



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 TTY: 711
WWW.DETROITMI.GOV

To: Clerk's Office
From: The Department of Public Works
City Engineering Division
MapsandRecordsBureau@DetroitMI.Gov
(313) 224-3970

Petitioner:
220 W Congress Detroit, LLC
607 Shelby, STE #350
Detroit, MI, 48226

On behalf of the above-mentioned petitioner the Department of Public Works: City Engineering Division is submitting a petition request for the below mentioned action. The petitioner has received a project consultation from the Department of Public Works: City Engineering Division and has been advised the following:

Type of action recommended:

Petition to Outright vacate the easement reserve for the vacated public alley lying westerly of the adjacent to the property commonly known as 220 W Congress.

Jered Dean
Manager II
Department of Public Works
City Engineering Division
313-224-3985



Elizabeth Rogers
erogers@taftlaw.com
(248) 727-1617

April 24, 2022

City of Detroit Department of Public Works
Maps and Records Bureau
2 Woodward Avenue, Ste.
Detroit, Michigan 48226

**Re: Vacation of north-south alley - 220 West
Congress**

Dear Sir or Madam,

This office represents petitioner 220 W. Congress Detroit, LLC ("**Petitioner**") with respect to the above referenced matter.

This correspondence is Petitioner's Letter of Intent to request the outright vacation of the north-south alley 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by the Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and legally described in **Exhibit A** attached hereto (the "**North-South Alley**").

By Petition No. 145, Petitioner requested an outright vacation of the North-South Alley, which request is reflected in a letter dated July 10, 2018 ("**July 10th Letter**") to the Detroit City Council from the City of Detroit Department of Public Works City Engineering Division ("**DPW**") attached hereto as **Exhibit B**. The July 10th Letter was subsequently amended by a July 27, 2018 letter from DPW to the Detroit City Council that requested the North-South Alley be outright vacated and instead converted to an easement. See **Exhibit C**.

On September 11, 2018, the Detroit City Council adopted a resolution (the "**Resolution**") vacating the North-South Alley as a public right-of-way and converting it into a private easement for public utilities subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution, a copy of which is attached hereto as **Exhibit D**. The Resolution was approved by the Mayor on September 17, 2018, and recorded with the Office of the Wayne County Register of Deeds on February 10, 2020 at Liber 55569, Page 1167.

The restrictions reflected in the Resolution have prevented Petitioner from completing its intended improvements within the North-South Alley, as Petitioner has been prohibited from pulling the required permits and completing work within the North-South Alley so long as the North-South Alley remains an easement for public utilities. Accordingly, Petitioner hereby requests that:

- (i) the North-South Alley be outright vacated; and
- (ii) the existing easement for public utilities be terminated, together with any and all related restrictions.

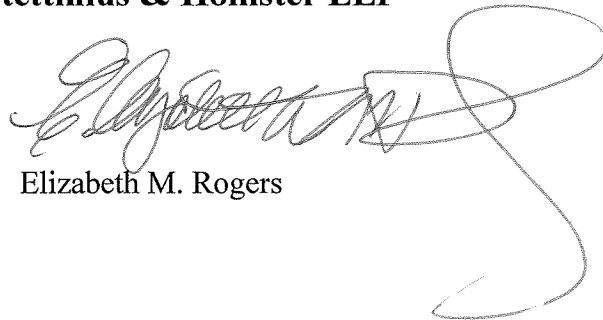
To further support its request, Petitioner has attached the following documents hereto:

1. Letter of Support from the adjacent landowner (**Exhibit E**);
2. Site Plan (**Exhibit F**);
3. Utility Plan (**Exhibit G**);
4. Confirmation from Comcast that it has no facilities impacted by removal or termination of the public utility easement within the North-South Alley (**Exhibit H**);
5. Recorded Easement Agreement from AT&T reflecting the relocation and termination of its easement from the existing public easement within the North-South Alley (**Exhibit I**); and,
6. Confirmation from the Detroit Water and Sewerage Department that it has no assets within the North-South Alley (**Exhibit J**).

If you require anything further, please do not hesitate to contact me.

Sincerely,

Taft Stettinius & Hollister LLP

A handwritten signature in black ink, appearing to read "Elizabeth M. Rogers", with a large, stylized flourish extending from the end of the signature.

Elizabeth M. Rogers

EXHIBIT A

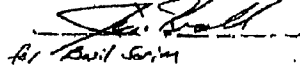
Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

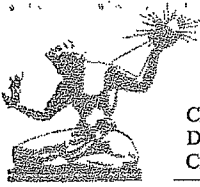
Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT


for Basil Seay

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT B



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
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DETROIT, MI 48226
PHONE: (313) 224-3949 · TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

July 10, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

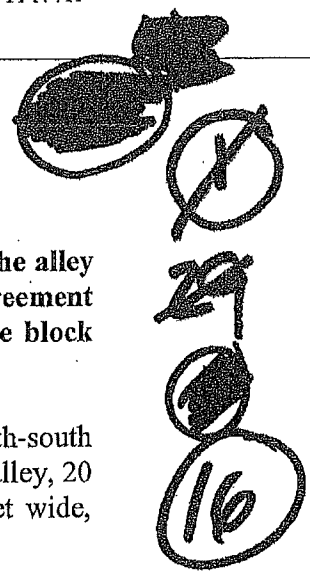
The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor’s records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department objects to this proposed change in property. The requested conversion to easement and vacation will prevent service access to neighboring businesses, fire and safety access to surrounding buildings will be affected.



ENTERED JUL 23 2018 BB L WK. (211) 2-2 (JA; AM)

ENTERED JUL 30 2018 MFFINS JA (211)

7/31/18 (Formal Session) - Send Back to Committee

CITY CLERK 2018 JUL 13 PM 12:17

ENTERED SEP 10 2018



Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE – Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE – Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$95,515.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

The attached resolution granting the request is submitted for your consideration.

Respectfully submitted,

Richard Doherty, P.E., City Engineer
City Engineering Division – DPW

/JK

Cc: Ron Brundidge, Director, DPW
Mayor's Office – City Council Liaison

BY COUNCIL MEMBER

Benson

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement or right-of-way over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth,

Second, said utility easement or right-of-way in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement or right-of-way. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,

nor change of surface grade made, without prior approval of the City Engineering Division -- DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same is hereby vacated (outright) as public right-of-way, subject to the following provisions:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE – Gas division for removal of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$95,515.95 to be borne by the petitioner, and further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

EXHIBIT C



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

1
COLEMAN A. YOUNG MUNICIPAL CENTER
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DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 311
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WWW.DETROITMI.GOV

July 27, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.

Received @ Table PHS



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

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Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE -- Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE -- Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

I am recommending adoption of the attached resolution.

Respectfully submitted,


Richard Doherty, P.E., City Engineer
City Engineering Division - DPW

/KM

Cc: Ron Brundidge, Director, DPW
Mayor's Office - City Council Liaison



CITY OF DETROIT
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BY COUNCIL MEMBER

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth;

Second, said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,



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nor change of surface grade made, without prior approval of the City Engineering Division
- DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such changes are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further



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WWW.DETROIT.CITY

provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incident to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further:

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further:

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwestery corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE - Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 711
FAX: (313) 224-3471

Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

16

**ADOPTED AS FOLLOWS
COUNCIL MEMBERS**

	YEAS	NAYS
Janee AYERS		
Scott BENSON		
Raquel CASTANEDA-LOPEZ		
Gabe LELAND		
Roy MCCALISTER, JR.		
*Mary SHEFFIELD		
Andre SPIVEY		
James TATE		
Brenda PRESIDENT JONES		
*PRESIDENT PRO TEM		
	6	0
WAIVER OF RECONSIDERATION (No. _____)		
Per motions before adjournment.		
.....		

EXHIBIT D

20 FEB-10 AM10:56

Bernard J. Youngblood
Wayne County Register of Deeds
2020033508 L: 55569 P: 1167
02/10/2020 10:58 AM RES Total Pages: 2



Department of Public Works
City Engineering Division
July 27, 2018

Honorable City Council:
Re: Petition No. 145 — 220 W. Congress Detroit, LLC request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division — DPW for investigation (utility review), and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division — DPW, and City Engineering Division — DPW, Traffic Engineering — DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:

- 1) Property owner at 201 W. Fort Street: Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street: 211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street: HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.

Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE — Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,801.84 and a provision for the relocation of DTE — Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

I am recommending adoption of the attached resolution.

Respectfully Submitted,
RICHARD DOHERTY, P.E.
City Engineer
City Engineering Division — DPW

By Council Member Ayers:
Resolved, That all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street.

STATE OF MICHIGAN) ss. SHORT FORM-TRUE COPY CERTIFICATE
CITY OF DETROIT)

I, Janice M. Winfrey CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
Set my hand and affixed the Corporate
Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
Return to:
Deborah Outlaw
2 Woodward
200 CAYMC
Detroit, MI 48226

City Clerk
Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lois 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of

the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary fire fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division — DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe bucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be it Also Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of

Congress Street, 127.45 feet to a point, said point being the southwestery corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE — Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:
Yeas — Council Members Ayers, Castaneda-Lopez, McCallister, Jr., Spivey, Tale and President Jones — 6.
Nays — None.

Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT

[Signature]
for David Swin

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT E

July 12, 2022

To: City Engineering Division-Department of Public Works
Detroit Water and Sewerage Department

Re: Enhancements to 230 West Congress St. Detroit, MI 48226

To Whom It May Concern,

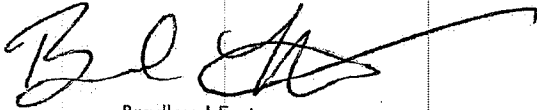
I am writing this letter to express our full support for the latest plan Mr. Basmajian has developed and wishes to implement on the parcel of land located at 230 West Congress St. Detroit, MI 48226, which is adjacent to the building 211 West Fort Detroit, LLC owns at 211 W Fort St. Detroit, MI 48226.

We find the improvements (attached to this letter) for the parcel at 230 W. Congress to be an excellent use of the space and feel the additions only enhance our building's experience and value. His plans which include an outdoor covered café space for the new restaurant in 220 W. Congress, metal sculpture light fixtures, greenery, art, and the placement of a repurposed shipping container all are a community asset for all to enjoy.

The proposed improvements will only benefit our building and tenants. We plan to re-open the now vacant restaurant off Congress Street next to 230 West Congress St. and activate the commercial space in the main lobby which will have access to the space Mr. Basmajian plans to improve. These improvements will in no way affect the infrastructure or utility services to our building as Mr. Basmajian bore the expense of relocating all the underground utilities out of the parcel. Furthermore, there are no facility services to our building that trespass that property.

Please feel free to reach out to me if there are any further questions or concerns.

