

City of Detroit

Janice M. Winfrey
City Clerk

OFFICE OF THE CITY CLERK

Andre P. Gilbert II
Deputy City Clerk

DEPARTMENT PETITION REFERENCE COMMUNICATION

To: The Department or Commission Listed Below

From: Janice M Winfrey, Detroit City Clerk

The following petition is herewith referred to you for report and recommendation to the City Council.

In accordance with that body's directive, kindly return the same with your report in duplicate within four (4) weeks.

Petition No.	2023-237
Name of Petitioner	220 W Congress Detroit, LLC
Description of Petition	Petition to encroach within 14th Street, between Dalzelle Street and Marantette Street, to install an inductive charging segment for the proposed Electrified Public Roadway.
Type of Petition	Alley Vacation/Encroachment/Utility Vacation:
Submission Date	06/16/2023
Concerned Departments	Department of Public Works, Planning and Development Department, City Engineering Division
Petitioner Contact	220 W Congress Detroit, LLC 607 Shelby, STE #350 Detroit, MI, 48226



**CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION**

**COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 TTY: 711
WWW.DETROITMI.GOV**

To: Clerk's Office
From: The Department of Public Works
City Engineering Division
MapsandRecordsBureau@DetroitMI.Gov
(313) 224-3970

Petitioner:
220 W Congress Detroit, LLC
607 Shelby, STE #350
Detroit, MI, 48226

On behalf of the above-mentioned petitioner the Department of Public Works: City Engineering Division is submitting a petition request for the below mentioned action. The petitioner has received a project consultation from the Department of Public Works: City Engineering Division and has been advised the following:

Type of action recommended:

Petition to Outright vacate the easement reserve for the vacated public alley lying westerly of the adjacent to the property commonly known as 220 W Congress.

Jered Dean
Manager II
Department of Public Works
City Engineering Division
313-224-3985



Elizabeth Rogers
erogers@taftlaw.com
(248) 727-1617

April 24, 2022

City of Detroit Department of Public Works
Maps and Records Bureau
2 Woodward Avenue, Ste.
Detroit, Michigan 48226

**Re: Vacation of north-south alley - 220 West
Congress**

Dear Sir or Madam,

This office represents petitioner 220 W. Congress Detroit, LLC ("**Petitioner**") with respect to the above referenced matter.

This correspondence is Petitioner's Letter of Intent to request the outright vacation of the north-south alley 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by the Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and legally described in **Exhibit A** attached hereto (the "**North-South Alley**").

By Petition No. 145, Petitioner requested an outright vacation of the North-South Alley, which request is reflected in a letter dated July 10, 2018 ("**July 10th Letter**") to the Detroit City Council from the City of Detroit Department of Public Works City Engineering Division ("**DPW**") attached hereto as **Exhibit B**. The July 10th Letter was subsequently amended by a July 27, 2018 letter from DPW to the Detroit City Council that requested the North-South Alley be outright vacated and instead converted to an easement. See **Exhibit C**.

On September 11, 2018, the Detroit City Council adopted a resolution (the "**Resolution**") vacating the North-South Alley as a public right-of-way and converting it into a private easement for public utilities subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution, a copy of which is attached hereto as **Exhibit D**. The Resolution was approved by the Mayor on September 17, 2018, and recorded with the Office of the Wayne County Register of Deeds on February 10, 2020 at Liber 55569, Page 1167.

The restrictions reflected in the Resolution have prevented Petitioner from completing its intended improvements within the North-South Alley, as Petitioner has been prohibited from pulling the required permits and completing work within the North-South Alley so long as the North-South Alley remains an easement for public utilities. Accordingly, Petitioner hereby requests that:

- (i) the North-South Alley be outright vacated; and
- (ii) the existing easement for public utilities be terminated, together with any and all related restrictions.

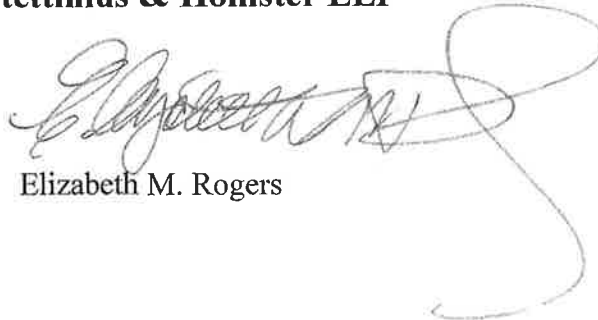
To further support its request, Petitioner has attached the following documents hereto:

1. Letter of Support from the adjacent landowner (**Exhibit E**);
2. Site Plan (**Exhibit F**);
3. Utility Plan (**Exhibit G**);
4. Confirmation from Comcast that it has no facilities impacted by removal or termination of the public utility easement within the North-South Alley (**Exhibit H**);
5. Recorded Easement Agreement from AT&T reflecting the relocation and termination of its easement from the existing public easement within the North-South Alley (**Exhibit I**); and,
6. Confirmation from the Detroit Water and Sewerage Department that it has no assets within the North-South Alley (**Exhibit J**).

If you require anything further, please do not hesitate to contact me.

Sincerely,

Taft Stettinius & Hollister LLP



Elizabeth M. Rogers

EXHIBIT A

Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT

[Signature]
By Basil Spring

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT B



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVENUE, SUITE 601
DETROIT, MI 48226
PHONE: (313) 224-3949 • TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

July 10, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor’s records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department objects to this proposed change in property. The requested conversion to easement and vacation will prevent service access to neighboring businesses, fire and safety access to surrounding buildings will be affected.

(Handwritten notes and stamps on the right side of the page, including a large '16' in a circle and other illegible markings.)

~~ENTERED JUL 23 2018 BB WK. (JA:RU)~~

~~ENTERED JUL 30 2018 MTF INB JA (210)~~

7/31/18 (Formal Session) - send back to committee

CITY CLERK 2018 JUL 13 PM 12:17

ENTERED SEP 10 2018



Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE -- Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE -- Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$95,515.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

The attached resolution granting the request is submitted for your consideration.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Richard Doherty".

Richard Doherty, P.E., City Engineer
City Engineering Division -- DPW

/JK

Cc: Ron Brundidge, Director, DPW
Mayor's Office -- City Council Liaison

BY COUNCIL MEMBER

Benson

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement or right-of-way over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth,

Second, said utility easement or right-of-way in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement or right-of-way. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,

nor change of surface grade made, without prior approval of the City Engineering Division
– DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incident to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incident to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same is hereby vacated (outright) as public right-of-way, subject to the following provisions:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE – Gas division for removal of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$95,515.95 to be borne by the petitioner, and further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

PETITION NO. 145
 220 W. CONGRESS DETROIT LLC
 607 SHELBY, SUITE 400
 DETROIT, MICHIGAN 48226
 C/O ROGER BASMAJIAN
 PHONE NO. 313 727-4886

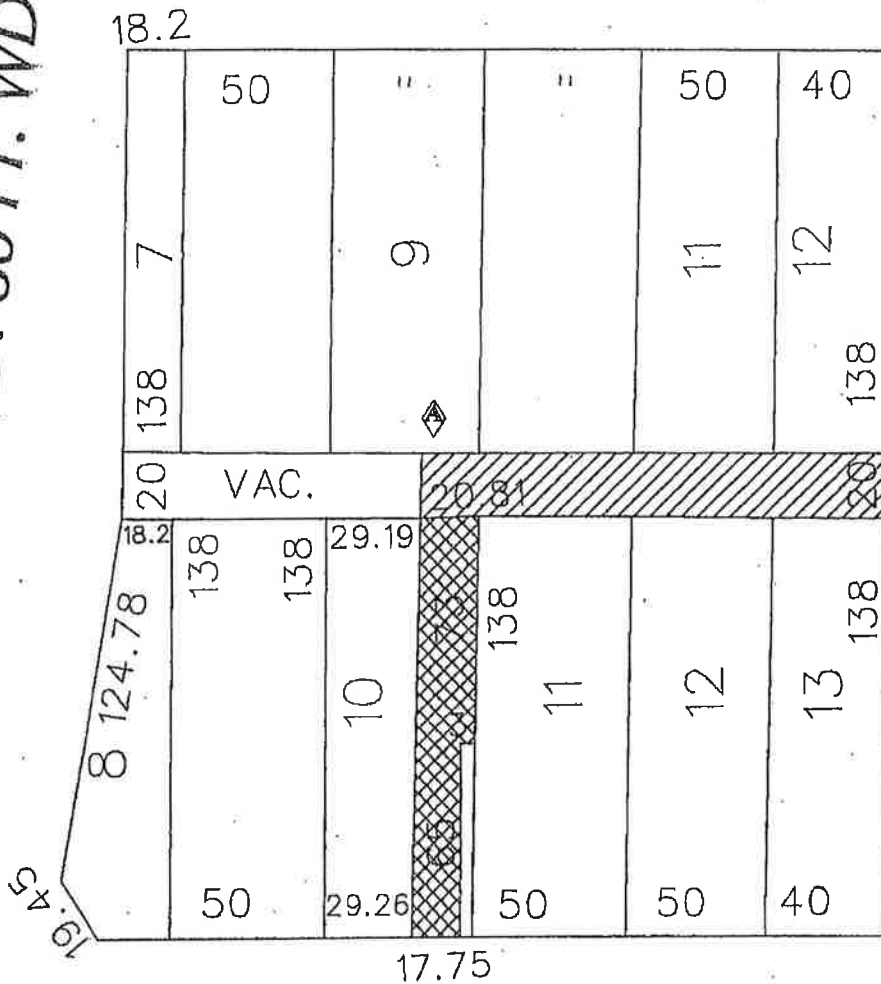
"REVISED"



FORT ST. 100 FT. WD.

WASHINGTON BLVD. 80 FT. WD.

SHELBY ST. 60 FT. WD.



- OUTRIGHT VACATION



- CONVERSION TO EASEMENT

(FOR OFFICE USE ONLY)

CARTO 28 E

B										CONVERSION TO EASEMENT THE EAST/WEST PUBLIC ALLEY, 20 FT. WD. AND OUTRIGHT VACATE THE NORTH/SOUTH PUBLIC ALLEY, VARIOUS WIDTHS IN THE BLOCK BOUND BY FORT, SHELBY, CONGRESS ST. AND WASHINGTON BLVD.		CITY OF DETROIT CITY ENGINEERING DEPARTMENT SURVEY BUREAU	
A		WLV		KSM		KSM		5/30/18					
DESCRIPTION		DRWN	CHKD	APPD	DATE							JOB NO. 01-01	
DRAWN BY		WLV		CHECKED		KSM						DRWG. NO. X 145	
DATE		03-02-18		APPROVED									

EXHIBIT C



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

July 27, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.

Received @ Table PHS



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

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Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE -- Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE -- Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

I am recommending adoption of the attached resolution.

Respectfully submitted,

Richard Doherty, P.E., City Engineer
City Engineering Division -- DPW

/KM

Cc: Ron Brundidge, Director, DPW
Mayor's Office -- City Council Liaison



CITY OF DETROIT
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BY COUNCIL MEMBER

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth;

Second, said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,



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ner change of surface grade made, without prior approval of the City Engineering Division
- DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incident to such removal and/or relocation. It is further



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WWW.DETROIT.GOV

provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incident to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further:

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further:

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE - Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further



CITY OF DETROIT
 DEPARTMENT OF PUBLIC WORKS
 CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
 2 WOODWARD AVE. SUITE 601
 DETROIT, MICHIGAN 48226
 PHONE: (313) 224-3949 • TTY: 711
 FAX: (313) 224-3478

Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

16

**ADOPTED AS FOLLOWS
COUNCIL MEMBERS**

	YEAS	NAYS
Janee AYERS		
Scott BENSON		
Raquel CASTANEDA-LOPEZ		
Gabe LELAND		
Roy MCCALISTER, JR.		
*Mary SHEFFIELD		
Andre SPIVEY		
James TATE		
Brenda PRESIDENT JONES		
*PRESIDENT PRO TEM		
	6	0
WAIVER OF RECONSIDERATION (No. _____)		
Per motions before adjournment.		

EXHIBIT D

20 FEB-10 AM 10:56

Bernard J. Youngblood
Wayne County Register of Deeds
2020033508 L: 55569 P: 1167
02/10/2020 10:58 AM RES Total Pages: 2

**Department of Public Works
City Engineering Division
July 27, 2018**

Honorable City Council:
Re: Petition No. 145 — 220 W. Congress
Detroit, LLC request to convey the
alley running north-south to Congress
Street and enter into a maintenance
agreement regarding the alley
that runs east-west from Shelby
Street, both in the block bounded by
Fort Street, Shelby Street, Congress
& Washington

Petition No. 145 by 220 W. Congress
Detroit, LLC, request to outright vacate
and convert to easement the north-south
alley, 17.75 and 20 feet wide; also to
vacate and convert to easement the east-
west alley, 20 feet wide, all in the block of
Congress Street, 60 feet wide, Fort
Street, 100 feet wide, Washington Boulevard,
80 feet wide, and Shelby Street, 60
feet wide.

The petition was referred to the City
Engineering Division — DPW for investigation
(utility review), and report. This is
our report.

The request is being made to allow the
alleys to be redefined into a more functional
and attractive space for pedestrian traffic
in the area.

