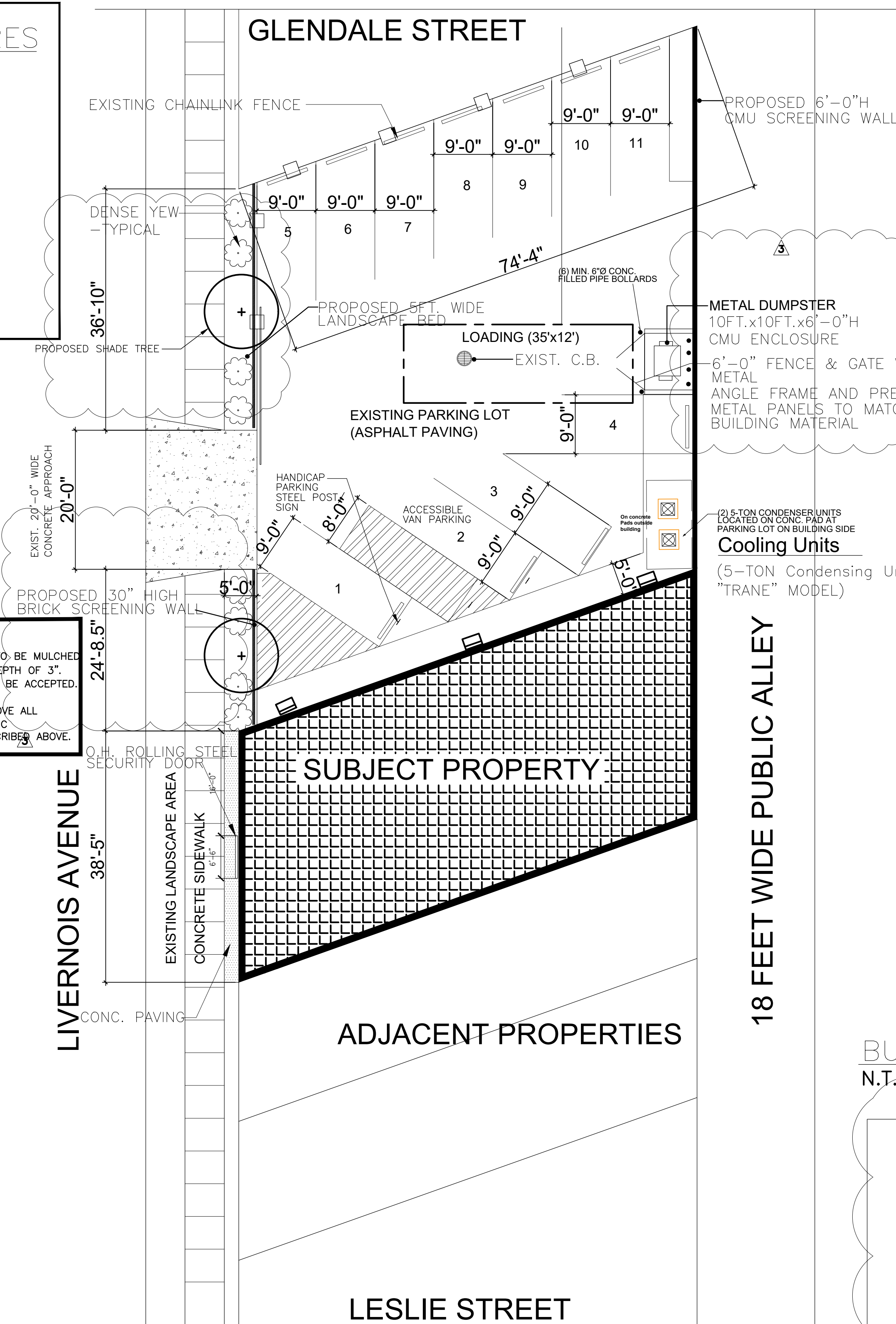
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