All the Best,



Bradley J Foster
Manager
211 West Fort Detroit, LLC

DATE OF NOTARY: 7/12/22

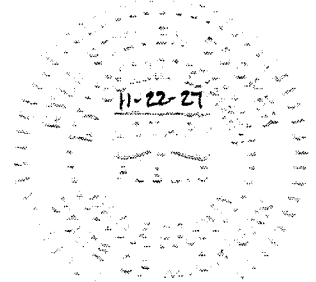


EXHIBIT F

EXTERIOR THREAD & CANOPY DESIGN

220 W. CONGRESS DETROIT, MI 48226

ARCHITECT:
STUCKY VITALE ARCHITECTS
21722 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

STRUCTURAL ENGINEER:
JOHN SWEDA (PE)
21722 WOODWARD AVE
SUITE 300
ROYAL OAK, MI 48067
(248) 571-5832

MET ENGINEER:
JAMES W. WILSON
33228 W. 12 MILE RD., UNIT 227
FARMINGTON HILLS, MICHIGAN
48334
(248) 759-5818

PROJECT DATA:
BUILDING CODE ADOPTED:
City of Detroit

OWNER:
DETROIT
625 SHAW ST
DETROIT, MI 48226

TYPE OF CONSTRUCTION:
99 - NON-COMBUSTIBLE

USE GROUP:
A2 ASSEMBLY (Exterior Canopy)

PROJECT AREA:
TOTAL BUILDING AREA & STORES: 2,077,057 SF
TOTAL BUILDING AREA: 2,077,057 SF
TOTAL STORES AREA: 48,851 SF
TOTAL PROJECT AREA: 48,851 SF
TOTAL PROJECT AREA: 48,851 SF
TOTAL PROJECT AREA: 48,851 SF

APPLICABLE CODES (COMMERCIAL):
BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2015
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE AS AMENDED 2015
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE (NEC) AS AMENDED & MICHIGAN ELECTRICAL CODE 2017
FIRE CODE: MICHIGAN FIRE CODE 2015
SAFETY CODE: MICHIGAN SAFETY CODE 2015
SPRINKLER CODE: MICHIGAN SPRINKLER CODE 2015
SIGN CODE: MICHIGAN SIGN CODE 2015

MECHANICAL CODE:
INTERNATIONAL MECHANICAL CODE AS AMENDED 2015
PUBLIC CODE:
2015 MICHIGAN FIRE ALARM CODE AS AMENDED
ELECTRICAL CODE:
2017 NATIONAL ELECTRICAL CODE (NEC) AS AMENDED & MICHIGAN ELECTRICAL CODE 2017
FIRE CODE:
2015 MICHIGAN FIRE CODE
SAFETY CODE:
2015 MICHIGAN SAFETY CODE
SPRINKLER CODE:
2015 MICHIGAN SPRINKLER CODE
SIGN CODE:
2015 MICHIGAN SIGN CODE



REVISION	DATE	DESCRIPTION
01.28.23	01.28.23	OWNER REVIEW
01.28.23	01.28.23	PERMIT REVISIONS
04.18.23	04.18.23	HOC REVISIONS

NO.	DESCRIPTION	DATE	STATUS
01	GENERAL	01.28.23	ISSUED
02	STRUCTURAL	01.28.23	ISSUED
03	ELECTRICAL	01.28.23	ISSUED
04	MECHANICAL	01.28.23	ISSUED
05	SAFETY	01.28.23	ISSUED
06	SPRINKLER	01.28.23	ISSUED
07	SIGN	01.28.23	ISSUED

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION AND QUALITY STANDARDS ACT (CQA) AND THE MICHIGAN CONSTRUCTION CODE (MCC). THE CONTRACTOR SHALL VERIFY WITH THE PROJECT LOCAL COUNTY WITH THE SAME CONSTRUCTION STANDARDS OF APPLICABLE BUILDING AND MECHANICAL REQUIREMENTS SHALL PROVIDE SHOP DRAWINGS AND MATERIALS SPECIFICATIONS TO THE REGISTERED DESIGN PROFESSIONAL AND ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

STRUCTURAL GENERAL NOTES

1. BUILDING CODES AND DESIGN STANDARDS AS APPLIED SHALL BE THE FOLLOWING:
 - A. MINIMUM BUILDING CODE: 2015
 - B. MINIMUM DESIGN CODES FOR BUILDING AND OTHER STRUCTURES: ASCE 7-16
 - C. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE: ACI 318-19
 - D. SCAFFOLD DESIGN CODES:
 - ACI 308-11
 - ASCE 108-11
 - OSHA 1926.451
 - OSHA 1926.452
 - OSHA 1926.453
 - OSHA 1926.454
 - OSHA 1926.455
 - OSHA 1926.456

2. EXISTING CONDITIONS:
 - A. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.
 - B. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.
 - C. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.
 - D. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.

3. FUTURE EXPANSION:
 - A. ALL NEW CONSTRUCTION SHALL BE DESIGNED FOR FUTURE EXPANSION AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.

4. CONCRETE:
 - A. ALL CONCRETE SHALL BE DESIGNED AND CAST TO THE FOLLOWING:
 - 1. DESIGN STRENGTH: AS PER SECTION 05100
 - 2. MODULUS OF ELASTICITY: AS PER SECTION 05100
 - 3. CURING: AS PER SECTION 05100
 - 4. PROTECTIVE COATING: AS PER SECTION 05100

5. STEEL:
 - A. ALL STEEL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - 1. DESIGN STRENGTH: AS PER SECTION 05210
 - 2. WELDING: AS PER SECTION 05210
 - 3. PAINTING: AS PER SECTION 05210

6. REINFORCING BARS:
 - A. ALL REINFORCING BARS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - 1. DESIGN STRENGTH: AS PER SECTION 05310
 - 2. WELDING: AS PER SECTION 05310
 - 3. PAINTING: AS PER SECTION 05310

7. FOUNDATION:
 - A. ALL FOUNDATION SHALL BE DESIGNED AND CONSTRUCTED TO THE FOLLOWING:
 - 1. DESIGN STRENGTH: AS PER SECTION 05410
 - 2. MODULUS OF ELASTICITY: AS PER SECTION 05410
 - 3. CURING: AS PER SECTION 05410
 - 4. PROTECTIVE COATING: AS PER SECTION 05410

8. OTHER NOTES:
 - A. ALL OTHER NOTES SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.

D. IF INDIVIDUAL THE WEIGHTS ARE LESS THAN 170 LB, USE NON-DEEP AND SHALLOW PAVING AND PROVIDE GENERAL REINFORCEMENT ON CHANGES. REFER SUBSECTION 05. THE PROTECTIVE TREATMENT.

E. ALL UNDEVELOPED AREAS SHALL BE PROTECTED FROM PLACED GRANULAR MATERIALS OR CONSTRUCTION AND REPAIRS TO PROTECT EXISTING MATERIALS. ALL AREAS THAT FALL UNDER FUTURE CONSTRUCTION SHALL BE PROTECTED FROM PLACED GRANULAR MATERIALS OR CONSTRUCTION AND REPAIRS TO PROTECT EXISTING MATERIALS.

F. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE. EXISTING FOUNDATION SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.

G. ALL REINFORCING BARS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:

- 1. DESIGN STRENGTH: AS PER SECTION 05310
- 2. WELDING: AS PER SECTION 05310
- 3. PAINTING: AS PER SECTION 05310

H. ALL CONCRETE SHALL BE DESIGNED AND CAST TO THE FOLLOWING:

- 1. DESIGN STRENGTH: AS PER SECTION 05100
- 2. MODULUS OF ELASTICITY: AS PER SECTION 05100
- 3. CURING: AS PER SECTION 05100
- 4. PROTECTIVE COATING: AS PER SECTION 05100

I. ALL STEEL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:

- 1. DESIGN STRENGTH: AS PER SECTION 05210
- 2. WELDING: AS PER SECTION 05210
- 3. PAINTING: AS PER SECTION 05210

J. ALL FOUNDATION SHALL BE DESIGNED AND CONSTRUCTED TO THE FOLLOWING:

- 1. DESIGN STRENGTH: AS PER SECTION 05410
- 2. MODULUS OF ELASTICITY: AS PER SECTION 05410
- 3. CURING: AS PER SECTION 05410
- 4. PROTECTIVE COATING: AS PER SECTION 05410

K. ALL OTHER NOTES SHALL BE AS SHOWN ON THE PLANS UNLESS NOTED OTHERWISE.

CONCRETE

1. ALL CONCRETE SHALL BE DESIGNED AND CAST TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05100
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05100
 - C. CURING: AS PER SECTION 05100
 - D. PROTECTIVE COATING: AS PER SECTION 05100
2. CONCRETE SHALL BE DESIGNED AND CAST TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05100
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05100
 - C. CURING: AS PER SECTION 05100
 - D. PROTECTIVE COATING: AS PER SECTION 05100
3. CONCRETE SHALL BE DESIGNED AND CAST TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05100
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05100
 - C. CURING: AS PER SECTION 05100
 - D. PROTECTIVE COATING: AS PER SECTION 05100

STEEL

1. ALL STEEL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05210
 - B. WELDING: AS PER SECTION 05210
 - C. PAINTING: AS PER SECTION 05210
2. ALL STEEL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05210
 - B. WELDING: AS PER SECTION 05210
 - C. PAINTING: AS PER SECTION 05210
3. ALL STEEL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05210
 - B. WELDING: AS PER SECTION 05210
 - C. PAINTING: AS PER SECTION 05210

REINFORCING BARS

1. ALL REINFORCING BARS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05310
 - B. WELDING: AS PER SECTION 05310
 - C. PAINTING: AS PER SECTION 05310
2. ALL REINFORCING BARS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05310
 - B. WELDING: AS PER SECTION 05310
 - C. PAINTING: AS PER SECTION 05310
3. ALL REINFORCING BARS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05310
 - B. WELDING: AS PER SECTION 05310
 - C. PAINTING: AS PER SECTION 05310

FOUNDATIONS

1. ALL FOUNDATION SHALL BE DESIGNED AND CONSTRUCTED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05410
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05410
 - C. CURING: AS PER SECTION 05410
 - D. PROTECTIVE COATING: AS PER SECTION 05410
2. ALL FOUNDATION SHALL BE DESIGNED AND CONSTRUCTED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05410
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05410
 - C. CURING: AS PER SECTION 05410
 - D. PROTECTIVE COATING: AS PER SECTION 05410
3. ALL FOUNDATION SHALL BE DESIGNED AND CONSTRUCTED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05410
 - B. MODULUS OF ELASTICITY: AS PER SECTION 05410
 - C. CURING: AS PER SECTION 05410
 - D. PROTECTIVE COATING: AS PER SECTION 05410