The request was approved by the Solid
Waste Division — DPW, and City Engineering
Division — DPW, Traffic Engineering
— DPW approves provided that 100%
signatures of abutting property owners
are secured; however three (3) adjoining
property owners have not consented to
the closure. The three adjoining owners
who have not consented have been notified
by mail of the possible closure. The owners
of record according to the City of Detroit
assessor's records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development
Department has no objection to this proposed
change in property. They request that
the resolution, if approved, require
continued access for service vehicles and
garbage pickup in the east-west alley.

Detroit Water and Sewerage Department
(DWSD) has no objection to the conversion
to easement. The specific DWSD
provisions for easements are included in
the resolution.

DTE — Gas division reports involvement
with existing gas service lines. The estimated
costs of removing/relocating their services
is \$15,981.84 and a provision for the relocation
of DTE — Gas services is a part of
the attached resolution.

Comcast reports involvement and the
estimated cost of removal/relocation of
their services is \$13,915.95 and a provision
for the relocation of Comcast services is a
part of the attached resolution.

All other involved City Departments,
and privately owned utility companies
have reported no objections to the conversion
of the public rights-of-way into private
easements for public utilities. Provisions
protecting utility installations are part of
the attached resolution.

I am recommending adoption of the
attached resolution.

Respectfully Submitted,
RICHARD DOHERTY, P.E.
City Engineer
City Engineering Division — DPW

By Council Member Ayers:
Resolved, That all that part of the east-
west alley, 20 feet wide, all in the block of
Congress Street, 60 feet wide, Fort Street,
100 feet wide, Washington Boulevard, 80
feet wide, and Shelby Street, 60 feet wide,
from the vacated westerly portion of the
subject alley to Shelby Street and further
described as: land in the City of Detroit,
Wayne County, Michigan being part of the
east-west alley, 20 feet wide lying
northerly of and adjoining the northerly
line of Lots 11, 12, 13, and the easterly
20.81 feet of Lot 10, said lots lying
northerly of and adjoining the northerly

STATE OF MICHIGAN) ss. SHORT FORM-TRUE COPY CERTIFICATE
CITY OF DETROIT)

I, Janice M. Winfrey CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

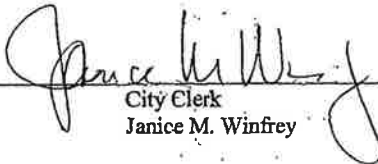
and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
Set my hand and affixed the Corporate
Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
Return to:
Deborah Outlaw
2 Woodward
200 CAYMC
Detroit, MI 48226


City Clerk
Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or tilings usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of

the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division — DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weight of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe jacks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be It Also

Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1959 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 68m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 28d 68m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way which shall be subject to the following easement and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE — Gas Division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:
 Yeas — Council Members Ayers, Castaneda-Lopez, McCallister, Jr., Spivey, Tale and President Jones — 6.
 Nays — None.

Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point; said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT

[Handwritten Signature]
for Basil Swain

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT E

July 12, 2022

To: City Engineering Division-Department of Public Works
Detroit Water and Sewerage Department

Re: Enhancements to 230 West Congress St. Detroit, MI 48226

To Whom It May Concern,

I am writing this letter to express our full support for the latest plan Mr. Basmajian has developed and wishes to implement on the parcel of land located at 230 West Congress St. Detroit, MI 48226, which is adjacent to the building 211 West Fort Detroit, LLC owns at 211 W Fort St. Detroit, MI 48226.

We find the improvements (attached to this letter) for the parcel at 230 W. Congress to be an excellent use of the space and feel the additions only enhance our building's experience and value. His plans which include an outdoor covered café space for the new restaurant in 220 W. Congress, metal sculpture light fixtures, greenery, art, and the placement of a repurposed shipping container all are a community asset for all to enjoy.

The proposed improvements will only benefit our building and tenants. We plan to re-open the now vacant restaurant off Congress Street next to 230 West Congress St. and activate the commercial space in the main lobby which will have access to the space Mr. Basmajian plans to improve. These improvements will in no way affect the infrastructure or utility services to our building as Mr. Basmajian bore the expense of relocating all the underground utilities out of the parcel. Furthermore, there are no facility services to our building that trespass that property.

Please feel free to reach out to me if there are any further questions or concerns.

All the Best,



Bradley J Foster
Manager
211 West Fort Detroit, LLC

DATE OF NOTARY: 7/12/22

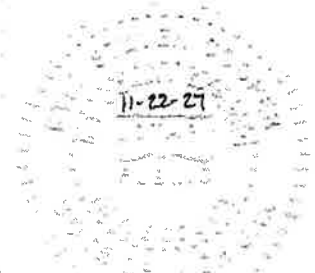


EXHIBIT F

EXTERIOR THREAD & CANOPY DESIGN

220 W. CONGRESS DETROIT, MI 48226

SVA
 SIVAK VITALE ARCHITECTS
 27177 WOODWARD AVENUE
 ROYAL OAK, MI 48067-3735
 P: 248.544.4700
 F: 248.544.4434
 WWW.SIVAKVITALE.COM

ARCHITECT:
 SIVAK VITALE ARCHITECTS
 27177 WOODWARD AVENUE
 ROYAL OAK, MICHIGAN 48067
 (248) 544-6700

STRUCTURAL ENGINEER:
 JOHN SWEDA (PE)
 21722 WOODWARD AVE
 SUITE 300
 ROYAL OAK, MI 48067
 (248) 577-8032

M/E/P ENGINEER:
 DIN ENGINEERING
 32228 W. 72 MILE RD., UNIT 227
 FARMINGTON HILLS, MICHIGAN
 48334
 (248) 753-8818

PROJECT DATA:
 BUILDING CODE AUTHORITY:
 CITY OF DETROIT

OWNER:
 DETROIT
 601 STATE ST
 DETROIT, MI 48226

TYPE OF CONSTRUCTION:
 RE-USE EXISTING BUILDING

USE GROUP:
 A-2 RESIDENTIAL (ENTIRE CANOPY)

PROJECT AREA:
 10TH FLOOR, INCLUDING EXISTING STEEL STRUCTURE AND EXISTING CANOPY, EXISTING ELEVATOR SHAFT AND STAIRS

OCCUPANT LOAD: 40 SF PER PERSON

FLOOR FINISH: 4" POLISHED CONCRETE

CEILING FINISH: 8" DROP CEILING

MECHANICAL CODES (COMMERCIAL):
 SMCA 2015 WITH 2011 IBC SAFETY CODE
 SMCA 2015 WITH 2011 IBC SAFETY CODE
 SMCA 2015 WITH 2011 IBC SAFETY CODE

MECHANICAL CODE:
 2011 MECHANICAL, CODE AS APPLICABLE TO THE PROJECT

FLOORING CODE:
 2011 INTERNATIONAL BUILDING CODE AS APPLICABLE TO THE PROJECT

ELECTRICAL CODE:
 2011 NATIONAL ELECTRIC CODE (NECA) AS AMENDED AND 2011 NATIONAL FIRE ALARM AND SIGNALING CODE

FIRE CODE:
 2011 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND 2011 NATIONAL FIRE ALARM AND SIGNALING CODE

ACCESSIBILITY STANDARDS FOR ACCESSIBLE DESIGN (ADA):
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (ADA) (2010) (ADA) (2010) (ADA) (2010) (ADA) (2010)

LIST SAFETY CODES:
 2015 WITH 2011 IBC SAFETY CODE
 2015 WITH 2011 IBC SAFETY CODE
 2015 WITH 2011 IBC SAFETY CODE



SHEET INDEX		
REVISION	DATE	DESCRIPTION

SYMBOL	DESCRIPTION	NOTED
<input type="checkbox"/>	NOT ISSUED	
<input checked="" type="checkbox"/>	MECHANICAL REVISION	
<input type="checkbox"/>	FIELD	
<input checked="" type="checkbox"/>	REFERENCE	

SYMBOL	DESCRIPTION	NOTED

SYMBOL	DESCRIPTION	NOTED

SYMBOL	DESCRIPTION	NOTED

SYMBOL	DESCRIPTION	NOTED

NOTE: THIS CONSTRUCTION DRAWING WAS PREPARED FOR COMPLIANCE WITH THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) CODES. THE CONTRACTOR SHALL VERIFY THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) CODES AND THE STRUCTURAL REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL VERIFY THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) CODES AND THE STRUCTURAL REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL VERIFY THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) CODES AND THE STRUCTURAL REQUIREMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL VERIFY THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) CODES AND THE STRUCTURAL REQUIREMENTS FOR THIS PROJECT.

DO NOT SCALE DRAWINGS

Drawn by: **JAV, NLR, A/D**

Checked by: **JAV, NLR, A/D**

Sheet Title: **TITLE SHEET, SHEET INDEX, * LOCATION PLAN**

Printed Date: **2022.002**

Sheet No.: **TS1.1**

Project: **THREAD AND CANOPY 220 W. CONGRESS DETROIT, MI 48225**

Issued by: **03/23/22**

Revised: **03/23/22**

Project: **HCC RENOVATION 03/23**

GENERAL CONTRACTOR NOTES

1. **GENERAL NOTES:**

- A. **GENERAL CONTRACTOR SHALL PROVIDE:**
 1. ALL MATERIALS AND LABOR NECESSARY TO COMPLETE THE WORK.
 2. ALL NECESSARY PERMITS AND FEES.
 3. ALL NECESSARY SAFETY MEASURES.
 4. ALL NECESSARY PROTECTION OF EXISTING CONDITIONS.
 5. ALL NECESSARY CLEAN UP AND RESTORATION.
- B. **WORKMANSHIP:** ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSTRUCTION MANUAL, WITH CORRECTIONS AND ADDENDUMS.
- C. **QUALITY CONTROL:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF ALL WORK.
- D. **PROTECTION OF EXISTING CONDITIONS:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CONDITIONS.

1. FOUNDATION AND EXTERIOR WALLS

A. **FOUNDATIONS:** FOUNDATIONS SHALL BE CONFORM TO THE FOLLOWING:

1. **FOUNDATIONS SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL FOUNDATIONS SHALL BE CONCRETE.
 - b. ALL FOUNDATIONS SHALL BE CAST IN PLACE.
 - c. ALL FOUNDATIONS SHALL BE CAST ON A 4" MIN. SAND BED.
2. **FOUNDATIONS SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **FOUNDATIONS SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

B. **EXTERIOR WALLS:** EXTERIOR WALLS SHALL BE CONFORM TO THE FOLLOWING:

1. **EXTERIOR WALLS SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL EXTERIOR WALLS SHALL BE CONCRETE.
 - b. ALL EXTERIOR WALLS SHALL BE CAST IN PLACE.
 - c. ALL EXTERIOR WALLS SHALL BE CAST ON A 4" MIN. SAND BED.
2. **EXTERIOR WALLS SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **EXTERIOR WALLS SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

2. INTERIORS

A. **CEILING:** CEILING SHALL BE CONFORM TO THE FOLLOWING:

1. **CEILING SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL CEILING SHALL BE CONCRETE.
 - b. ALL CEILING SHALL BE CAST IN PLACE.
 - c. ALL CEILING SHALL BE CAST ON A 4" MIN. SAND BED.
2. **CEILING SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **CEILING SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

B. **FLOORING:** FLOORING SHALL BE CONFORM TO THE FOLLOWING:

1. **FLOORING SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL FLOORING SHALL BE CONCRETE.
 - b. ALL FLOORING SHALL BE CAST IN PLACE.
 - c. ALL FLOORING SHALL BE CAST ON A 4" MIN. SAND BED.
2. **FLOORING SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **FLOORING SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

C. **WALLS:** WALLS SHALL BE CONFORM TO THE FOLLOWING:

1. **WALLS SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL WALLS SHALL BE CONCRETE.
 - b. ALL WALLS SHALL BE CAST IN PLACE.
 - c. ALL WALLS SHALL BE CAST ON A 4" MIN. SAND BED.
2. **WALLS SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **WALLS SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

3. ROOFING AND EXTERIOR FINISHES

A. **ROOFING:** ROOFING SHALL BE CONFORM TO THE FOLLOWING:

1. **ROOFING SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL ROOFING SHALL BE CONCRETE.
 - b. ALL ROOFING SHALL BE CAST IN PLACE.
 - c. ALL ROOFING SHALL BE CAST ON A 4" MIN. SAND BED.
2. **ROOFING SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **ROOFING SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

B. **EXTERIOR FINISHES:** EXTERIOR FINISHES SHALL BE CONFORM TO THE FOLLOWING:

1. **EXTERIOR FINISHES SHALL BE CONFORM TO THE FOLLOWING:**
 - a. ALL EXTERIOR FINISHES SHALL BE CONCRETE.
 - b. ALL EXTERIOR FINISHES SHALL BE CAST IN PLACE.
 - c. ALL EXTERIOR FINISHES SHALL BE CAST ON A 4" MIN. SAND BED.
2. **EXTERIOR FINISHES SHALL BE REINFORCED WITH:**
 - a. #4 BARS AT 18" ON CENTER.
 - b. #4 BARS AT 24" ON CENTER.
3. **EXTERIOR FINISHES SHALL BE PROTECTED FROM:**
 - a. EROSION.
 - b. FLOODING.