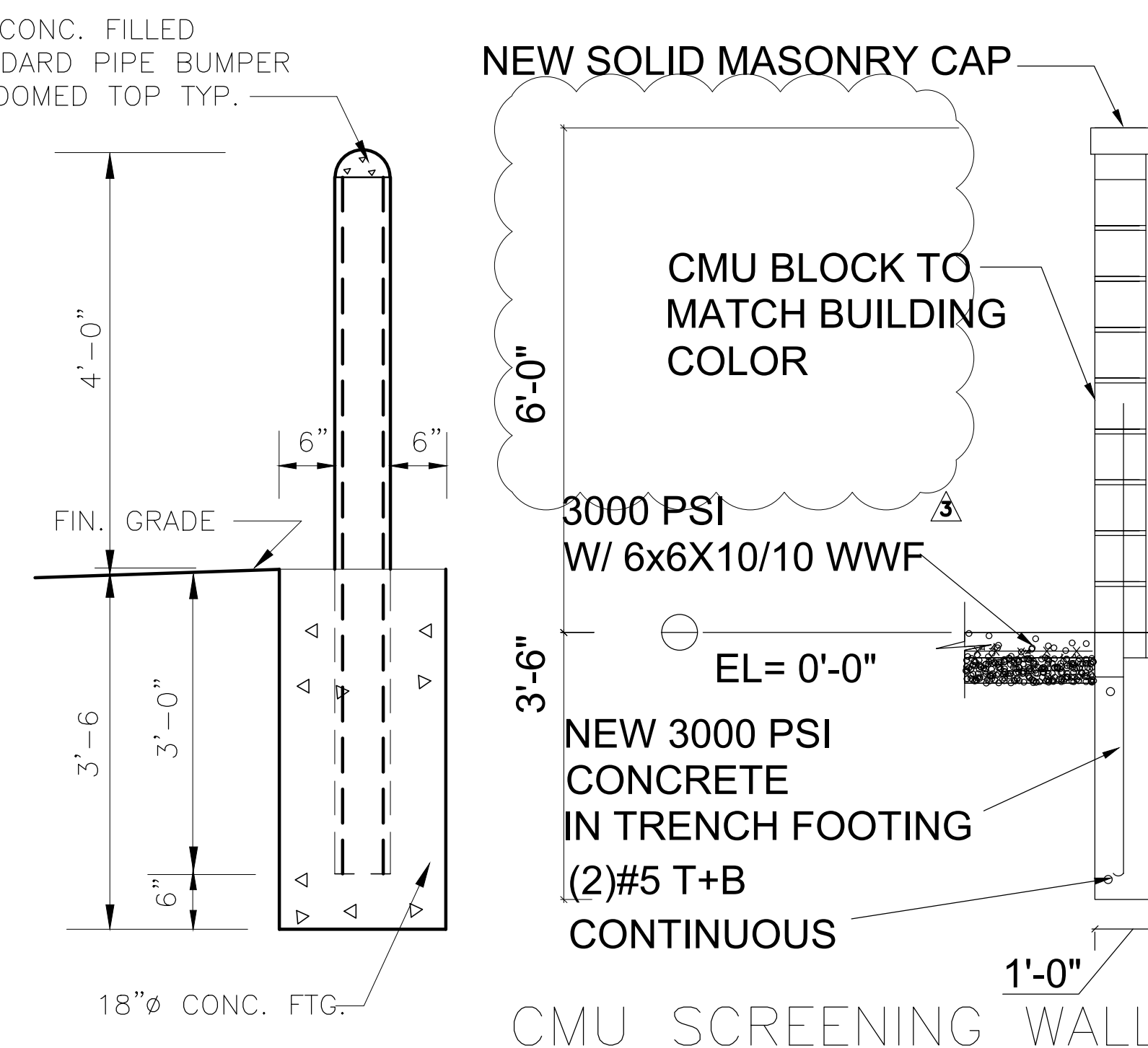
GLENDALE STREET



DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL

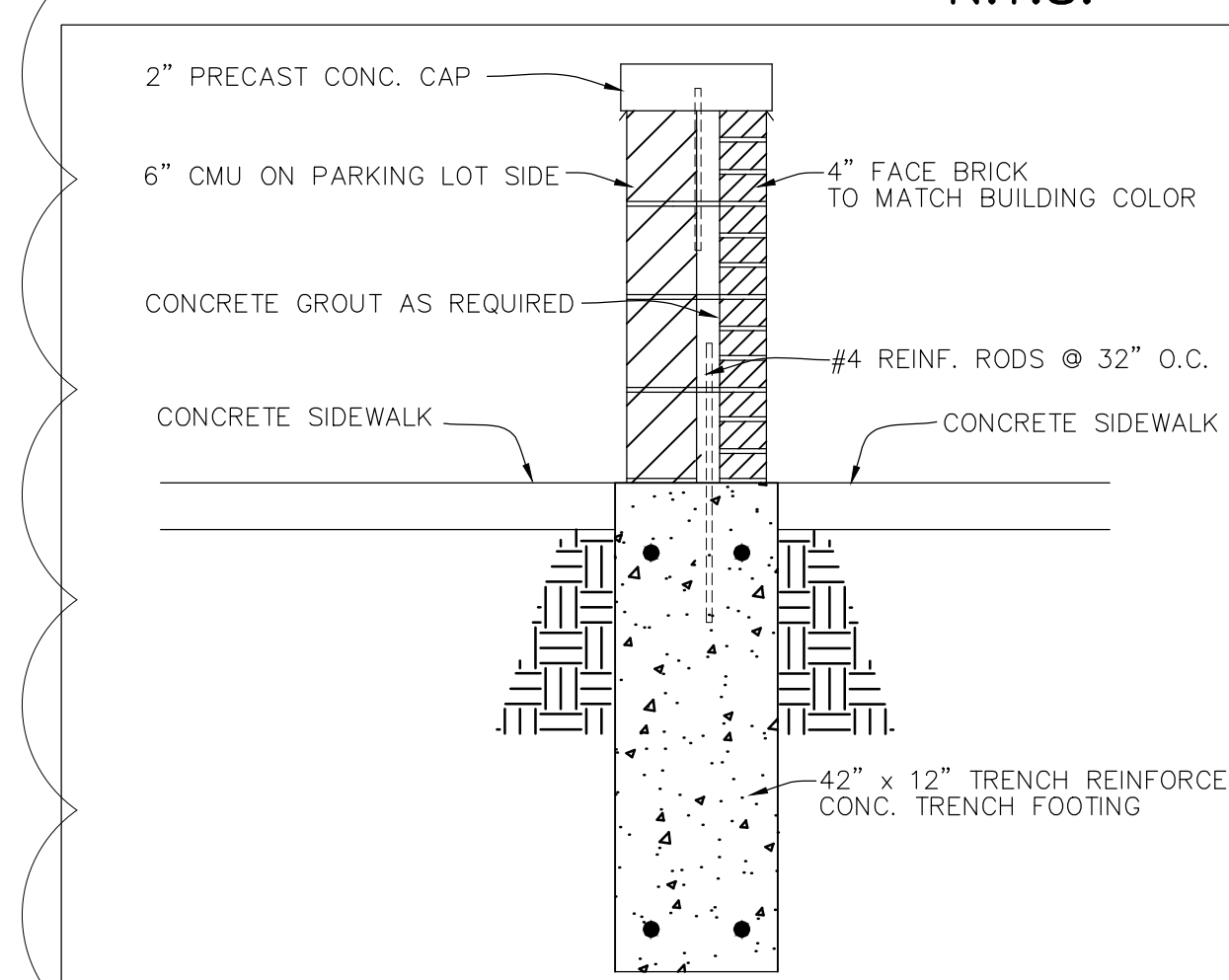
SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE



BUMPER POST DETAIL

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MASONRY/BRICK SCREENING WALL

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SCALE: 3/32" = 1'-0"

ARCHITECTURAL SITE PLAN

SCALE: 3/32" = 1'-0"

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SHEET TITLE

PROPOSED SITE PLAN

APPROVED BY:
CHECKED BY:
DESIGNED BY:
DRAWN BY:

ARCH./ENG. SEAL:
STATE OF MICHIGAN
FREDERICK IDOBU
ARCHITECT
No. 130104550
LICENSED ARCHITECT

SHEET NUMBER:
SP-101