WOOD

1. ALL WOOD SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05510
 - B. WELDING: AS PER SECTION 05510
 - C. PAINTING: AS PER SECTION 05510
2. ALL WOOD SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05510
 - B. WELDING: AS PER SECTION 05510
 - C. PAINTING: AS PER SECTION 05510
3. ALL WOOD SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05510
 - B. WELDING: AS PER SECTION 05510
 - C. PAINTING: AS PER SECTION 05510

GLASS

1. ALL GLASS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05610
 - B. WELDING: AS PER SECTION 05610
 - C. PAINTING: AS PER SECTION 05610
2. ALL GLASS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05610
 - B. WELDING: AS PER SECTION 05610
 - C. PAINTING: AS PER SECTION 05610
3. ALL GLASS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05610
 - B. WELDING: AS PER SECTION 05610
 - C. PAINTING: AS PER SECTION 05610

METALS

1. ALL METALS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05710
 - B. WELDING: AS PER SECTION 05710
 - C. PAINTING: AS PER SECTION 05710
2. ALL METALS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05710
 - B. WELDING: AS PER SECTION 05710
 - C. PAINTING: AS PER SECTION 05710
3. ALL METALS SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05710
 - B. WELDING: AS PER SECTION 05710
 - C. PAINTING: AS PER SECTION 05710

MECHANICAL

1. ALL MECHANICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05810
 - B. WELDING: AS PER SECTION 05810
 - C. PAINTING: AS PER SECTION 05810
2. ALL MECHANICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05810
 - B. WELDING: AS PER SECTION 05810
 - C. PAINTING: AS PER SECTION 05810
3. ALL MECHANICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05810
 - B. WELDING: AS PER SECTION 05810
 - C. PAINTING: AS PER SECTION 05810

ELECTRICAL

1. ALL ELECTRICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05910
 - B. WELDING: AS PER SECTION 05910
 - C. PAINTING: AS PER SECTION 05910
2. ALL ELECTRICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05910
 - B. WELDING: AS PER SECTION 05910
 - C. PAINTING: AS PER SECTION 05910
3. ALL ELECTRICAL SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 05910
 - B. WELDING: AS PER SECTION 05910
 - C. PAINTING: AS PER SECTION 05910

PLUMBING

1. ALL PLUMBING SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 06010
 - B. WELDING: AS PER SECTION 06010
 - C. PAINTING: AS PER SECTION 06010
2. ALL PLUMBING SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 06010
 - B. WELDING: AS PER SECTION 06010
 - C. PAINTING: AS PER SECTION 06010
3. ALL PLUMBING SHALL BE DESIGNED AND FABRICATED TO THE FOLLOWING:
 - A. DESIGN STRENGTH: AS PER SECTION 06010
 - B. WELDING: AS PER SECTION 06010
 - C. PAINTING: AS PER SECTION 06010

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Project:
**THE RAMP AND CANOPY
EXTENSION DESIGN
DETROIT, MI 48226**

Issued for:
**6/23/20
FINAL DESIGN
HCC #8889
04/25/20**

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Sheet No.: 2022.002

\$0.0

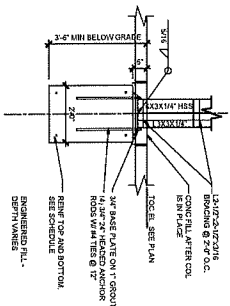
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FOUNDATION PLAN NOTES:

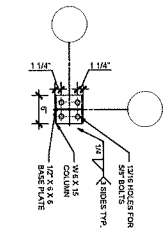
1. REFER TO SHEET S1.0 FOR GENERAL NOTES AND SPECIFICATIONS
2. FOOTINGS AND SILL ARE TO BE ON ENGINEERED FILL OR 3000 PSI SAND BEARING CAPACITY FILL WITH VIBES.

FOOTING SCHEDULE			
MARK	SIZE	THICKNESS	REINFORCING
F-1	1'-6"	1'-0"	5#4, 5#4
F-2	1'-6"	1'-0"	5#4, 5#4
F-3	VIBES	3'-0"	5#4, 5#4

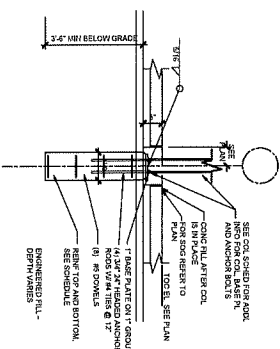
BEAR ON SOLID TESTED SOIL AT EXISTING FTO DEPTH OR DEEPER AS REQ'D



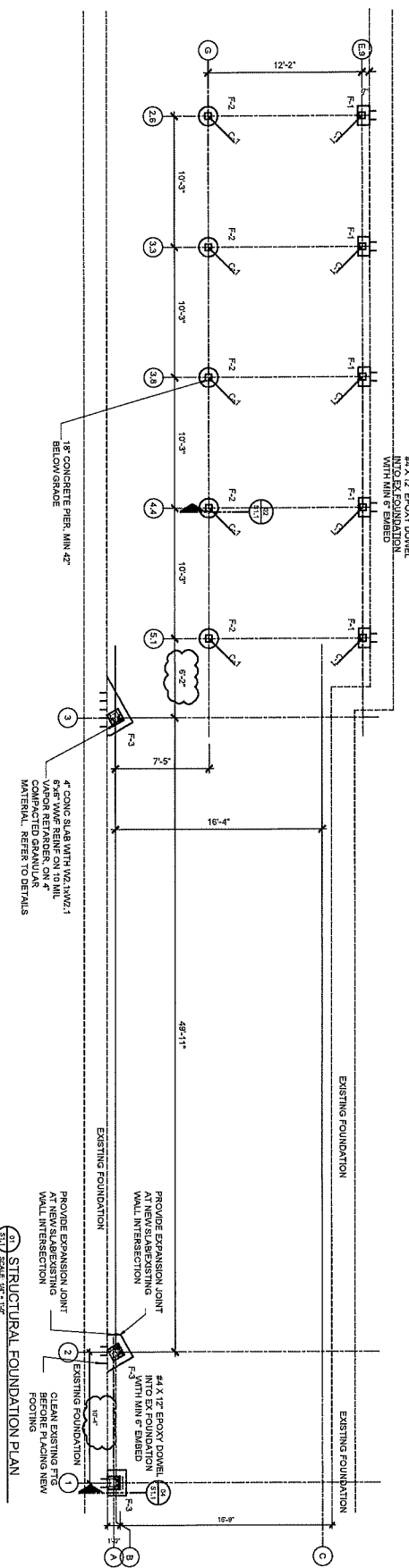
(a) **THREAD CONNECTION**
SCALE 1/2" = 1'-0"



(b) **BASE PLATE DETAIL**
SCALE 3/4" = 1'-0"



(c) **FOUNDATION DETAIL**
SCALE 1/2" = 1'-0"



(d) **STRUCTURAL FOUNDATION PLAN**
SCALE 1/4" = 1'-0"

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Sheet No.:	S1.1

Drawn By:
Checked By:
JAV/MB/KJD

Sheet Title:
FOUNDATION PLANS

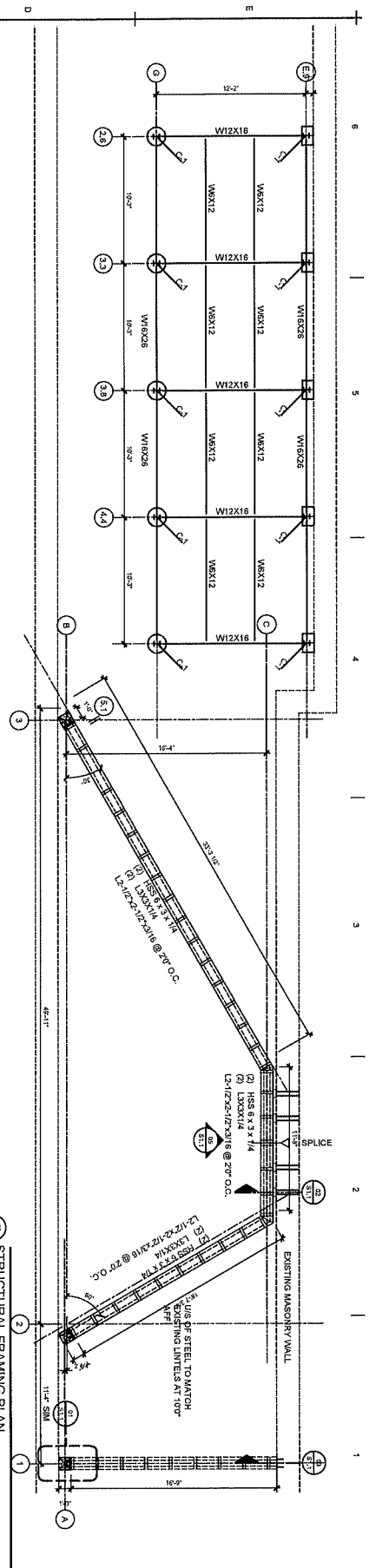
Project:
THREAD AND CANOPY
220 W. CONGRESS
DETROIT, MI 48226