SVIA

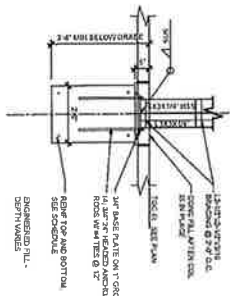
TRIED AND TRUE ARCHITECTS
 20171 ROBERTSON AVENUE
 BIRMINGHAM, AL 35241-4107
 P: 205.336.8336
 WWW.SVIAARCHITECTS.COM

THORND AND CANNON
 2201 W. CONGRESS
 DETROIT, MI 48226

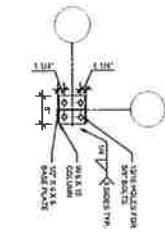
DESIGNED BY:
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Project No.: 2022.002
 SHEET NO.: S.01

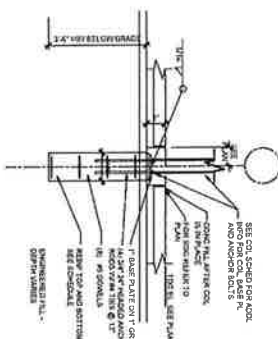
DO NOT SCALE DRAWINGS
 © 2022 SteelSide Architects
 \$0.0



THREADED CONNECTION
SCALE: 1/8\"/>



BASE PLATE DETAIL
SCALE: 1/8\"/>



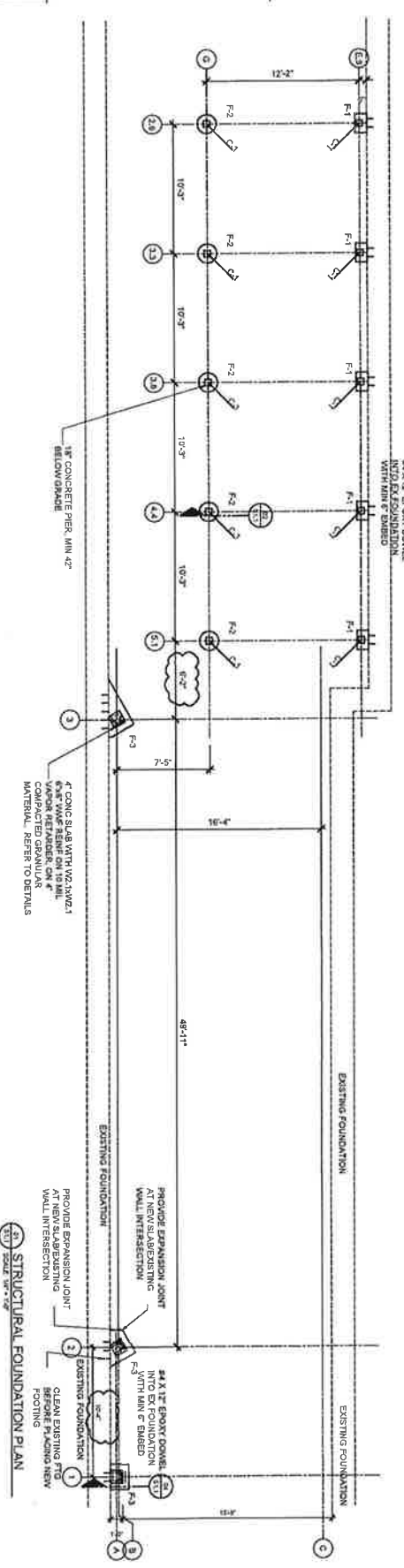
FOUNDATION DETAIL
SCALE: 1/8\"/>

FOUNDATION PLAN NOTES:

- REFER TO SHEET FOR GENERAL NOTES AND SPECIFICATIONS
- FOUNDATIONS AND SOIL ARE TO BE ON ENHANCED FILL OR 3000 PSF SOIL BEARING CAPACITY. FILL DEPTH Varies.

MARK	FOOTING SECTION	SECTION	REINFORCING
F1	TOP: 1'-0" W/ 4#4 @ 12" ON CENTER BOTTOM: 1'-0" W/ 4#4 @ 12" ON CENTER	1'-0" x 1'-0"	5#4 @ 12" ON CENTER
F2	TOP: 1'-0" W/ 4#4 @ 12" ON CENTER BOTTOM: 1'-0" W/ 4#4 @ 12" ON CENTER	1'-0" x 1'-0"	5#4 @ 12" ON CENTER
F3	TOP: 1'-0" W/ 4#4 @ 12" ON CENTER BOTTOM: 1'-0" W/ 4#4 @ 12" ON CENTER	1'-0" x 1'-0"	5#4 @ 12" ON CENTER

BEAR ON SOLID TESTED SOIL AT EXISTING FILL DEPTH OR DEEPER AS REQUIRED.



STRUCTURAL FOUNDATION PLAN
SCALE: 1/8\"/>

SVA
STEEL VINALE ARCHITECTS
27172 WOODWARD AVENUE
BONAVILLE, MI 48017-9155
P: 248.516.6708
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Project No.: 20222.002
Sheet No.: S1.1

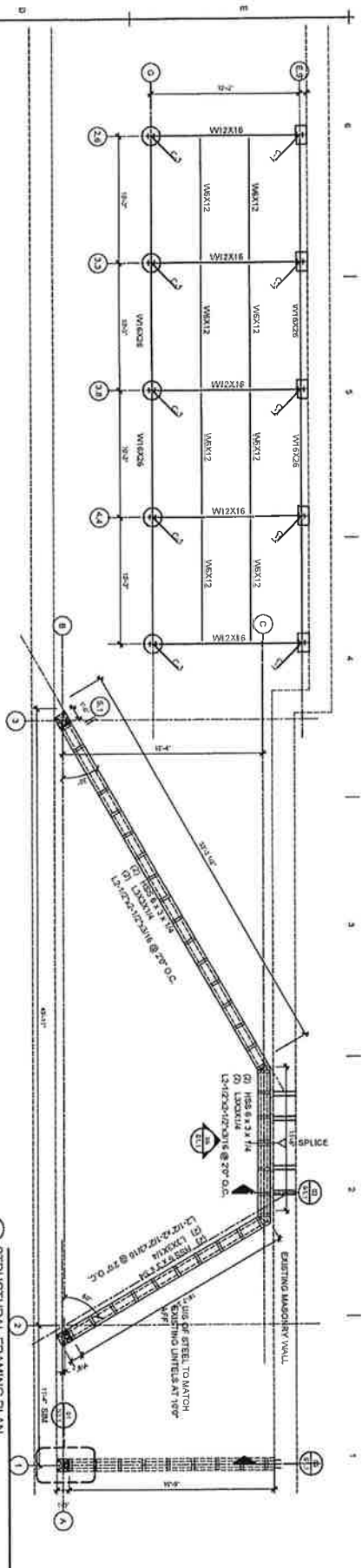
Drawn by: SVA
JAV/MBR/PAJ

Checked by: SVA
JAV/MBR/PAJ

Project: 080225
Client: FERRIS PERINSON 080225
Location: HOOVERSBURG 04823

Project: 080225
Client: FERRIS PERINSON 080225
Location: HOOVERSBURG 04823

Project: 080225
Client: FERRIS PERINSON 080225
Location: HOOVERSBURG 04823



23 STRUCTURAL FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING NOTES:

MARK	SIZE	BASE PLATE	ANCHORS
C1	W8 X 12	6000C	4158 X 12 L

1. REFER TO EXISTING AND MATCH DRAWINGS.
2. BRACE SHALL BE BENT UP 90 DEGREES, UNLESS OTHERWISE NOTED.
3. VERIFY EXISTING CONDITIONS AND LOCATIONS OF RECEIPT MOUNTED EXTERIOR DESIGN MECHANICAL TRASHES PRIOR TO REVISIONS OR SHOP DRAWINGS.

PROJECT:
THEIRS AND LUNCH
EXTERIOR DESIGN
DETROIT, MI 48226

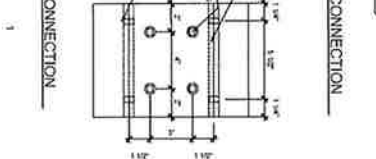
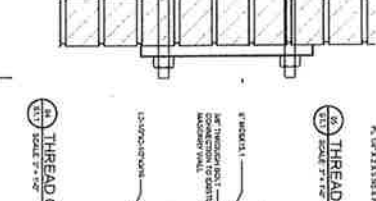
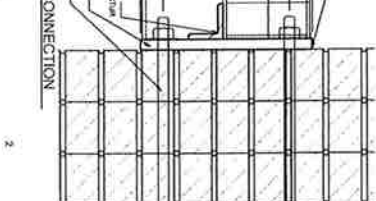
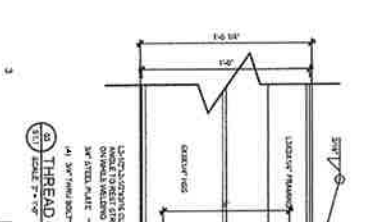
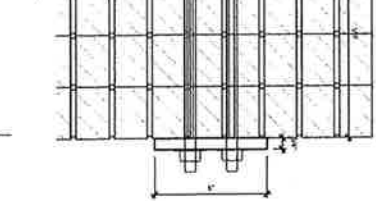
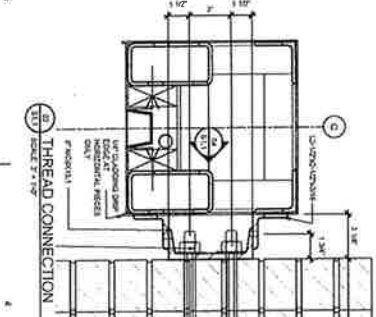
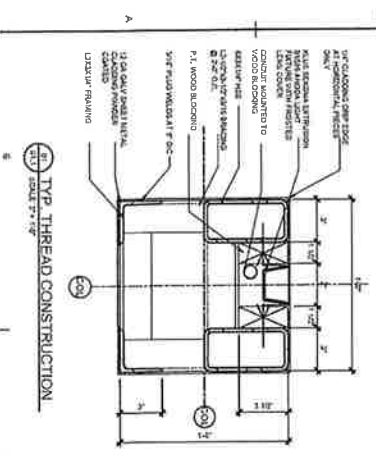
DESIGNED BY:
FRANK RICHMOND
HCD-REVISION 04/2020

Drawn by:
SVA
JAV, MAB, AJO
FROM THE PLAN

DO NOT SCALE DRAWING

2022.002

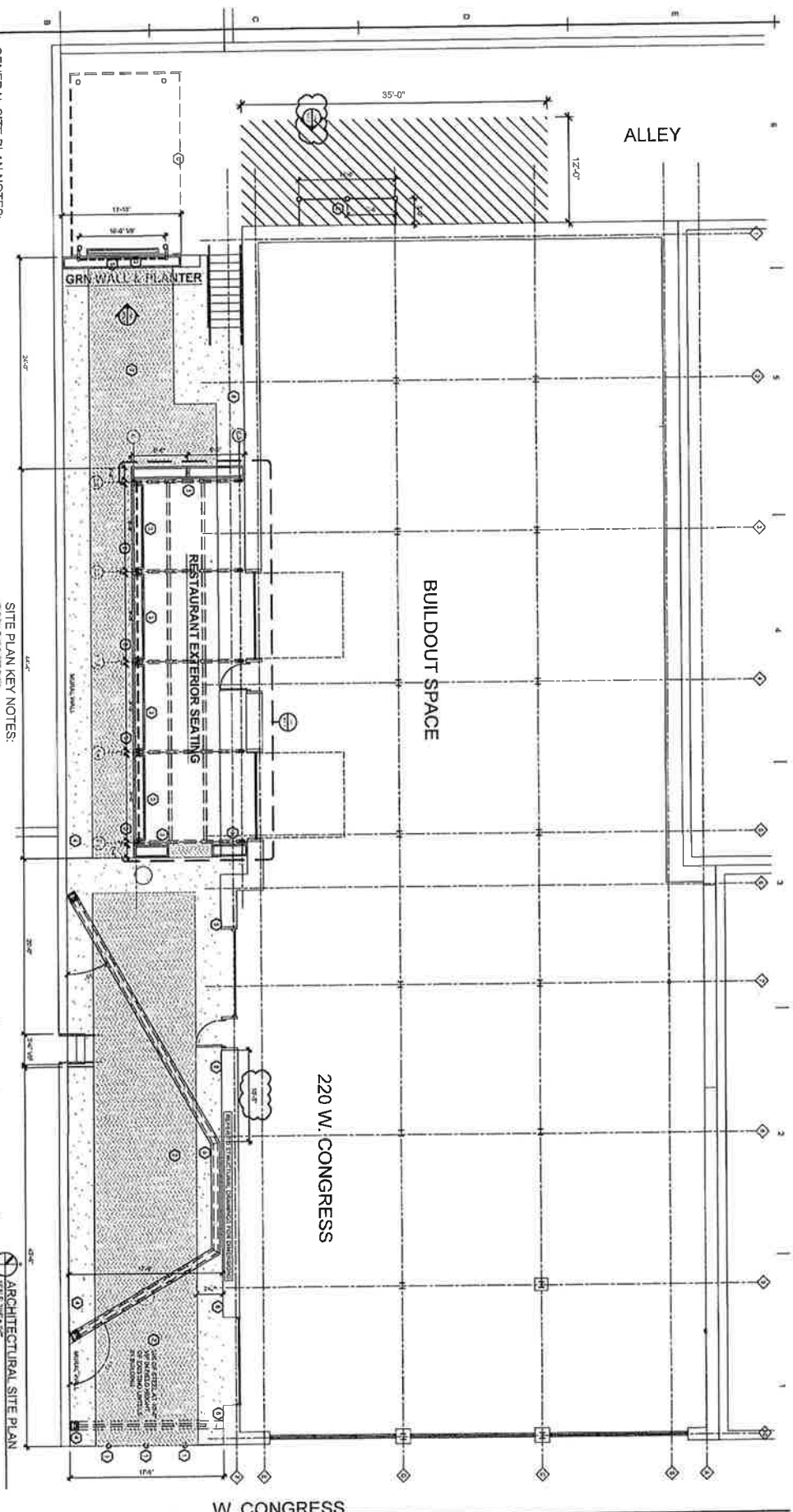
S1.2



SVA
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 1177 WOODWARD AVENUE
 KENNA WALK, MI 48068-9715
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 F: 248.541.1414
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PROJECT: THERAPY AND CANOPY
 EXTERIOR DESIGN
 220 W. CONGRESS
 DETROIT, MI 48226