Issued for:
DATE: 08/20/23
PROJECT: F1411
HOC: REMAINS
DATE: 08/23/23

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CONTRACTOR:
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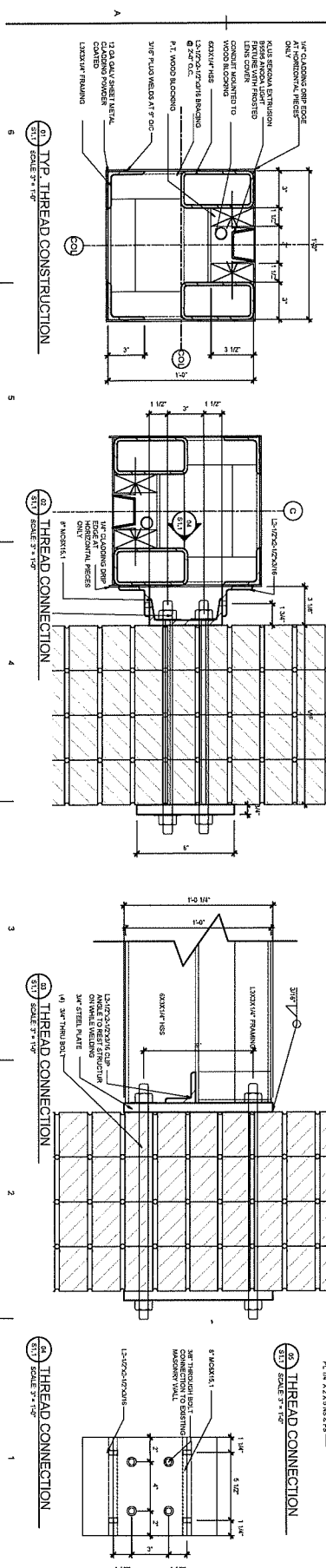
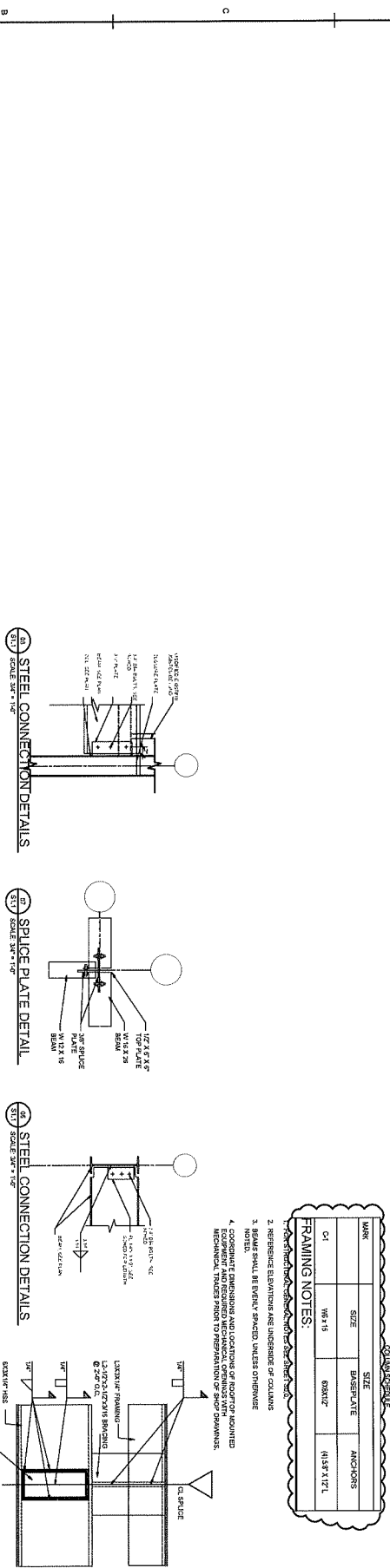
20 STRUCTURAL FRAMING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

MARK	SIZE	BASE PLATE	ANCHORS
C1	W8 x 15	6000X	41.5" x 12"

FRAMING NOTES:

1. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
2. REFERENCE ELEVATIONS ARE UNDERNEATH OR COLLARS.
3. BEAMS SHALL BE EVENLY SPACED UNLESS OTHERWISE NOTED.
4. CONSIDER ALL BEAMS AND COLLARS TO BE UNFINISHED UNLESS OTHERWISE NOTED.



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BY TONYON DESIGN
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DETROIT, MI 48225

Issued for:
6/28/22
FINAL DESIGN
2/22/23
HCH/ERSONS OMS/CS

Drawn by: JAV
Checked by: JAV
Scale: 1/8" = 1'-0"

Project No.: 2022-002
Sheet No.: S1.2
Sheet Title: FRAMING PLAN

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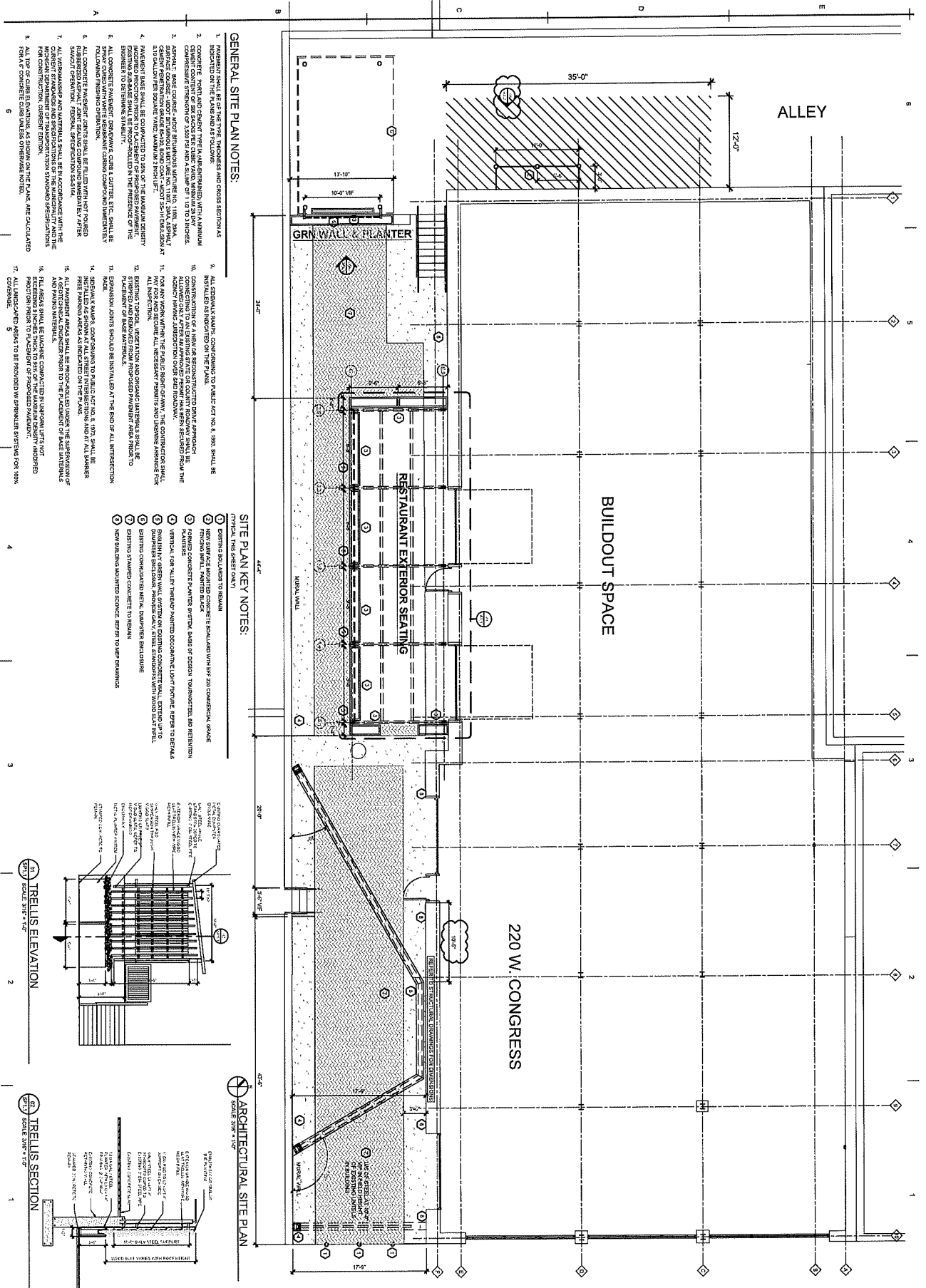
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STREET VITAL ARCHITECTS
 21717 WOODWARD AVENUE
 ANN ARBOR, MI 48106-9715
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 F: 734.544.4301
 WWW.STREETVITAL.COM

PROJECT: 220 W. CONGRESS
DESIGNER: STUCKY WIEDE ARCHITECTS
 220 W. CONGRESS
 DETROIT, MI 48226

DATE: 02.20.23
PROJECT NUMBER: 02.20.23
HOC NUMBER: 048.23

CONTRACTOR:

W. CONGRESS

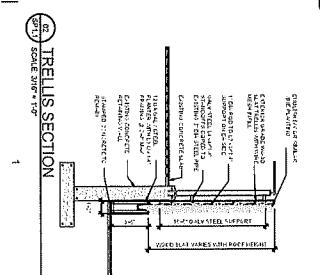
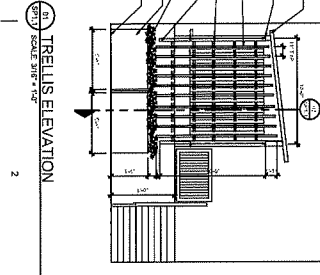


GENERAL SITE PLAN NOTES:

1. DIMENSIONS SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTIONS INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
3. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
4. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
5. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
6. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
7. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
8. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
9. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
10. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
11. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
12. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
13. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
14. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
15. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
16. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:
17. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE GENERAL NOTES TO THE PLANS AND AS FOLLOWS:

SITE PLAN KEY NOTES:

1. EXISTING BUILDING TO REMAIN
2. NEW CONCRETE FOUNDATION
3. EXISTING CONCRETE FOUNDATION
4. EXISTING CONCRETE FOUNDATION
5. EXISTING CONCRETE FOUNDATION
6. EXISTING CONCRETE FOUNDATION
7. EXISTING CONCRETE FOUNDATION
8. EXISTING CONCRETE FOUNDATION
9. EXISTING CONCRETE FOUNDATION
10. EXISTING CONCRETE FOUNDATION
11. EXISTING CONCRETE FOUNDATION
12. EXISTING CONCRETE FOUNDATION
13. EXISTING CONCRETE FOUNDATION
14. EXISTING CONCRETE FOUNDATION
15. EXISTING CONCRETE FOUNDATION
16. EXISTING CONCRETE FOUNDATION
17. EXISTING CONCRETE FOUNDATION