DATE: 02.02.22
 PREPARED BY: JAV/MLB/AJD
 CHECKED BY: JAV/MLB/AJD
 SCALE: AS SHOWN
 SHEET No.: SP1.1



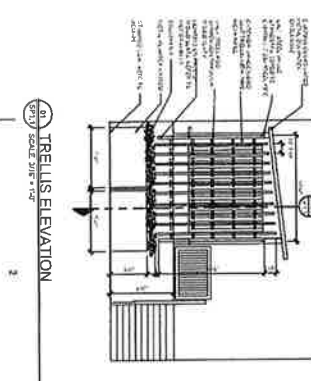
GENERAL SITE PLAN NOTES:

1. UNDESIGNED SHALL BE OF THE TYPE, DIMENSIONS AND CROSS SECTIONS PROVIDED ON THE PLANS AND AS SHOWN.
2. CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE. ALL CONCRETE SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE. ALL CONCRETE SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.
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13. ALL CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.
14. ALL CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.
15. ALL CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.
16. ALL CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.
17. ALL CONCRETE FLOORING SHALL BE FINISHED WITH A MINIMUM FINISH OF 2" COMPACTED GRANULAR FILL OVER A 4" MINIMUM THICKNESS OF 1" OF 1/2" SAND CONCRETE.

SITE PLAN KEY NOTES:

1. EXISTING FOUNDATION TO REMAIN
2. EXISTING FOUNDATION TO REMAIN
3. EXISTING FOUNDATION TO REMAIN
4. EXISTING FOUNDATION TO REMAIN
5. EXISTING FOUNDATION TO REMAIN
6. EXISTING FOUNDATION TO REMAIN
7. EXISTING FOUNDATION TO REMAIN
8. EXISTING FOUNDATION TO REMAIN
9. EXISTING FOUNDATION TO REMAIN
10. EXISTING FOUNDATION TO REMAIN
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13. EXISTING FOUNDATION TO REMAIN
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20. EXISTING FOUNDATION TO REMAIN

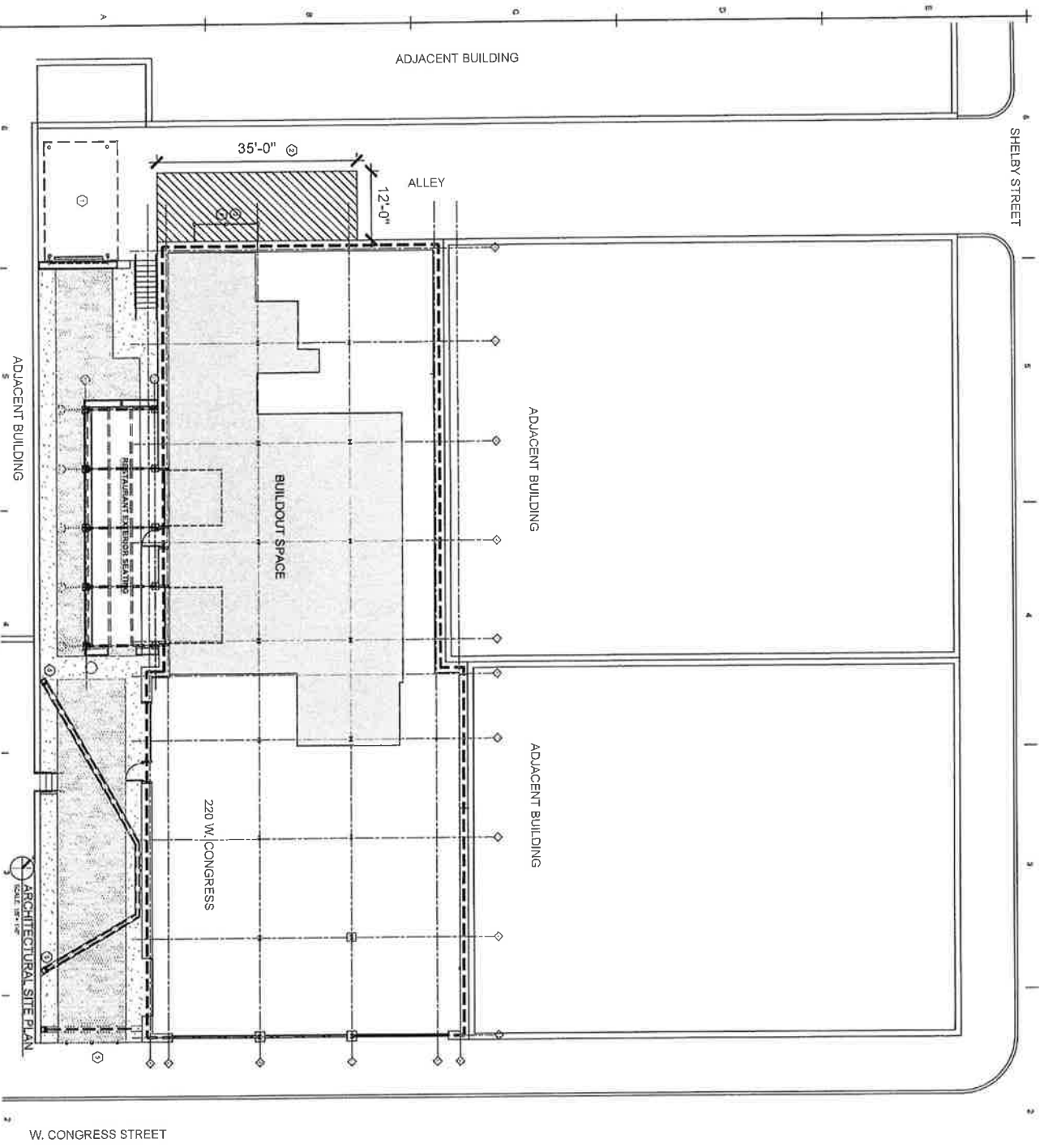
ARCHITECTURAL SITE PLAN



TRELLIS ELEVATION

TRELLIS SECTION

SP1.1



GENERAL SITE PLAN NOTES:

1. FINISH GRADE SHALL BE THE SAME THROUGHOUT AND SHALL BE INDICATED ON THE PLANS AND AS FOLLOWS:
2. CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
3. ASPHALT FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
4. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
5. ALL CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
6. ALL CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
7. ALL CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
8. ALL CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
9. ALL CONCRETE FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
10. CONSTRUCTION OF A KEY OR RECORD SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
11. FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND OBTAIN APPROVAL FOR ALL WORK TO BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
12. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
13. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
14. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
15. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
16. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
17. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.
18. FINISH GRADE SHALL BE AS INDICATED WITH A FINISH GRADE OF 1.000 AND A TOLERANCE OF +/- 0.010.

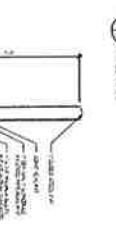
SITE PLAN KEY NOTES:

1. LOCATION OF EXISTING AND PROPOSED CURBS AND SIDEWALKS.
2. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
3. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
4. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
5. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
6. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
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15. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
16. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
17. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.
18. LOCATION OF EXISTING AND PROPOSED DRIVEWAYS.

NATURAL BUSINESS DISTRICT



VICINITY MAP



SURFACE MOUNTED BOLLARD



SVA
THREE HILL ARCHITECTS
 27173 WOODWARD AVENUE
 BIRMINGHAM, MI 48407-3735
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 WWW.THREEHILL.COM

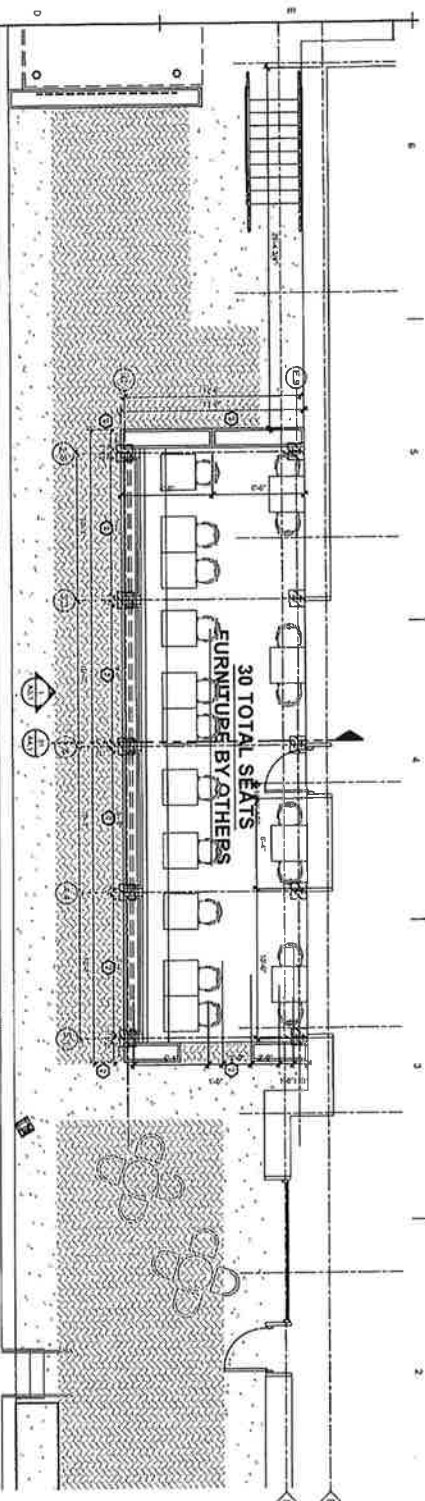
PROJECT:
 THREE HILL AND CANOPY
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 DETROIT, MI 48226

ISSUED BY:
 SVA
 DATE: 02/28/20
 PROJECT NO.: 2022.002

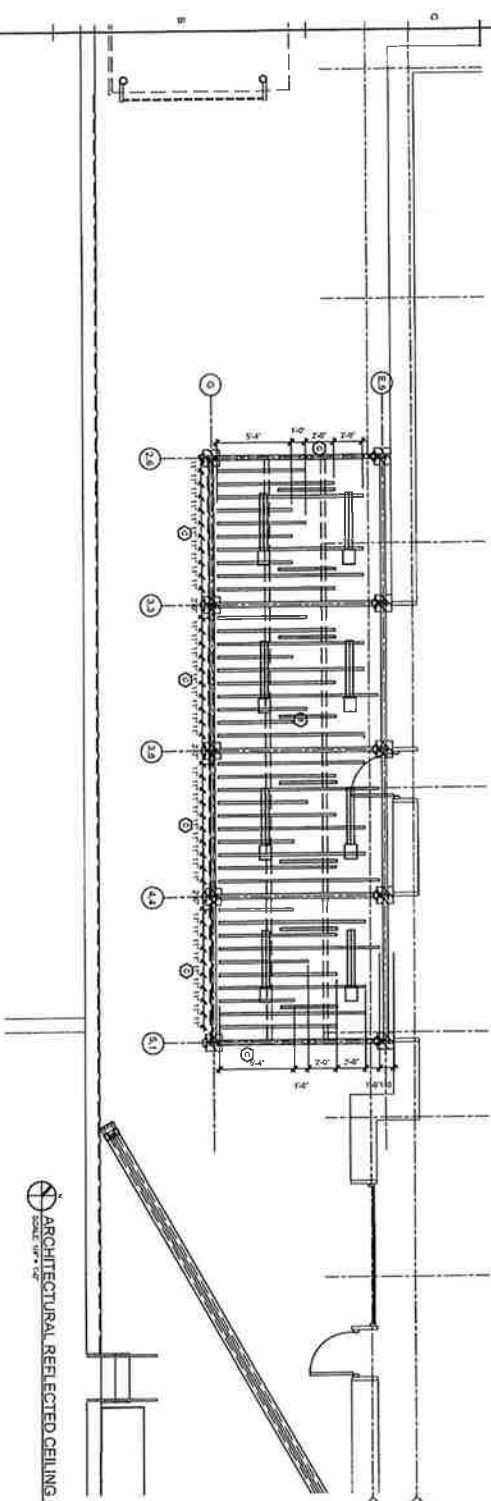
DESIGNED BY:
 SVA
 DATE: 02/28/20
 PROJECT NO.: 2022.002

SCALE:
 1/8" = 1'-0"

SP1.2



ARCHITECTURAL FLOOR PLAN



ARCHITECTURAL REFLECTED CEILING PLAN

GENERAL FLOOR PLAN NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS.
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15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS.

GENERAL ROP NOTES:

1. CONTRACTOR TO VERIFY ALL CEILING HANGERS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND REGULATIONS.
2. CONTRACTOR TO VERIFY ALL CEILING HANGERS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND REGULATIONS.
3. CONTRACTOR TO VERIFY ALL CEILING HANGERS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND REGULATIONS.
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15. CONTRACTOR TO VERIFY ALL CEILING HANGERS ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES AND REGULATIONS.

REFLECTED CEILING PLAN KEY NOTES:

1. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.
2. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.
3. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.
4. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.
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14. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.
15. PROVIDE EXISTING MOUNTED RECESSED LIGHTS AT ALL EXISTING RECESSED LIGHT LOCATIONS.

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PROJECT:
FRESH AND CANOPY
E-109 DENISE
220 W. CONGRESS
DETROIT, MI 48226

DESIGN BY:
FRESH AND CANOPY
PERMIT NUMBER: 02426
NO. OF SHEETS: 04/23

DATE: 2022.02.02

DESIGNED BY:
JAY, MARIANNE

SHEET TITLE:
FLOOR PLAN AND REFLECTED CEILING PLAN

PROJECT NO.:
2022.002

SCALE: 1/8" = 1'-0"

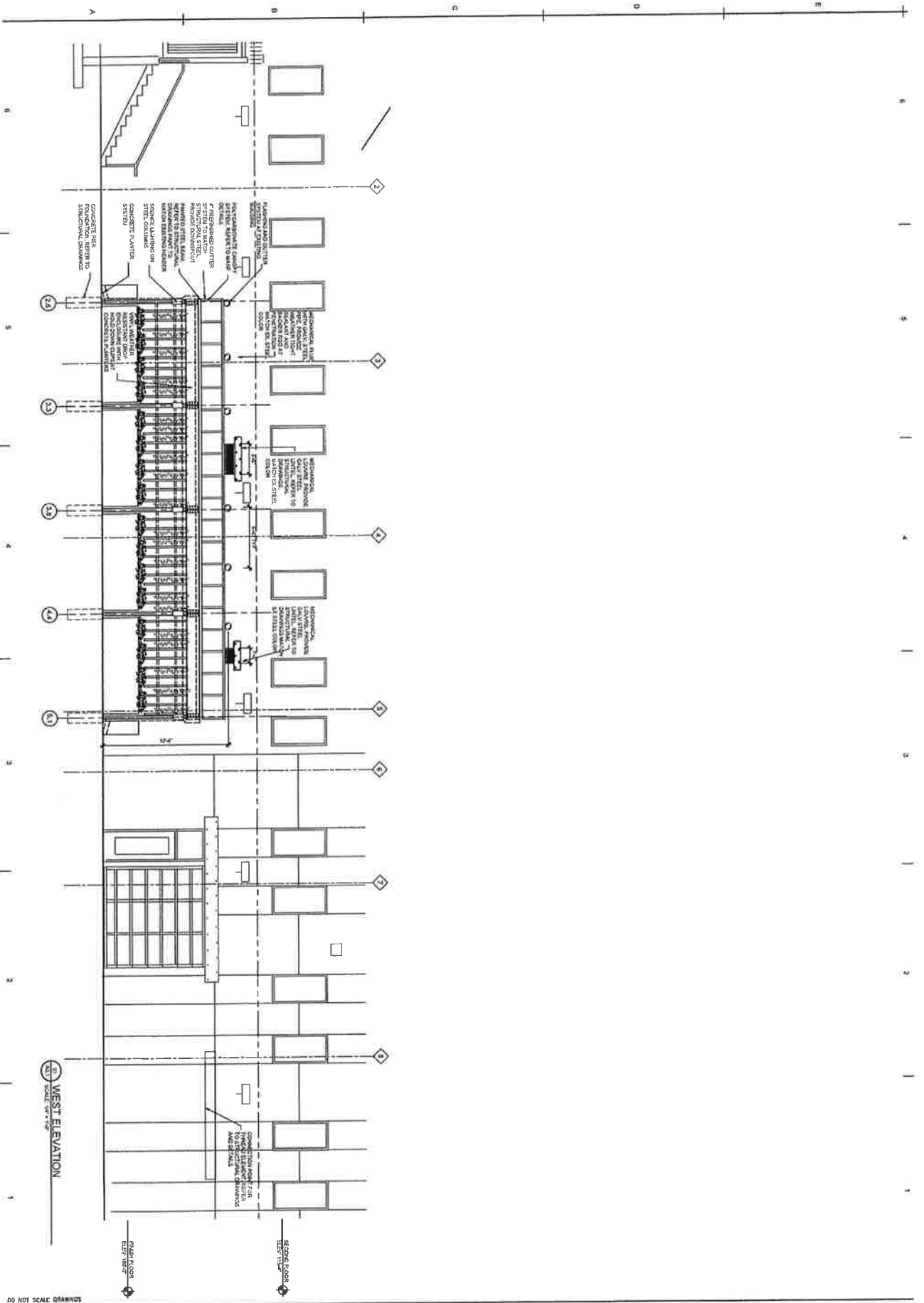
DO NOT SCALE DRAWING

A1.1

GENERAL FLOOR PLAN NOTES:

REFLECTED CEILING PLAN KEY NOTES:

GENERAL ROP NOTES:



SVA
STUCKE THALE ARCHITECTS
 27171 WOODWARD AVENUE
 ROYAL OAK, MI 48067-0725
 P: 248.574.5700
 F: 248.544.1494
 WWW.STUCKETHALE.COM

DESIGN & CONSTRUCTION:
 DESIGN BY SVA ARCHITECTS AND
 CONSTRUCTION BY JAMES RYAN
 CONSTRUCTION CO. INC. 1000 2ND ST. SW
 FIRM HILL, MI 48034. THE PROJECT IS
 THE PROPERTY OF SVA ARCHITECTS AND
 CONSTRUCTION BY JAMES RYAN CONSTRUCTION
 CO. INC. © 2022

Consultants:

Architect:
 JAMES RYAN CONSTRUCTION CO. INC.
 1000 2ND ST. SW
 FIRM HILL, MI 48034

Structural:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

MEP:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Interior:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Electrical:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Plumbing:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Paint:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

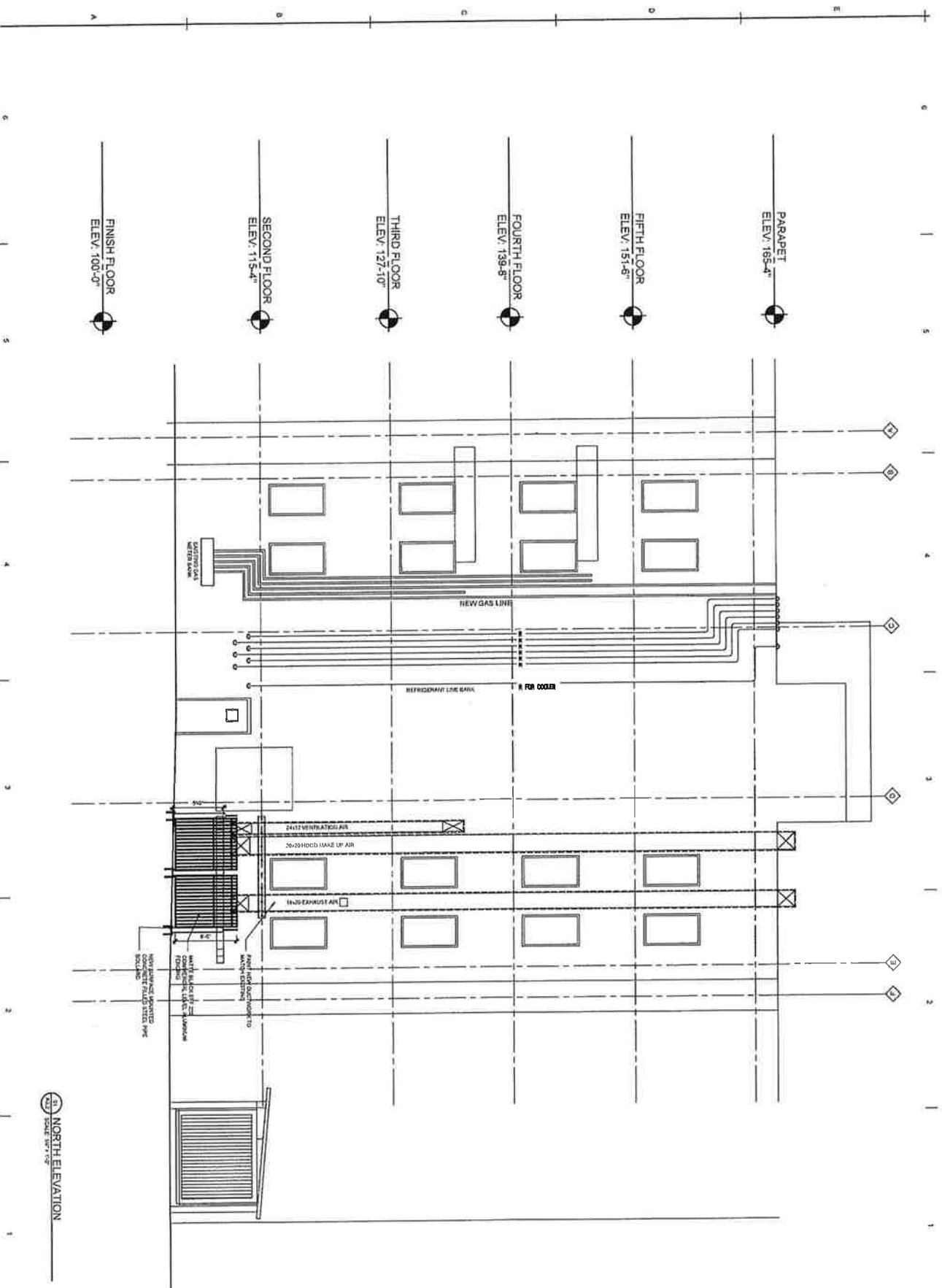
Signage:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Other:
 HOK ENGINEERING
 220 W. CONGRESS
 DETROIT, MI 48226

Drawn by:
 Checked by:
 JAN. W.B.A.J.D.
 SVA/TH/21
 EXTERIOR
 ELEVATIONS

Project No.:
 2022.002
 Sheet No.:
A3.1

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20 NORTH ELEVATION

DO NOT SCALE DRAWINGS
 Project No.: 2022.002
 Sheet No.: A3.2

Drawn by:
 Checked by:
 JAV/ALB/AJD
 Smart Title:
 EXTERIOR
 ELEVATIONS

Project:
 THIRD AND CANOPY
 220 W. CONGRESS
 DETROIT, MI 48226

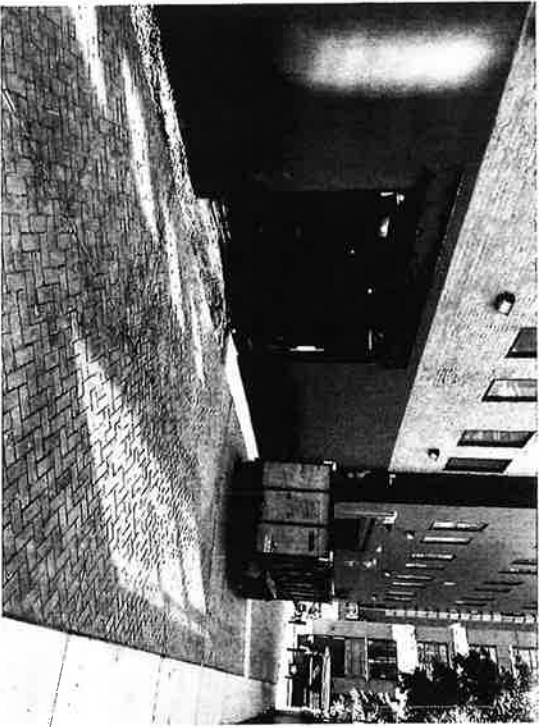
Issued by:
 03/20/25
 PERMIT REVISION 03/20/25
 FDC REVISION 04/23/25

SVA
 STONEY TIDALE ARCHITECTS
 27177 WOODWARD AVENUE
 ROYAL OAK, MI 48067-4125
 P: 248.546.1700
 F: 248.546.8454
 WWW.STONEYTIDALE.COM