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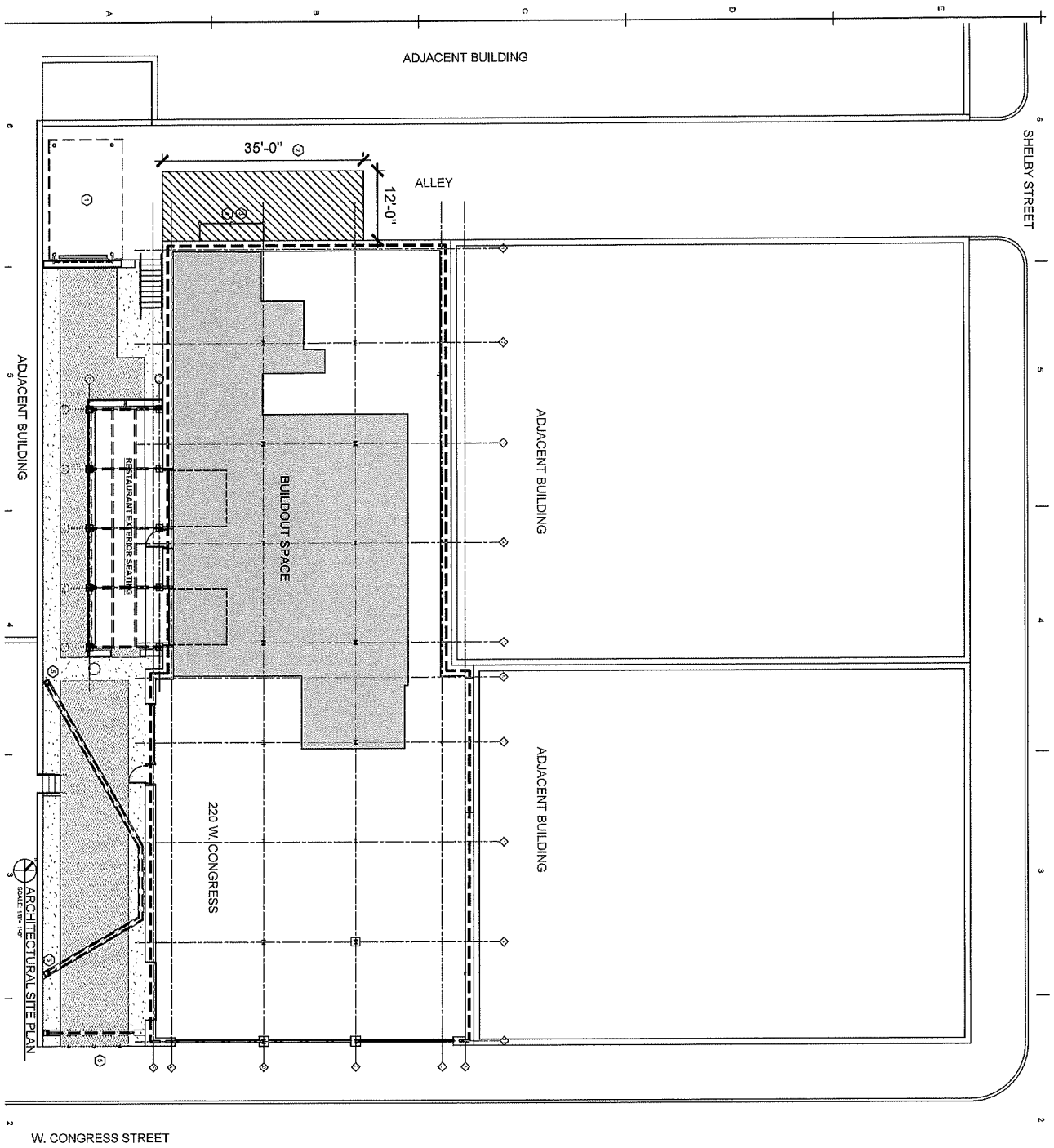
Project No.: 2022.002

Sheet No.: SP1.1

Drawn By: JAV/MB, AD

Checked By: JAV/MB, AD

Site Plan:

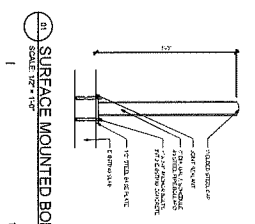
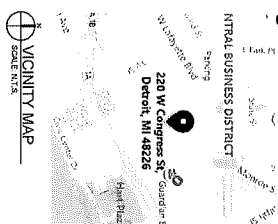


GENERAL SITE PLAN NOTES:

1. PAYMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS.
2. CONCRETE SHALL BE PLACED IN ACCORDANCE WITH A MINIMUM COVER OF 3.00 IN. AND A SLAB OF 11.75 INCHES.
3. ASPHALT SHALL BE PLACED IN ACCORDANCE WITH THE 2008 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION.
4. PAVEMENT SHALL BE CONFORMED TO 95% OF THE MAXIMUM DENSITY. ACCEPTED SHALL BE PROVIDED IN THE PRESENCE OF THE ENGINEER'S DETERMINATION.
5. ALL CONCRETE SHALL BE PLACED WITH A MINIMUM OF 10% FINE AGGREGATE.
6. ALL CONCRETE JOINTS SHALL BE FILLED WITH HOT FUSED SANDSTRENGTH FEDERAL SPECIFICATION SPS-10.
7. ALL VERTICAL CURBS AND WALLS SHALL BE IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
8. ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" FINISH FINISH.
9. ALL SLOPES SHALL BE CONFORMED TO PUBLIC ACT NO. 184, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING DRIVE OR CONTOUR SHALL BE ALIGNED AND ADJUSTED TO MATCH THE EXISTING DRIVE OR CONTOUR.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS AND UNDER THE PROVISIONS FOR ALL NECESSARY PERMITS.
12. EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RIGID SIGNATURE MARKS, CONFORMING TO PUBLIC ACT NO. 184, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
14. ALL MAINTENANCE AREAS SHALL BE PROVIDED UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER PRIOR TO THE PLACEMENT OF PAVED MATERIALS AND FILL AREAS SHALL BE MACHINE COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
15. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR.
16. ALL UTILITIES SHALL BE IDENTIFIED AND PROTECTED BY THE CONTRACTOR.

SITE PLAN KEY NOTES:

1. LOCATION OF EXISTING CURBS AND TRAIL CONNECTIONS.
2. EXISTING CURBS TO BE REPLACED.
3. SURFACE MOUNTED CONCRETE FILLED STEEL PIPE BOLLARD, REFER TO DETAILS OF THIS DRAWING FOR MORE INFORMATION.
4. ARCHITECTURAL LIGHTING ELEMENT.



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Drawn by:
 SVA
 JAV/MAE/ADU
 OVERSIGHT SITE PLAN

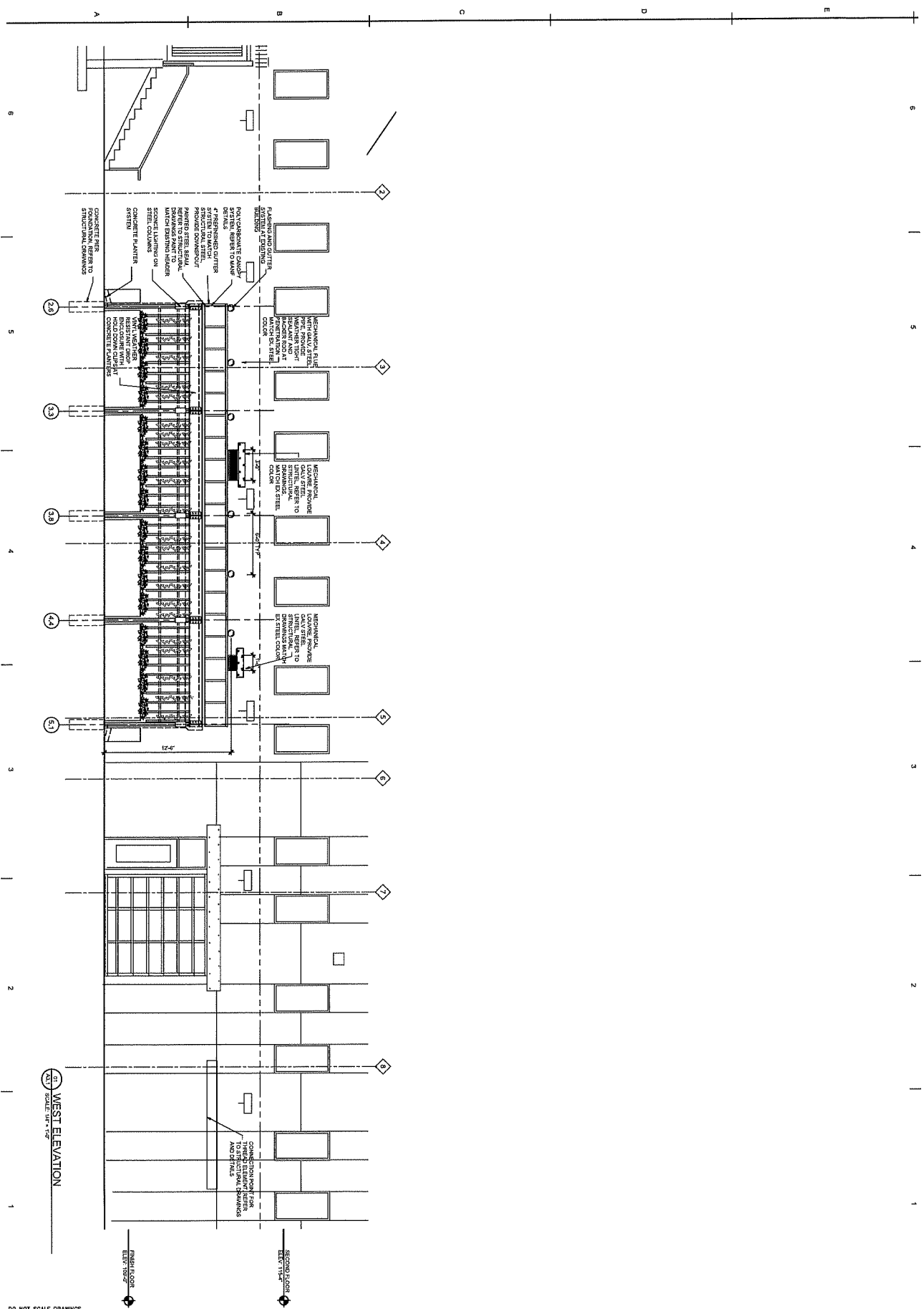
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Sheet No.:
 SP1.2

Consultants:
 THRESD AND CANOPY
 EXTERIOR DESIGN
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Issued for:
 03/20/22
 PERMIT REVISIONS 03/20/22
 HDC REVISIONS 04/28/22