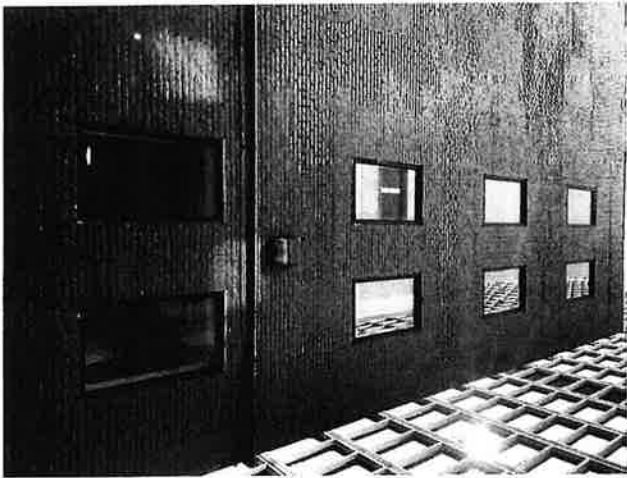
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EXISTING FACED FOR PLACEMENT OF WINDOW/DOOR



EXISTING FACED FOR PLACEMENT OF WINDOW/DOOR AND NEW COVER PENETRATION



EXISTING FACED TO SOLITE NEW DOOR FRAME TO EXIST STRUCTURE



EXISTING QUARTER TURN WALKWAY TO BE CLAD WITH NEW OVERHEAD STAIRS

SVA

STEVEN HINALE ARCHITECTS
2717 WOODWARD AVENUE
ANN ARBOR, MI 48107-0935
P. 734.564.5702
F. 734.564.8194
WWW.STEVENHINALE.COM

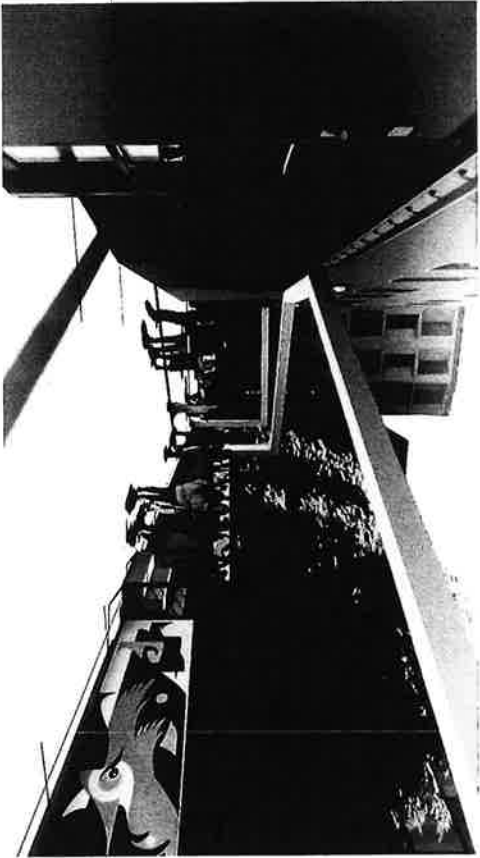
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SHOULD CONSULT WITH A
REGISTERED PROFESSIONAL ENGINEER
OR ARCHITECT FOR ALL
CONSTRUCTION.

Project:
THRESHOLD AND GARDNER
EXTERIOR DESIGN
DETROIT, MI 48226

Issued by:
FRANK RICHARDS
FRANK RICHARDS ARCHITECTS
1100 RENNINGER DRIVE
DETROIT, MI 48226

Drawn by:
SVA
Checked by:
JAV/MSB/AJP
SHEET TITLE:
EXTERIOR PHOTOS

Project No.:
2022.002
Sheet No.:
A3.3



SVA

STREET TRADE ARCHITECTS
27171 WOODWARD AVENUE
BOWLE OAK, MI 48015-4925
P. 248.574.1100
F. 248.574.8151
WWW.STREETTRADE.COM

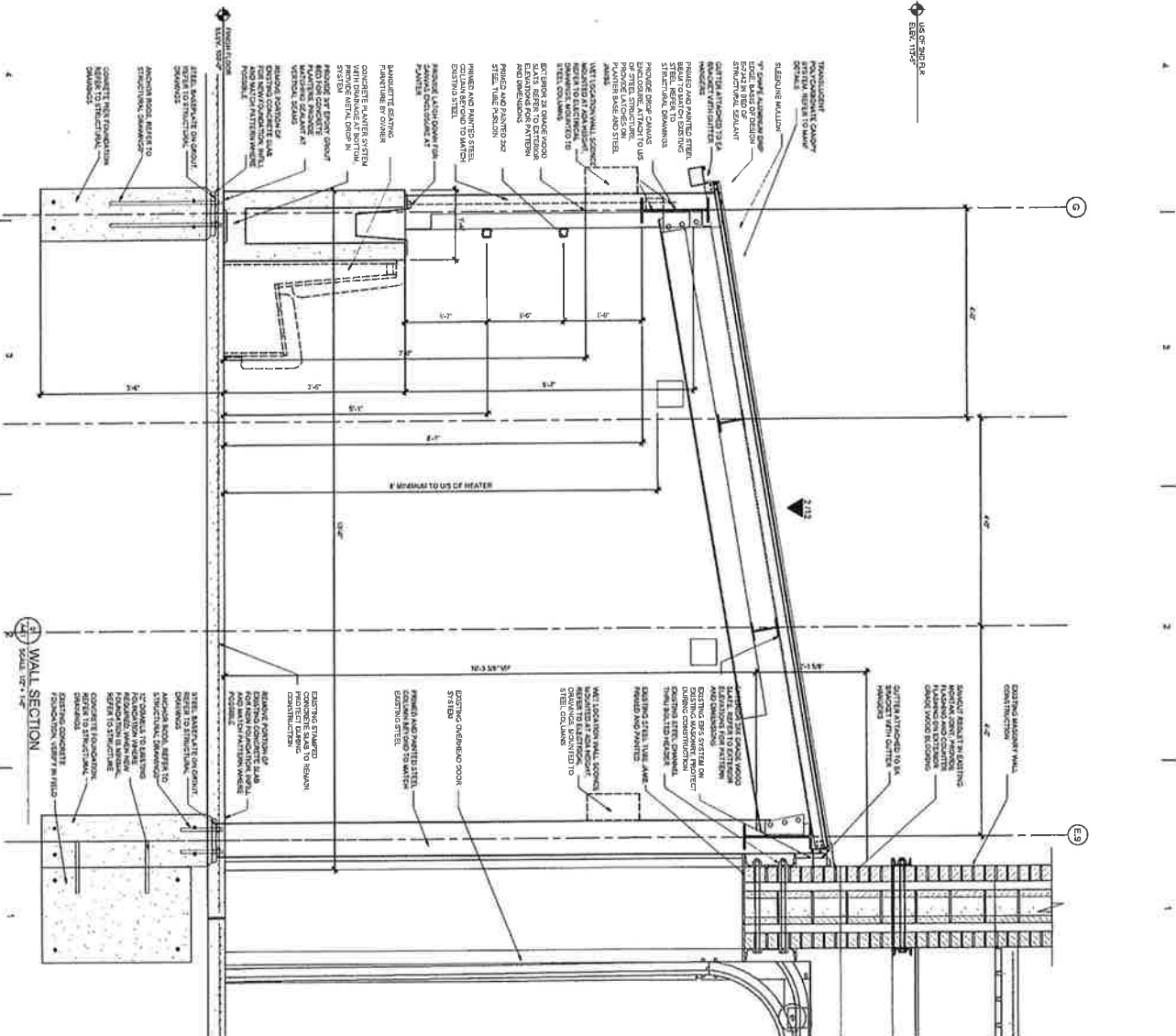
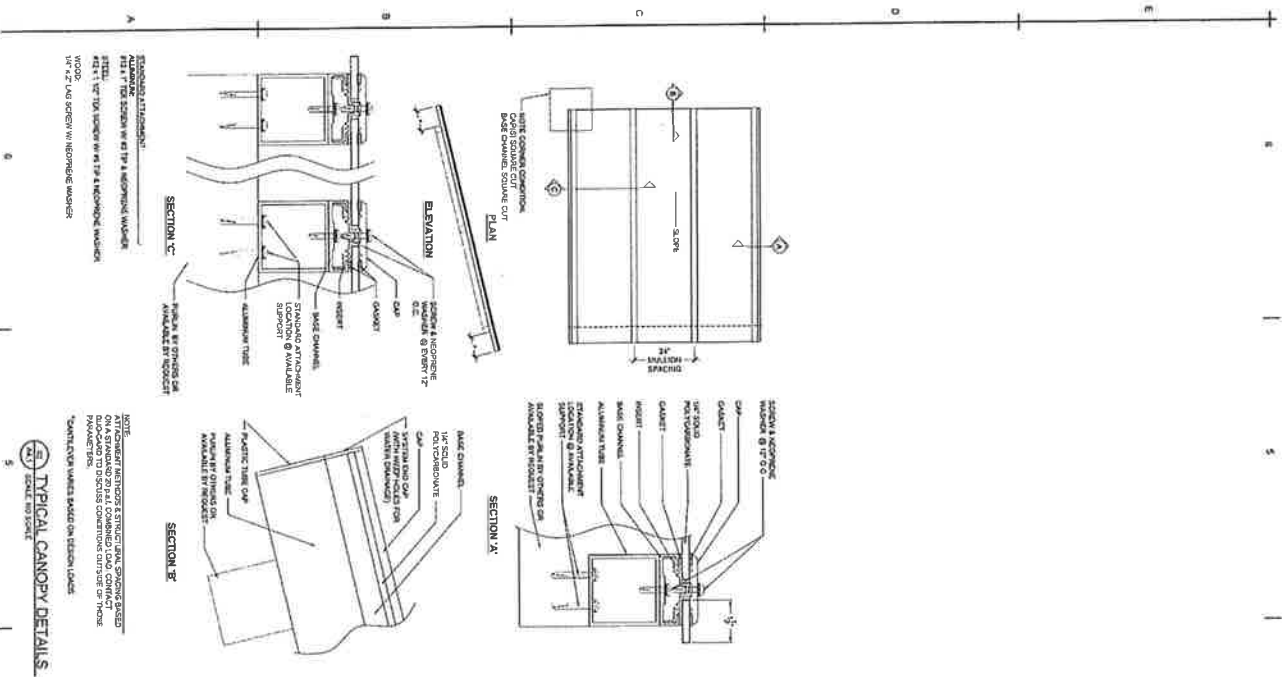
Render a finished scene. Quality depends on rendering method. For best results, use a high resolution rendering engine. For more information, visit us at www.render.com. Render.com is a registered trademark of Render.com, Inc. © 2010 Render.com, Inc.

Project:
THREAT AND CANOPY
ZACHARY DENSON
2110 CHANISSON
DETROIT, MI 48226

Issued by:
08/20/10
PERMIT REVIEWING 08/20/10
MDC REVIEWING 08/23/10

Drawn by:
Checked by:
SMB
Sheet Title:
EXTERIOR
RENDERINGS

Project No.:
2022.002
Sheet No.:
A3.4



PROJECT:
THRESH AND CANOPY
220 N. CONGRESS
DETROIT, MI 48226

DATE:
08.20.20
08.29.20
08.29.20
08.29.20

DESIGNED BY:
JAY M.B./JAD

CHECKED BY:
JAY M.B./JAD

SCALE:
AS SHOWN

PROJECT:
THRESH AND CANOPY
220 N. CONGRESS
DETROIT, MI 48226

DATE:
08.20.20
08.29.20
08.29.20
08.29.20

DESIGNED BY:
JAY M.B./JAD

CHECKED BY:
JAY M.B./JAD

SCALE:
AS SHOWN

PROJECT:
THRESH AND CANOPY
220 N. CONGRESS
DETROIT, MI 48226

DATE:
08.20.20
08.29.20
08.29.20
08.29.20

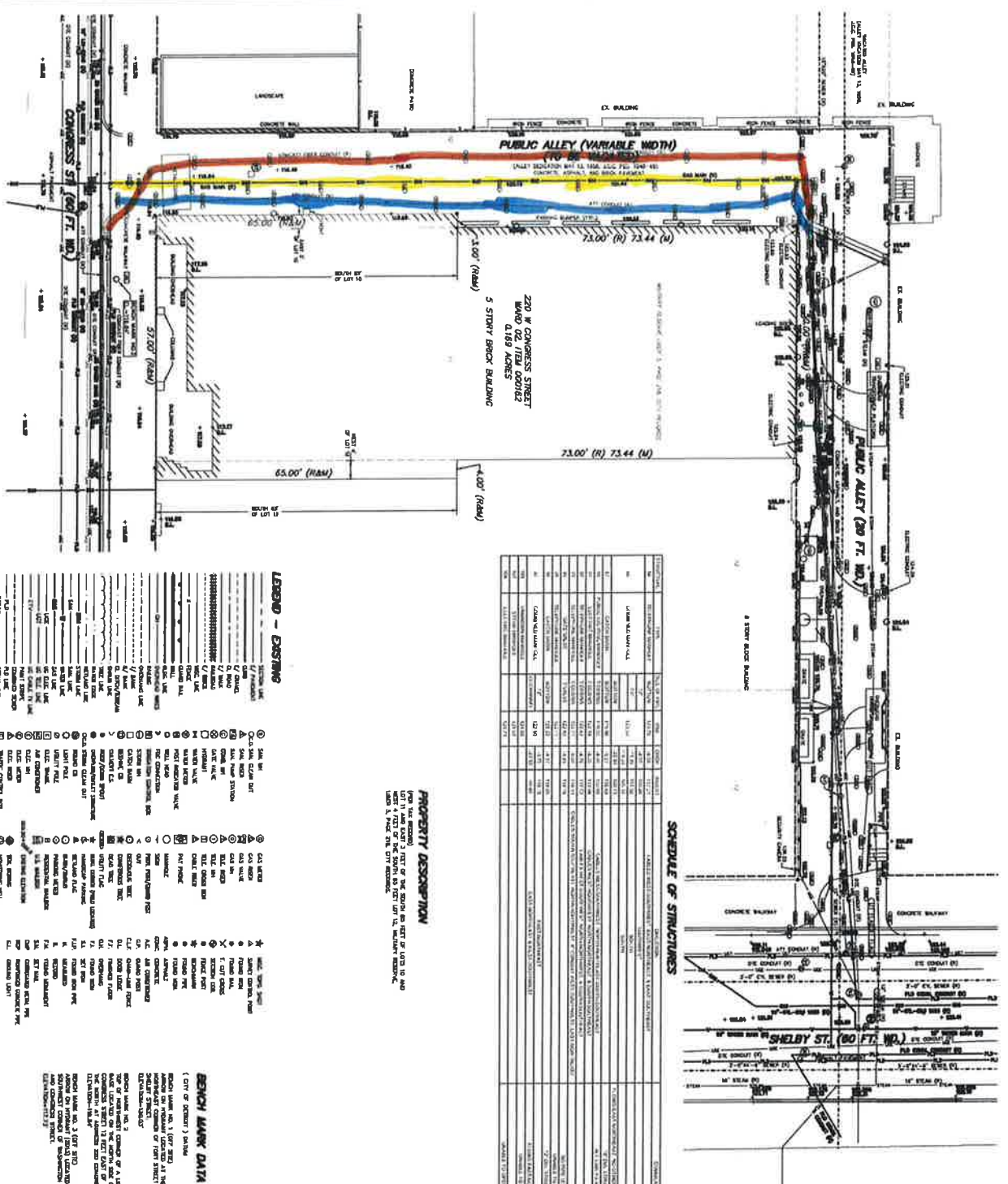
DESIGNED BY:
JAY M.B./JAD

CHECKED BY:
JAY M.B./JAD

SCALE:
AS SHOWN

EXHIBIT G

* Asphalt - Blue
 * Concrete - Orange
 * Metal Can Gas - Yellow



SCHEDULE OF STRUCTURES

NO.	DESCRIPTION	AREA (SQ. FT.)	VOLUME (CU. YD.)	REMARKS
1	CONCRETE	...	...	...
2	ASPHALT	...	...	...
3	METAL CAN GAS	...	...	...
4	...	...	...	...

LEGEND - EXISTING

Symbol	Description
Circle with dot	Survey Point
Circle with cross	Utility Valve
Circle with X	Manhole
Circle with triangle	Water Valve
Circle with square	Gas Valve
Circle with diamond	Electric Meter
Circle with star	Telephone
Circle with plus	Fire Hydrant
Circle with asterisk	Light Pole
Circle with hash	Sign
Circle with percent	Survey Station
Circle with ampersand	Corner Marker
Circle with at	Property Line
Circle with dollar	Setback Line
Circle with percent sign	Right-of-Way Line
Circle with ampersand sign	Utility Line
Circle with asterisk sign	Water Line
Circle with hash sign	Gas Line
Circle with percent sign	Electric Line
Circle with ampersand sign	Telephone Line
Circle with at sign	Fire Line
Circle with dollar sign	Light Line
Circle with percent sign	Sign Line
Circle with ampersand sign	Property Line
Circle with at sign	Setback Line
Circle with dollar sign	Right-of-Way Line

PROPERTY DESCRIPTION
 LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

NOTICES

1. THIS PLAN IS VALID ONLY IF THE OWNER OBTAINS ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.

BENCH MARK DATA
 (City of Denver) Survey
 Station Name: 1107 310
 Station Elevation: 5250.00
 Station Description: 1107 310
 Station Location: 1107 310

NOTES
 1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.

EXISTING CONDITIONS
 1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.

CONTACT INFORMATION
 220 W Congress Street
 Denver, CO 80202
 Phone: (303) 733-4400
 Fax: (303) 733-4401
 Email: info@webster.com

811
 One-Call Before You Dig
 Call before you dig

City of Denver
 220 W Congress Street
 Denver, CO 80202
 Phone: (303) 733-4400
 Fax: (303) 733-4401
 Email: info@webster.com

Webster
 220 W Congress Street
 Denver, CO 80202
 Phone: (303) 733-4400
 Fax: (303) 733-4401
 Email: info@webster.com

EXHIBIT H



October 28, 2022

VIA ELECTRONIC MAIL

Mr. Hari Krishna
Construction Projects Manager
Basco
220 W. Congress, Suite 200
Detroit, MI 48226
Via email: harik@bascomi.com

**RE: 220 W. Congress
Detroit, MI**

Dear Mr. Krishna,

Comcast is in receipt of a notice that the easement located on the above referenced property is being abandoned and requesting confirmation that Comcast has no facilities impacted by removal of the easement. We have reviewed the request and determined that Comcast has no facilities in the easement and, therefore, no objection to its removal/abandonment.

Should you have any questions or concerns regarding this matter, please do not hesitate to contact me directly at (734) 359-1474.

Thank you for your attention to this important matter.

Sincerely,

Sheila Schuch

Sheila Schuch
Construction Specialist 2
Comcast Cable

EXHIBIT I

AT&T EASEMENT AGREEMENT

WHEREAS, on or around September 11, 2018, the Detroit City Council adopted the resolution attached hereto as Exhibit A (the "Resolution"), which vacated the public right-of-way and converted into a private easement for public utilities (the "Easement") the real property legally described in the attached Exhibit B (the "Property").

WHEREAS, according to the Resolution, the Easement ran the full width of the right of way, subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution.

WHEREAS, Michigan Bell Telephone Company, a Michigan corporation, d/b/a AT&T Michigan, whose address is 444 Michigan Avenue, Detroit, Michigan, 48226 and its affiliates and licensees, successors and assigns (collectively "Grantee") benefit from the Easement.

WHEREAS, 220 W Congress Detroit LLC, a Michigan limited liability company whose address is 220 W. Congress, Detroit, MI 48226 ("Grantor") and Grantee have agreed to relocate the Easement and remove all restrictions related thereto, as set forth herein.

NOW, THEREFORE, in exchange for One and 00/100 Dollar (\$1.00), the receipt of which is hereby acknowledged, Grantor and Grantee agree as follows:

1. The Easement as described in the Resolution is hereby vacated with respect to Grantee's interest, and any and all restrictions located within and/or relating to the Easement for the benefit of Grantee are hereby terminated.
2. Grantor hereby warrants, grants, and conveys to Grantee the five (5) foot easement legally described in Exhibit C attached hereto and reflected in Exhibit D attached hereto and labeled, "5' (five foot) Westerly easement to AT&T" (the "Revised Easement Area"), for the purposes of and in order to construct, reconstruct, modify, supplement, maintain, operate and/or remove facilities for the transmission of signals used in the provision of communication, video and/or information services and/or any other services or uses for which such facilities may be used including, but not limited to, cables, wires, conduits, ducts, below-ground cable or wire enclosures, handholes, manholes, underground vaults, and other related or useful equipment, fixtures, appurtenances and facilities, which may from time to time be required, together with the right of ingress and egress across the Property for the purpose of access to and use of the Revised Easement Area.
3. Grantee expressly acknowledges, agrees and consents to Grantor, at Grantor's sole cost and expense, making the improvements reflected in Exhibit D attached hereto within the Revised Easement Area ("Grantor Improvements"), which Grantor Improvements shall require no further action or consent from Grantee. Grantee further expressly acknowledges and agrees that Grantor may make further improvements to and within the Revised Easement Area provided Grantor first remits to Grantee the site plan(s) for same and takes commercially reasonable precautions in installing same.
4. Grantee hereby agrees to promptly restore in good and workmanlike manner all property damaged, destroyed or disturbed in connection with Grantee's construction, reconstruction, maintenance, operation or removal activities related to Grantee's and its employees', contractors', representatives' and assigns' (collectively, the "Grantee Parties") use of the Easement Area and the Revised Easement Area and the exercise of any other rights of Grantee under this Easement Agreement and the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or any of the Grantee Parties on the Property or within the Revised Easement Area.

5. Grantee hereby agrees to indemnify and hold Grantor harmless from and against any and all damages, liabilities, claims and expenses, including but not limited to attorney's fees incurred by or asserted against Grantor which arise out of any personal injury or death or property damage arising out of any of Grantee's or the Grantee Parties' construction, reconstruction, maintenance, operation, removal or restoration activities under this Easement Agreement or the exercise of any other rights of Grantee or the Grantee Parties under this Easement Agreement or the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or the Grantee Parties on the Property or within the Easement Area or the Revised Easement Area.
6. This Easement Agreement is binding upon and shall inure to the benefit of the heirs, successors, assigns, and licensees of the parties hereto.
7. This transfer is exempt from the Real Estate Transfer Tax pursuant to MCLA 207.505(a) and from State Real Estate Transfer Tax pursuant to MCLA 207.526(a).

[Signatures appear on the following page]

IN WITNESS WHEREOF, the undersigned have hereunto set their hand and seal this 20th day of January 2023.

GRANTOR: 220 W Congress Detroit, LLC
a Michigan Limited Liability Company

GRANTEE: Michigan Bell Telephone Company, a
Michigan Corporation, d/b/a AT&T
Michigan

By: [Signature]
Signature of: Roger Basmajian
Title: manager

By: [Signature]
Signature of: Angela Wesson
Title: ROW Manager

STATE OF MICHIGAN)
)ss)
COUNTY OF Wayne)

The foregoing instrument was acknowledged before me this 20th day of January 2023, by Roger Basmajian, the MANAGER of 220 W Congress Detroit, LLC, a Michigan Domestic Limited Liability Company, known to be the person named in and who executed the within instrument as Grantor and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: [Signature]
Bridgette A. Smith

BRIDGETTE A SMITH
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WAYNE
My Commission Expires September 22, 2028
Acting in the County of Wayne

Wayne

Wayne County, Michigan, acting in Wayne County My Commission Expires 09/22/2028

STATE OF MICHIGAN)
)ss)
COUNTY OF Macomb)

The foregoing instrument was acknowledged before me this 27 day of January 2023, by Angela Wesson, the ROW Manager of Michigan Bell Telephone Company, a Michigan Corporation, d/b/a AT&T Michigan, known to be the person named in and who executed the within instrument as Grantee and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: [Signature]
Adrienne J. Strubank

ADRIENNE J. STRUBANK
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES May 3, 2027
ACTING IN COUNTY OF Macomb

Wayne County, Michigan, acting in Macomb County My Commission Expires 5.3.2027

Return to:
Angela M Wesson
Right-of-Way Manager
54 N Mill Street
Pontiac, MI 48342

Document Drafted By:
AT&T Legal Department – Right-of-Way
208 S. Akard St
Dallas, TX 75202
Insertions by: Angela M Wesson

Exhibit A

FEB-10 09:10:56

Bernard J. Youngblood
Wayne County Register of Deeds
2828033508 Lr 55589 P: 1167
02/10/2020 10:08 AM RGS Total Pages: 2

<p>Department of Public Works City Engineering Division July 27, 2018</p> <p>Honorable City Council: Re: Petition No. 145 — 220 W. Congress Detroit, LLC request to convey the alley running north-south to Con- gress Street and enter into a mainte- nance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington</p> <p>Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east- west alley, 20 feet wide, all in the block of Congress Street, 80 feet wide, Fort Street, 100 feet wide, Washington Boule- vard, 90 feet wide, and Shelby Street, 60 feet wide.</p> <p>The petition was referred to the City Engineering Division — DPW for investi- gation (utility review) and report. This is our report.</p> <p>The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.</p>	<p>The request was approved by the Solid Waste Division — DPW, and City Engi- neering Division — DPW, Traffic Engineering — DPW approves provided that 100% signatures of abutting property owners are secured; however, three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:</p> <ol style="list-style-type: none"> 1) Property owner at 201 W. Fort Street: Abwater Acquisitions LLC 201 West Fort Street Detroit, Michigan 48228 2) Property owner at 211 W. Fort Street: 211 Fort Washington Associates 211 West Fort Street #1604 Detroit, Michigan 48228 3) Property owner at 625 Shelby Street: HB Hospitality Detroit, LLC P.O. Box 2386 Birmingham, Michigan 48012 <p>The Planning and Development Department has no objection to the pro- posed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley. Detroit Water and Sewerage Department (DWSD) has no objection to the conver- sion to easement. The specific DWSD provisions for easements are included in the resolution.</p>	<p>DTE — Gas Division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,861.84 and a provision for the relo- cation of DTE — Gas services is a part of the attached resolution.</p> <p>Comcast reports involvement and the estimated cost of removal/relocation of their services to \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.</p> <p>All other involved City Departments, and privately owned utility companies have reported no objections to the conver- sion of the public rights-of-way into private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.</p> <p>I am recommending adoption of the attached resolution.</p> <p>Respectfully Submitted, RICHARD O'HERTY, P.E. City Engineer City Engineering Division — DPW By Council Member Ayes:</p> <p>Resolved, That all that part of the east- west alley, 20 feet wide, all in the block of Congress Street, 80 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 90 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the westerly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly</p>
---	--	--

STATE OF MICHIGAN) · ss. SHORT FORM-TRUE COPY CERTIFICATE
CITY OF DETROIT)

I, Janice M. Winfrey CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

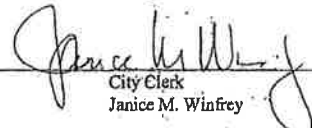
and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
Set my hand and affixed the Corporate
Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
Return to:
Deborah Outlaw
2 Woodward
200 CAYMC
Detroit, MI 48226



City Clerk
Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the easterly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (Approved May 20, 1825) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of said City also known as the Military Tract or Reserve as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said right-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary fire fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division - DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicles, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required by Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe jacks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main; and so forth.