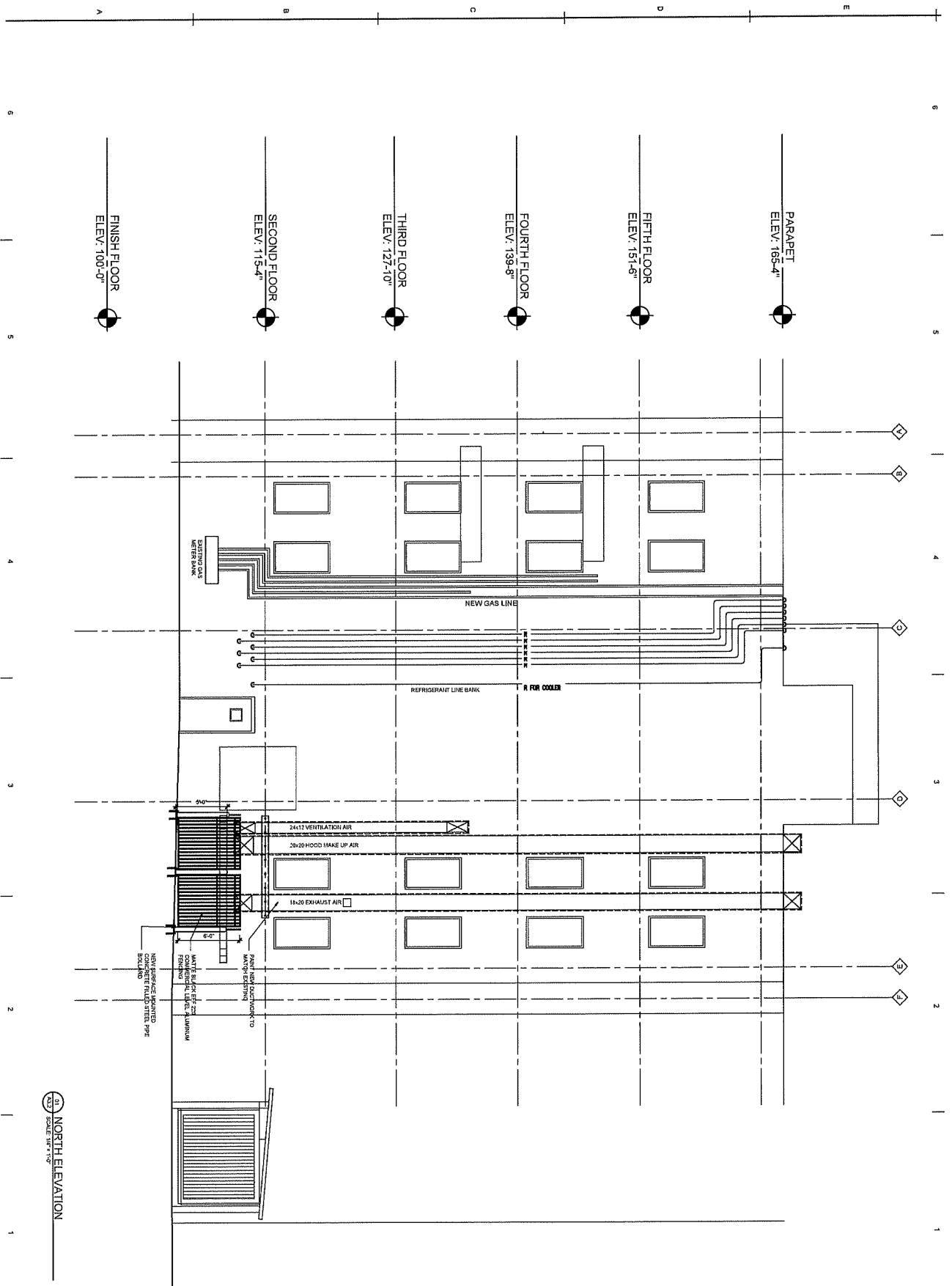
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 Checked by:
 JAV, MJB, AJO
 SHAW TIRI
 EXTERIOR
 ELEVATIONS

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Sheet No.:
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NORTH ELEVATION

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 FERRIT RENOVOS 08.20.23
 HDC RENOVOS 04.18.23

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DATE: 08.20.23
 TIME: 08:20:23
 USER: JAV/MLB/AJD
 PROJECT: TRENCH AND CANOPY
 SHEET: A3.2

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6 5 4 3 2 1

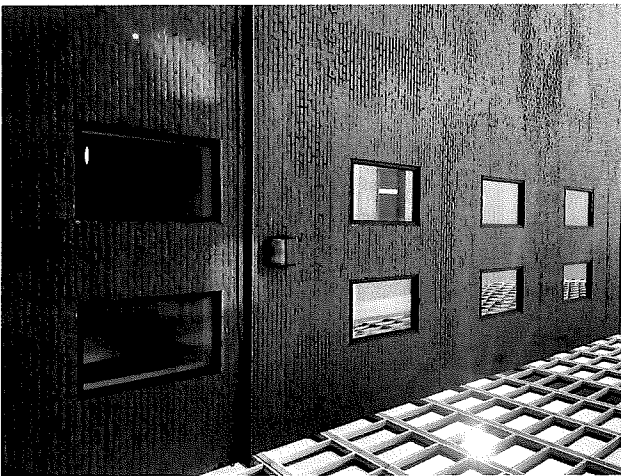


EXISTING FACADE FOR PLACEMENT OF NEW CANOPY

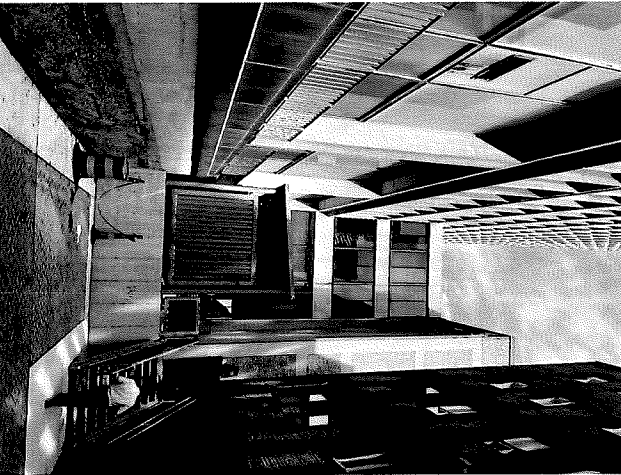


EXISTING FACADE FOR PLACEMENT OF NEW CANOPY AND NEW GLASS PARTITIONS

6 5 4 3 2 1



EXISTING FACADE TO ROUTE NEW DOOR WORK TO ROOF STRUCTURE



EXISTING QUARTER ENCLICING TO BE CLAD WITH NEW GREEN WALL SYSTEM

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 DETROIT, MI 48226

Rendered by:
 02/20/20
 PENNY PEROMB 02/20/20
 HCC PEROMB 02/20/20

Drawn by:
 SVA
 Checked by:
 JAV, MAB, AAD
Sheet Title:
 EXTERIOR PHOTOS

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Sheet No.:
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A B C D E

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 EXTERIOR DESIGN
 DETROIT, MI 48226

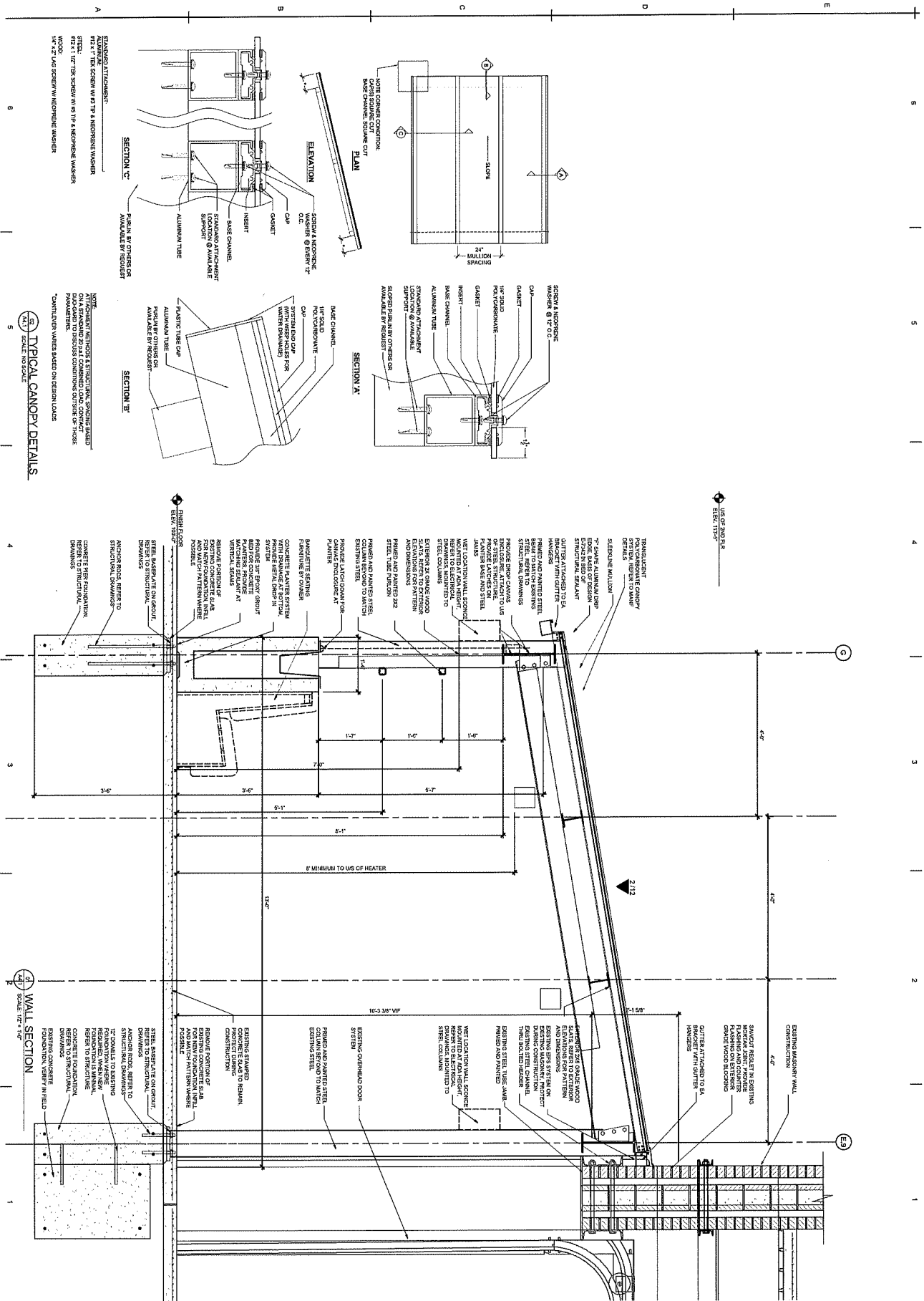
Issued for:
 FRANK PERROW
 HDC PERROW
 DETROIT, MI 48226

Drawn by:
 OSW
 Checked by:
 SWS

Sheet Title:
 EXTERIOR
 RENDERINGS

Project No.:
 2022.002
 Sheet No.:
 A3.4

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SVA
 STREET VINE ARCHITECTS
 2112 WOODWARD AVENUE
 SUITE 1000, OAK RIDGE, MI 48867-9015
 P: 248.544.4100
 F: 248.544.4854
 WWW.STREETVINE.COM

CONSULTANT:
 CONSULTANT ARCHITECTS
 10000 WOODLAND AVENUE, SUITE 100
 OAK RIDGE, MI 48867-9015
 P: 248.544.4100
 F: 248.544.4854
 WWW.STREETVINE.COM

PROJECT:
 THIRD AND CANOPY
 2201 W. CONGRESS
 DETROIT, MI 48226

ISSUED FOR:
 08.20.20
 PERMIT REVISION 08.20.20
 HCC REVISION 04.20.20

DRAWN BY:
 Checked by:
 JAV, MAB, AAD

SHEET TITLE:
 SECTIONS AND
 DETAILS

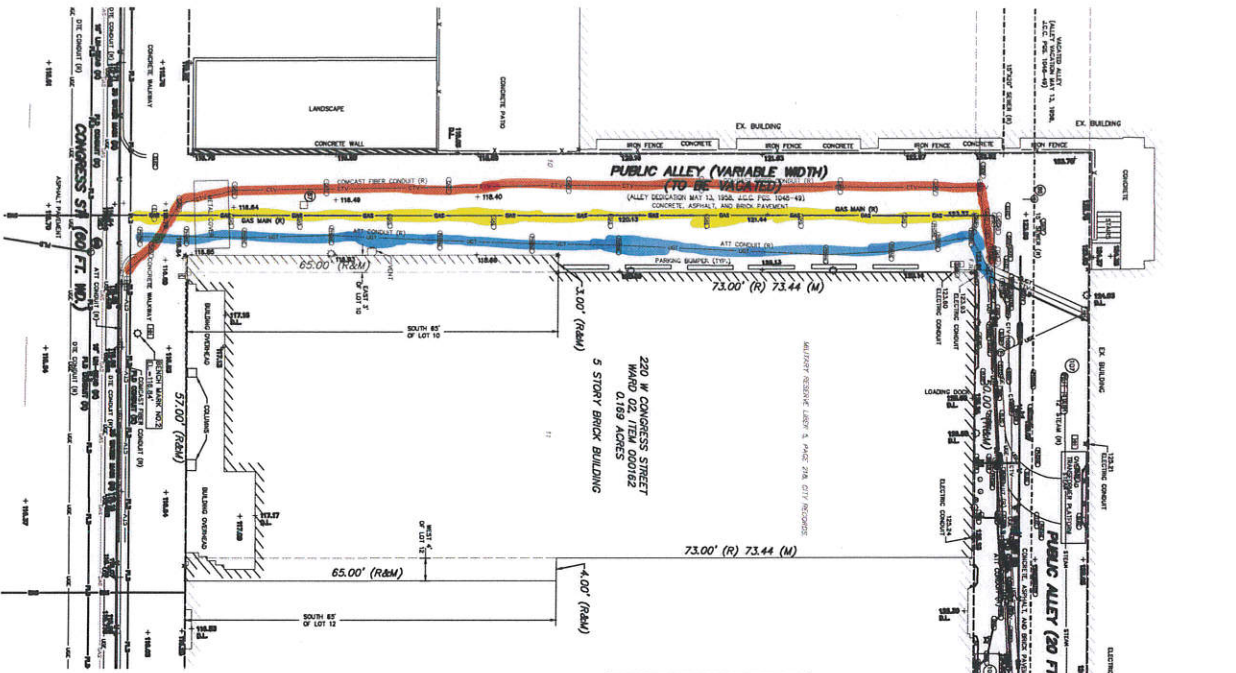
Project No.:
 2022.002

Sheet No.:
 A4.1

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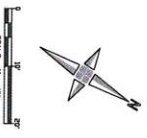
EXHIBIT G

* AT & T - Blue
 * Comcast - Orange
 * Mich Con Gas - Yellow



SCHEDULE OF STRUCTURES

STRUCTURAL TYPE	NO. OF PYS	AREA	CUBIC	VOLUME	COMMENTS
CONCRETE FOUNDATION	127	127.00	0.00	127.00	
CONCRETE WALL	11	11.00	11.00	121.00	
CONCRETE FLOOR	11	11.00	11.00	121.00	
CONCRETE ROOF	11	11.00	11.00	121.00	
STEEL	11	11.00	11.00	121.00	
WOOD	11	11.00	11.00	121.00	
BRICK	11	11.00	11.00	121.00	
GLASS	11	11.00	11.00	121.00	
ASBESTOS	11	11.00	11.00	121.00	
PLASTER	11	11.00	11.00	121.00	
CEILING	11	11.00	11.00	121.00	
FLOORING	11	11.00	11.00	121.00	
MECHANICAL	11	11.00	11.00	121.00	
ELECTRICAL	11	11.00	11.00	121.00	
PLUMBING	11	11.00	11.00	121.00	
HAZARDOUS MATERIAL	11	11.00	11.00	121.00	
ENVIRONMENTAL	11	11.00	11.00	121.00	
ASBESTOS	11	11.00	11.00	121.00	
LEAD	11	11.00	11.00	121.00	
PCB	11	11.00	11.00	121.00	
OTHER	11	11.00	11.00	121.00	



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 Active DS
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 Denver, CO 80202
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 (313) 863-8888

Existing Conditions Plan

220 W Congress Remodeling

Date: 02/27/2016
 Scale: 1/8" = 1'-0"
 Project: 15877-110

EXHIBIT H



October 28, 2022

VIA ELECTRONIC MAIL

Mr. Hari Krishna
Construction Projects Manager
Basco
220 W. Congress, Suite 200
Detroit, MI 48226
Via email: harik@bascomi.com

**RE: 220 W. Congress
Detroit, MI**

Dear Mr. Krishna,

Comcast is in receipt of a notice that the easement located on the above referenced property is being abandoned and requesting confirmation that Comcast has no facilities impacted by removal of the easement. We have reviewed the request and determined that Comcast has no facilities in the easement and, therefore, no objection to its removal/abandonment.

Should you have any questions or concerns regarding this matter, please do not hesitate to contact me directly at (734) 359-1474.

Thank you for your attention to this important matter.

Sincerely,

Sheila Schuch

Sheila Schuch
Construction Specialist 2
Comcast Cable

EXHIBIT I

AT&T EASEMENT AGREEMENT

WHEREAS, on or around September 11, 2018, the Detroit City Council adopted the resolution attached hereto as Exhibit A (the "Resolution"), which vacated the public right-of-way and converted into a private easement for public utilities (the "Easement") the real property legally described in the attached Exhibit B (the "Property").

WHEREAS, according to the Resolution, the Easement ran the full width of the right of way, subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution.

WHEREAS, Michigan Bell Telephone Company, a Michigan corporation, d/b/a AT&T Michigan, whose address is 444 Michigan Avenue, Detroit, Michigan, 48226 and its affiliates and licensees, successors and assigns (collectively "Grantee") benefit from the Easement.

WHEREAS, 220 W Congress Detroit LLC, a Michigan limited liability company whose address is 220 W. Congress, Detroit, MI 48226 ("Grantor") and Grantee have agreed to relocate the Easement and remove all restrictions related thereto, as set forth herein.

NOW, THEREFORE, in exchange for One and 00/100 Dollar (\$1.00), the receipt of which is hereby acknowledged, Grantor and Grantee agree as follows:

1. The Easement as described in the Resolution is hereby vacated with respect to Grantee's interest, and any and all restrictions located within and/or relating to the Easement for the benefit of Grantee are hereby terminated.
2. Grantor hereby warrants, grants, and conveys to Grantee the five (5) foot easement legally described in Exhibit C attached hereto and reflected in Exhibit D attached hereto and labeled, "5' (five foot) Westerly easement to AT&T" (the "Revised Easement Area"), for the purposes of and in order to construct, reconstruct, modify, supplement, maintain, operate and/or remove facilities for the transmission of signals used in the provision of communication, video and/or information services and/or any other services or uses for which such facilities may be used including, but not limited to, cables, wires, conduits, ducts, below-ground cable or wire enclosures, handholes, manholes, underground vaults, and other related or useful equipment, fixtures, appurtenances and facilities, which may from time to time be required, together with the right of ingress and egress across the Property for the purpose of access to and use of the Revised Easement Area.
3. Grantee expressly acknowledges, agrees and consents to Grantor, at Grantor's sole cost and expense, making the improvements reflected in Exhibit D attached hereto within the Revised Easement Area ("Grantor Improvements"), which Grantor Improvements shall require no further action or consent from Grantee. Grantee further expressly acknowledges and agrees that Grantor may make further improvements to and within the Revised Easement Area provided Grantor first remits to Grantee the site plan(s) for same and takes commercially reasonable precautions in installing same.
4. Grantee hereby agrees to promptly restore in good and workmanlike manner all property damaged, destroyed or disturbed in connection with Grantee's construction, reconstruction, maintenance, operation or removal activities related to Grantee's and its employees', contractors', representatives' and assigns' (collectively, the "Grantee Parties") use of the Easement Area and the Revised Easement Area and the exercise of any other rights of Grantee under this Easement Agreement and the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or any of the Grantee Parties on the Property or within the Revised Easement Area.

5. Grantee hereby agrees to indemnify and hold Grantor harmless from and against any and all damages, liabilities, claims and expenses, including but not limited to attorney's fees incurred by or asserted against Grantor which arise out of any personal injury or death or property damage arising out of any of Grantee's or the Grantee Parties' construction, reconstruction, maintenance, operation, removal or restoration activities under this Easement Agreement or the exercise of any other rights of Grantee or the Grantee Parties under this Easement Agreement or the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or the Grantee Parties on the Property or within the Easement Area or the Revised Easement Area.
6. This Easement Agreement is binding upon and shall inure to the benefit of the heirs, successors, assigns, and licensees of the parties hereto.
7. This transfer is exempt from the Real Estate Transfer Tax pursuant to MCLA 207.505(a) and from State Real Estate Transfer Tax pursuant to MCLA 207.526(a).

[Signatures appear on the following page]

IN WITNESS WHEREOF, the undersigned have hereunto set their hand and seal this 30th day of January 2023.