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points of deflection; and so forth.

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and so forth.

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, it is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and so forth.

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be it also Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 50 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 50 feet wide, and Shelby Street, 50 feet wide, as copied and accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plot of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 20, 1825, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southeastern corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwestern corner, and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the westerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 28d 00m 50a E. 73.00 feet to a point; thence S. 29d 58m 50a E. 55.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said right-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioners/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or encasing of the utility companies and city departments sewers or grading of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE - Gas Division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,881.84 with all costs to be borne by the petitioner; and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.65 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:
 Yeas - Council Members Ayers, Castaneda-Lopez, McCallister, Jr., Solvey, Talo and President Jones - 4.
 Nays - None.

Exhibit B

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

Exhibit C

The Easement Area is legally described as:

The Westerly 5 (five) feet of the below described property. The same being described as a 5 (five) foot wide strip of land, parallel and adjacent to the Westerly property line.

The Property is legally described as:

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30", 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

Exhibit D

SVA
STRUCTURAL VENTURES ASSOCIATES
 1717 BROADWAY SUITE 200
 HOUSTON, TX 77002-3333
 P. 281.556.1711
 F. 281.556.1811
 WWW.SVASTRUCTURE.COM

GENERAL SITE PLAN NOTES:

1. PROVIDE ALL DIMENSIONS TO THE CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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20. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

PROJECT:
 RESTAURANT BUILD OUT
 2021V, COMPLESS
 DETAIL: 101 0026

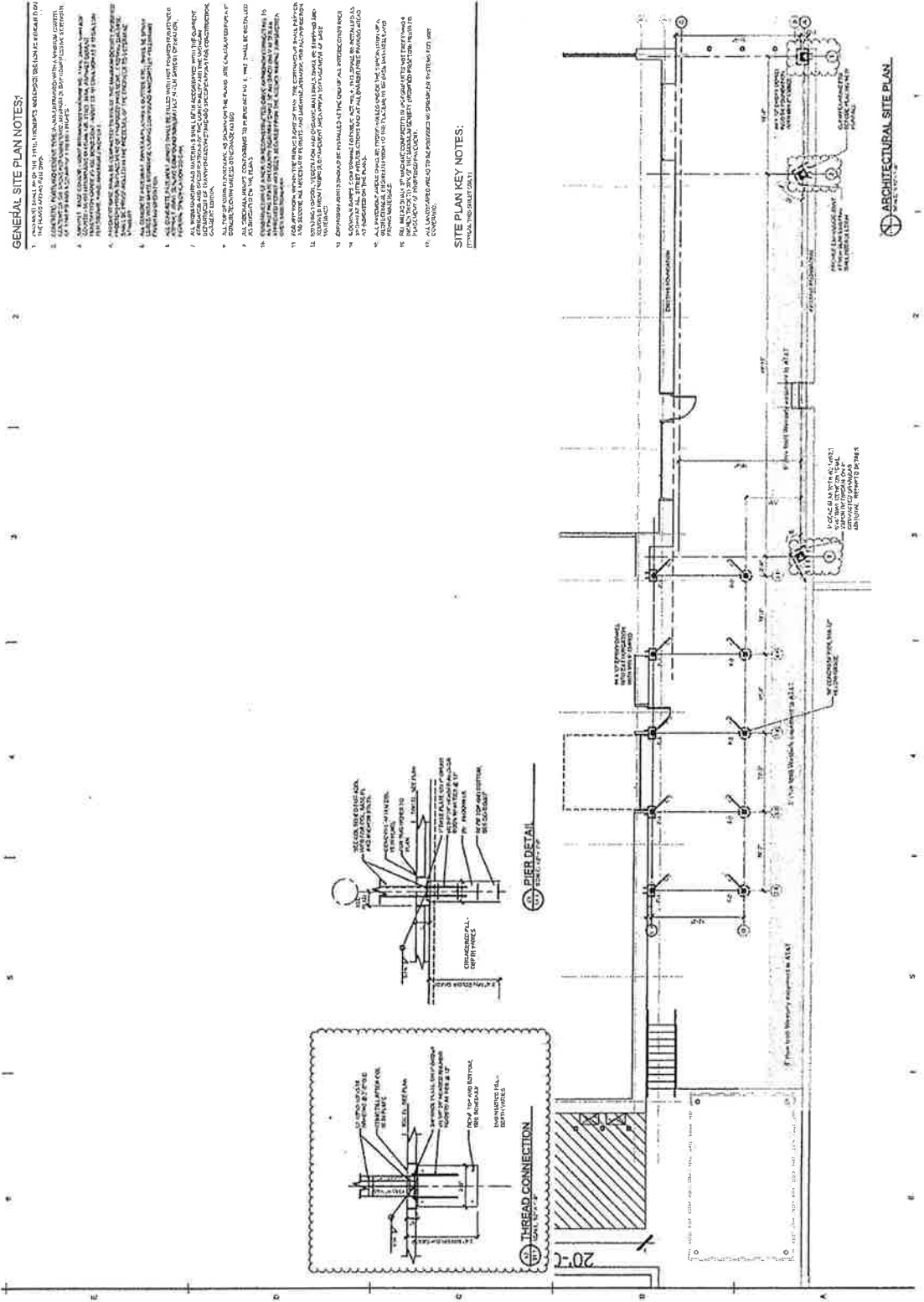
SITE PLAN KEY NOTES:
 (CONTINUED FROM SHEET 001)

1. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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PROJECT:
 RESTAURANT BUILD OUT
 2021V, COMPLESS
 DETAIL: 101 0026

SITE PLAN KEY NOTES:
 (CONTINUED FROM SHEET 001)

1. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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20. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.



Project No: 2021-069
 Sheet No: SP1.1

Prepared by: SVA
 Checked by: JAC, SVA
 Date: 10/10/2021
 Project: RESTAURANT BUILD OUT
 Detail: 101 0026

ARCHITECTURAL SITE PLAN

EXHIBIT J

Rogers, Elizabeth

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Wednesday, February 8, 2023 11:52 AM
To: Rogers, Elizabeth
Subject: Re: Vacation of Easement

| - You've never replied to this person.

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Good morning, Elizabeth. The parcel that is the north-south alley to Congress is clear. No assets. The east-west alley would require coordination and more investigation on the part of the applicant. According to City records there are DWSD assets in the east-west alley, both water (6") and sewer (15", upstream end of a 15x20" sewer). At least one other customer appears to be tapped off this water main. If the applicant is willing to do some CCTV investigation on the sewer line, and in the case that nothing else was tied into the line, it is possible that DWSD would allow abandonment of that asset.

Regards,
Jacob

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Tuesday, February 7, 2023 1:09 PM
To: erogers@taftlaw.com <erogers@taftlaw.com>
Subject: RE: Vacation of Easement

Good afternoon, Elizabeth. I will confirm if DWSD has assets within this easement area. If we do, we will request a development plan of what is happening or planned to happen on this parcel. Relocation of water/sewer mains will depend on what the future plans for this site are. I will be able to confirm if we have assets in the area by the end of the day, hopefully. If not, you will hear from me tomorrow morning. Is your client aware that the costs of relocating a water/sewer main will be borne by the Property Owner, not the city? Do you guys already have engineering plans on where you wish to relocate such assets? Could you provide that to me so I can share it with our engineers? Thanks

Regards,



Jacob S. Bahri
Associate General Counsel
P: 313.880.2763
E: Jacob.Bahri@detroitmi.gov
DETROIT WATER AND SEWERAGE DEPARTMENT
735 Randolph St. • Detroit, MI 48226
www.detroitmi.gov/DWSD
Customer Care: 313.267.8000

Michael E. Duggan, Mayor

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system, and destroy any copies. This email may contain an offer to compromise or contain a negotiation to compromise or settle a disputed fact or claim. Therefore, this communication is protected pursuant to MRE 408.

From: Rogers, Elizabeth <erogers@taftlaw.com>
Sent: Tuesday, February 7, 2023 12:20 PM
To: Debra Pospiech <Debra.Pospiech@detroitmi.gov>
Subject: [EXTERNAL] Vacation of Easement

Good afternoon, Debra,

This office represents 220 W. Congress Detroit, LLC, the owners of 220 W. Congress located in Detroit.

My clients are seeking DWSD's support for the vacation of the public utilities easement preserved by the attached Detroit City Council Resolution. If DWSD has facilities within the easement, please advise so that we can discuss relocation. If there are no facilities within the easement, kindly provide a signed letter on DWSD letterhead confirming that you have no objections to vacation of the easement.

The signed letter can be sent to me electronically and addressed to:
220 W. Congress Detroit, LLC
c/o Elizabeth Rogers, Esq.
Taft, Stettinius & Hollister
27777 Franklin Road
Ste. 2500
Southfield, Michigan 48034

If you have any questions, please do not hesitate to contact me.

Thanks,
Liz Rogers



Elizabeth Rogers
Partner
erogers@taftlaw.com
Dir: 248.727.1617
Tel: 248.351.3000
27777 Franklin Rd
Suite 2500
Southfield, Michigan 48034

Taft Bio
Download vCard
taftlaw.com



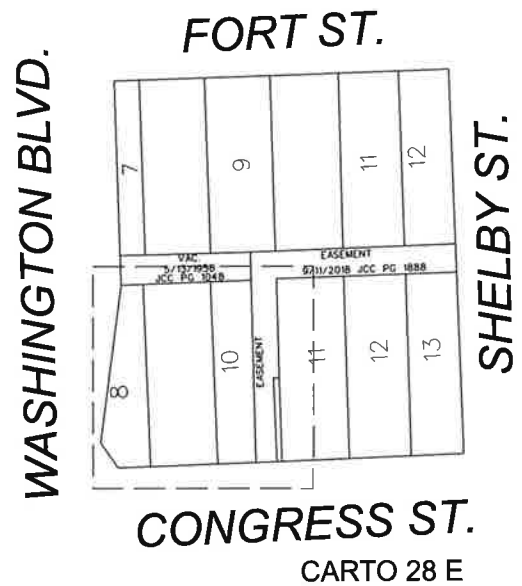
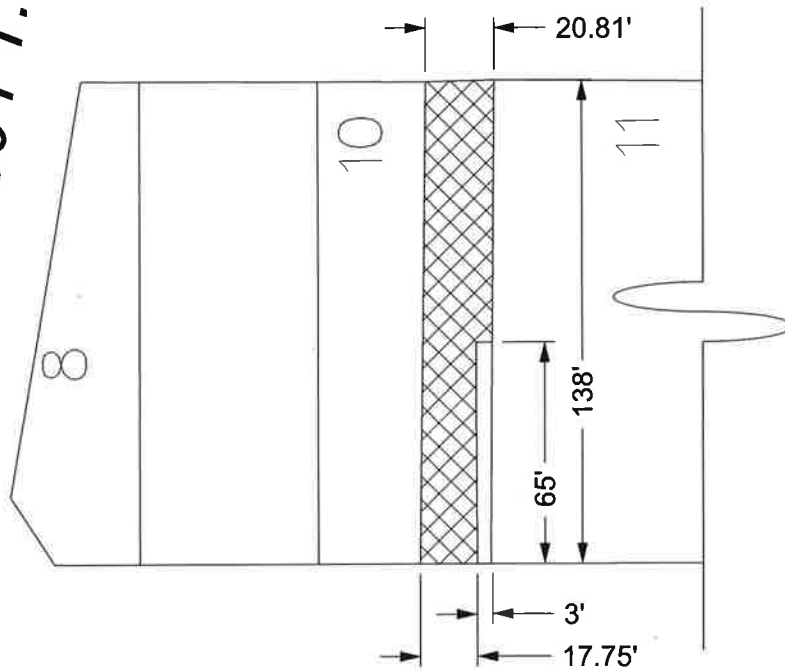
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WASHINGTON BLVD 80 FT. WD.
 CONGRESS ST. 60 FT. WD.



- OUTRIGHT VACATION

(FOR OFFICE USE ONLY)

B					
A					
DESCRIPTION	DRWN	CHKD	APPD	DATE	
REVISIONS					
DRAWN BY	AP	CHECKED	LC		
DATE	04-26-23	APPROVED	JD		

REQUEST TO OUTRIGHT VACATE
 THE NORTH/SOUTH PUBLIC ALLEY,
 VARIOUS WIDTHS
 IN THE BLOCK BOUND BY
 FORT, SHELBY, CONGRESS ST.
 AND WASHINGTON BLVD.

CITY OF DETROIT CITY ENGINEERING DIVISION SURVEY BUREAU	
JOB NO.	01-01
DRWG. NO.	MAP-23-58