GRANTOR: 220 W Congress Detroit, LLC
a Michigan Limited Liability Company

GRANTEE: Michigan Bell Telephone Company, a
Michigan Corporation, d/b/a AT&T
Michigan

By: [Signature]
Signature of: Roger Basmajian
Title: manager

By: [Signature]
Signature of: Angela Wesson
Title: ROW Manager

STATE OF MICHIGAN)
)ss
COUNTY OF Wayne)

The foregoing instrument was acknowledged before me this 30th day of January 2023, by Roger Basmajian, the MANAGER of 220 W Congress Detroit, LLC, a Michigan Domestic Limited Liability Company, known to be the person named in and who executed the within instrument as Grantor and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: Bridgette A. Smith
[Signature]

BRIDGETTE A SMITH
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WAYNE
My Commission Expires September 22, 2028
Acting in the County of Wayne

Wayne

Wayne County, Michigan, acting in Wayne County My Commission Expires 09/22/2028

STATE OF MICHIGAN)
)ss
COUNTY OF Macomb)

The foregoing instrument was acknowledged before me this 27 day of January 2023, by Angela Wesson, the ROW Manager of Michigan Bell Telephone Company, a Michigan Corporation, d/b/a AT&T Michigan, known to be the person named in and who executed the within instrument as Grantee and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: Adrienne J. Strubank
[Signature]

ADRIENNE J. STRUBANK
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES May 3, 2027
ACTING IN COUNTY OF MACOMB

Wayne County, Michigan, acting in Macomb County My Commission Expires 5.3.2027

Return to:
Angela M Wesson
Right-of-Way Manager
54 N Mill Street
Pontiac, MI 48342

Document Drafted By:
AT&T Legal Department – Right-of-Way
208 S. Akard St
Dallas, TX 75202
Insertions by: Angela M Wesson

Exhibit A

FEB-10 10:56

Bernard J. Youngblood
 Wayne County Register of Deeds
 2020033508 L: 35589 P: 1167
 02/10/2020 10:56 AM RES Total Pages: 2

<p>Department of Public Works City Engineering Division July 27, 2018</p> <p>Honorable City Council: Re: Petition No. 146—220 W. Congress Detroit, LLC request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington</p> <p>Petition No. 146 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.</p> <p>The petition was referred to the City Engineering Division — DPW for investigation (utility review) and report. This is our report.</p> <p>The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.</p>	<p>The request was approved by the Solid Waste Division — DPW, and City Engineering Division — DPW, Traffic Engineering — DPW approved provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:</p> <ol style="list-style-type: none"> 1) Property owner at 201 W. Fort Street: Atwater Acquisitions LLC 201 West Fort Street Detroit, Michigan 48228 2) Property owner at 211 W. Fort Street: 211 Fort Washington Associates 211 West Fort Street #1604 Detroit, Michigan 48228 3) Property owner at 625 Shelby Street: HB Hospitality Detroit, LLC P.O. Box 2386 Birmingham, Michigan 48012 <p>The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.</p> <p>Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.</p>	<p>DTE — Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE — Gas services is a part of the attached resolution.</p> <p>Comcast reports involvement and the estimated cost of removal/relocation of their services to \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.</p> <p>All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.</p> <p>I am recommending adoption of the attached resolution.</p> <p>Respectfully Submitted, RICHARD DOHERTY, P.E. City Engineer City Engineering Division — DPW</p> <p>By Council Member Ayers: Resolved, That all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly</p>
--	---	--

STATE OF MICHIGAN) ss. SHORT FORM-TRUE COPY CERTIFICATE
 CITY OF DETROIT)

I, Janice M. Winfrey CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

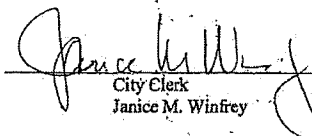
and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
 Set my hand and affixed the Corporate
 Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
 Return to:
 Deborah Outlaw
 2 Woodward
 200CAYMC
 Detroit, MI 48226


 City Clerk
 Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (approved May 20, 1825) to the City of Detroit as the same have been divided into lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or fittings usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division — DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe bucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be it Also Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1858 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Part of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1825, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwest corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 60 feet wide, with the northerly line of Congress Street, 60 feet wide; thence N. 60d 00m E. along the northerly line of

Congress Street, 127.45 feet to a point, said point being the southwest corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 198.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 28d 50m 50s E. 78.00 feet to a point; thence S. 60d 00m W. 2.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioners/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE — Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,811.84 with all costs to be borne by the petitioner, and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.85 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:
 Yeas — Council Members Ayers, Castaneda-Lopez, McCauley, Jr., Spivey, Tate and President Jones — 6.
 Nays — None.

Exhibit B

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 6S.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

Exhibit C

The Easement Area is legally described as:

The Westerly 5 (five) feet of the below described property. The same being described as a 5 (five) foot wide strip of land, parallel and adjacent to the Westerly property line.

The Property is legally described as:

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

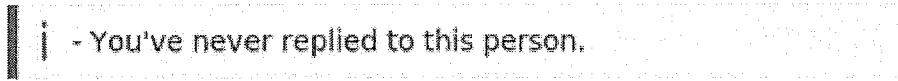
Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

EXHIBIT J

Rogers, Elizabeth

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Wednesday, February 8, 2023 11:52 AM
To: Rogers, Elizabeth
Subject: Re: Vacation of Easement

 - You've never replied to this person.

[Report or Mark Safe](#) | Powered by Mimecast

Good morning, Elizabeth. The parcel that is the north-south alley to Congress is clear. No assets. The east-west alley would require coordination and more investigation on the part of the applicant. According to City records there are DWSD assets in the east-west alley, both water (6") and sewer (15", upstream end of a 15x20" sewer). At least one other customer appears to be tapped off this water main. If the applicant is willing to do some CCTV investigation on the sewer line, and in the case that nothing else was tied into the line, it is possible that DWSD would allow abandonment of that asset.

Regards,
Jacob

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Tuesday, February 7, 2023 1:09 PM
To: erogers@taftlaw.com <erogers@taftlaw.com>
Subject: RE: Vacation of Easement

Good afternoon, Elizabeth. I will confirm if DWSD has assets within this easement area. If we do, we will request a development plan of what is happening or planned to happen on this parcel. Relocation of water/sewer mains will depend on what the future plans for this site are. I will be able to confirm if we have assets in the area by the end of the day, hopefully. If not, you will hear from me tomorrow morning. Is your client aware that the costs of relocating a water/sewer main will be borne by the Property Owner, not the city? Do you guys already have engineering plans on where you wish to relocate such assets? Could you provide that to me so I can share it with our engineers? Thanks

Regards,



Jacob S. Bahri
Associate General Counsel
P: 313.880.2763
E: Jacob.Bahri@detroitmi.gov
DETROIT WATER AND SEWERAGE DEPARTMENT
735 Randolph St. • Detroit, MI 48226
www.detroitmi.gov/DWSD
Customer Care: 313.267.8000

Michael E. Duggan, Mayor

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From: Rogers, Elizabeth <erogers@taftlaw.com>
Sent: Tuesday, February 7, 2023 12:20 PM
To: Debra Pospiech <Debra.Pospiech@detroitmi.gov>
Subject: [EXTERNAL] Vacation of Easement

Good afternoon, Debra,

This office represents 220 W. Congress Detroit, LLC, the owners of 220 W. Congress located in Detroit.

My clients are seeking DWSD's support for the vacation of the public utilities easement preserved by the attached Detroit City Council Resolution. If DWSD has facilities within the easement, please advise so that we can discuss relocation. If there are no facilities within the easement, kindly provide a signed letter on DWSD letterhead confirming that you have no objections to vacation of the easement.

The signed letter can be sent to me electronically and addressed to:
220 W. Congress Detroit, LLC
c/o Elizabeth Rogers, Esq.
Taft, Stettinius & Hollister
27777 Franklin Road
Ste. 2500
Southfield, Michigan 48034

If you have any questions, please do not hesitate to contact me.

Thanks,
Liz Rogers

Taft/

Elizabeth Rogers
Partner
erogers@taftlaw.com
Dir: 248.727.1617
Tel: 248.351.3000
27777 Franklin Rd
Suite 2500
Southfield, Michigan 48034

Taft Bio
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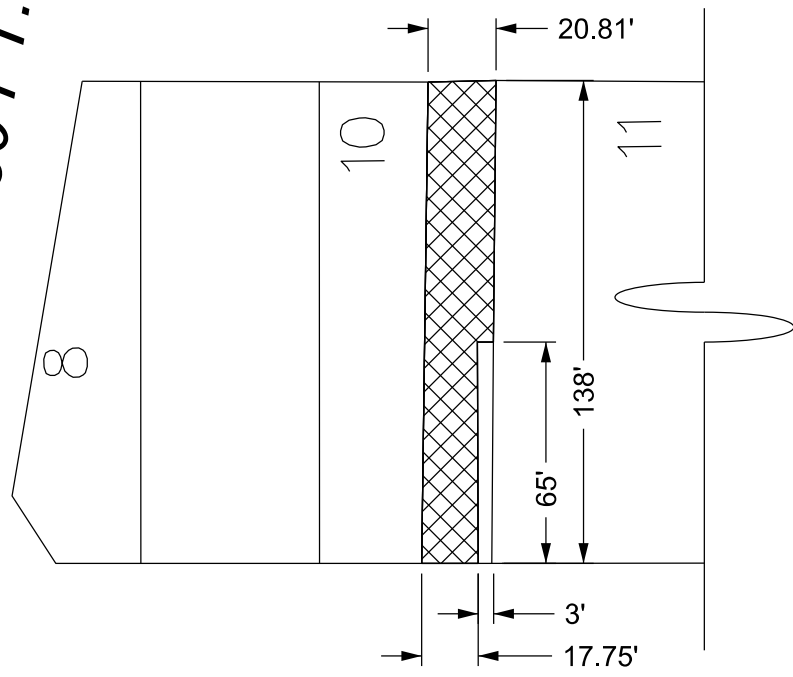
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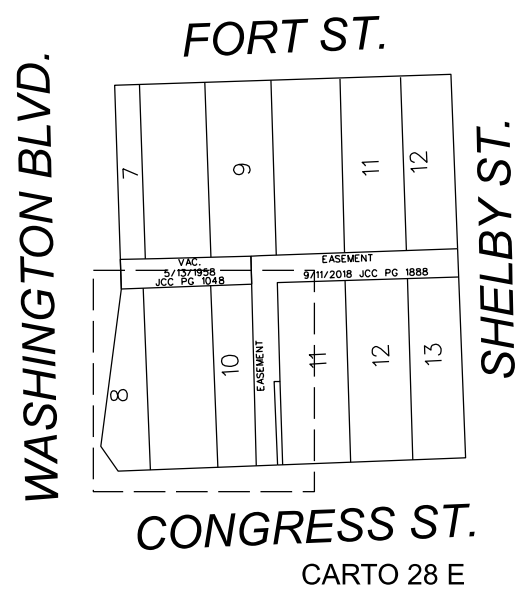
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WASHINGTON BLVD 80 FT. WD.



CONGRESS ST. 60 FT. WD.



 - OUTRIGHT VACATION

(FOR OFFICE USE ONLY)

B					
A					
DESCRIPTION	DRWN	CHKD	APPD	DATE	
REVISIONS					
DRAWN BY	AP	CHECKED	LC		
DATE	04-26-23	APPROVED	JD		

REQUEST TO OUTRIGHT VACATE
THE NORTH/SOUTH PUBLIC ALLEY,
VARIOUS WIDTHS
IN THE BLOCK BOUND BY
FORT, SHELBY, CONGRESS ST.
AND WASHINGTON BLVD.

CITY OF DETROIT CITY ENGINEERING DIVISION SURVEY BUREAU	
JOB NO.	01-01
DRWG. NO.	MAP-23-58