



Elizabeth Rogers
erogers@taftlaw.com
(248) 727-1617

April 24, 2022

City of Detroit Department of Public Works
Maps and Records Bureau
2 Woodward Avenue, Ste.
Detroit, Michigan 48226

**Re: Vacation of north-south alley - 220 West
Congress**

Dear Sir or Madam,

This office represents petitioner 220 W. Congress Detroit, LLC ("**Petitioner**") with respect to the above referenced matter.

This correspondence is Petitioner's Letter of Intent to request the outright vacation of the north-south alley 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by the Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and legally described in **Exhibit A** attached hereto (the "**North-South Alley**").

By Petition No. 145, Petitioner requested an outright vacation of the North-South Alley, which request is reflected in a letter dated July 10, 2018 ("**July 10th Letter**") to the Detroit City Council from the City of Detroit Department of Public Works City Engineering Division ("**DPW**") attached hereto as **Exhibit B**. The July 10th Letter was subsequently amended by a July 27, 2018 letter from DPW to the Detroit City Council that requested the North-South Alley be outright vacated and instead converted to an easement. See **Exhibit C**.

On September 11, 2018, the Detroit City Council adopted a resolution (the "**Resolution**") vacating the North-South Alley as a public right-of-way and converting it into a private easement for public utilities subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution, a copy of which is attached hereto as **Exhibit D**. The Resolution was approved by the Mayor on September 17, 2018, and recorded with the Office of the Wayne County Register of Deeds on February 10, 2020 at Liber 55569, Page 1167.

The restrictions reflected in the Resolution have prevented Petitioner from completing its intended improvements within the North-South Alley, as Petitioner has been prohibited from pulling the required permits and completing work within the North-South Alley so long as the North-South Alley remains an easement for public utilities. Accordingly, Petitioner hereby requests that:

- (i) the North-South Alley be outright vacated; and
- (ii) the existing easement for public utilities be terminated, together with any and all related restrictions.

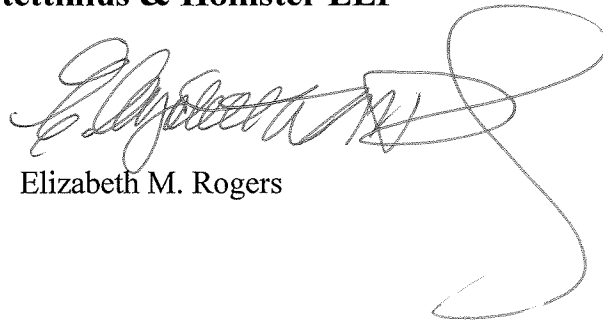
To further support its request, Petitioner has attached the following documents hereto:

1. Letter of Support from the adjacent landowner (**Exhibit E**);
2. Site Plan (**Exhibit F**);
3. Utility Plan (**Exhibit G**);
4. Confirmation from Comcast that it has no facilities impacted by removal or termination of the public utility easement within the North-South Alley (**Exhibit H**);
5. Recorded Easement Agreement from AT&T reflecting the relocation and termination of its easement from the existing public easement within the North-South Alley (**Exhibit I**); and,
6. Confirmation from the Detroit Water and Sewerage Department that it has no assets within the North-South Alley (**Exhibit J**).

If you require anything further, please do not hesitate to contact me.

Sincerely,

Taft Stettinius & Hollister LLP

A handwritten signature in black ink, appearing to read "Elizabeth M. Rogers", with a large, stylized flourish extending from the end of the signature.

Elizabeth M. Rogers

EXHIBIT A

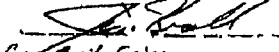
Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

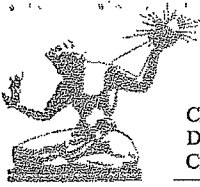
Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT


for Basil Seay

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT B



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVENUE, SUITE 601
DETROIT, MI 48226
PHONE: (313) 224-3949 · TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

July 10, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

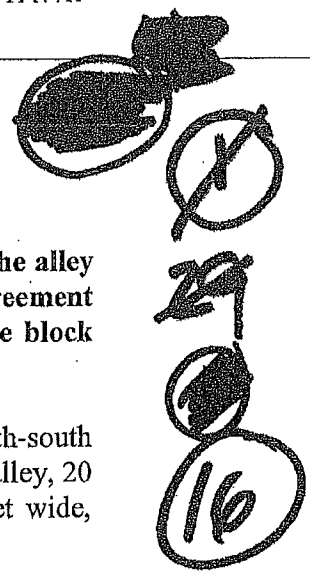
The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor’s records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department objects to this proposed change in property. The requested conversion to easement and vacation will prevent service access to neighboring businesses, fire and safety access to surrounding buildings will be affected.



ENTERED JUL 23 2018 BB L WK. (211) 2-2 (JA; AM)

ENTERED JUL 30 2018 MFFINS JA (211)

7/31/18 (Formal Session) - Send Back to Committee

CITY CLERK 2018 JUL 13 PM 12:17

ENTERED SEP 10 2018



Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE – Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE – Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$95,515.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

The attached resolution granting the request is submitted for your consideration.

Respectfully submitted,

Richard Doherty, P.E., City Engineer
City Engineering Division – DPW

/JK

Cc: Ron Brundidge, Director, DPW
Mayor's Office – City Council Liaison

BY COUNCIL MEMBER

Benson

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement or right-of-way over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth,

Second, said utility easement or right-of-way in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement or right-of-way. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,

nor change of surface grade made, without prior approval of the City Engineering Division -- DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same is hereby vacated (outright) as public right-of-way, subject to the following provisions:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE – Gas division for removal of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

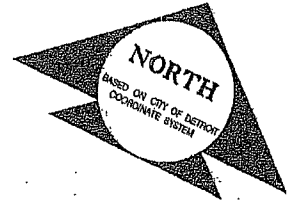
Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$95,515.95 to be borne by the petitioner, and further

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division – DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

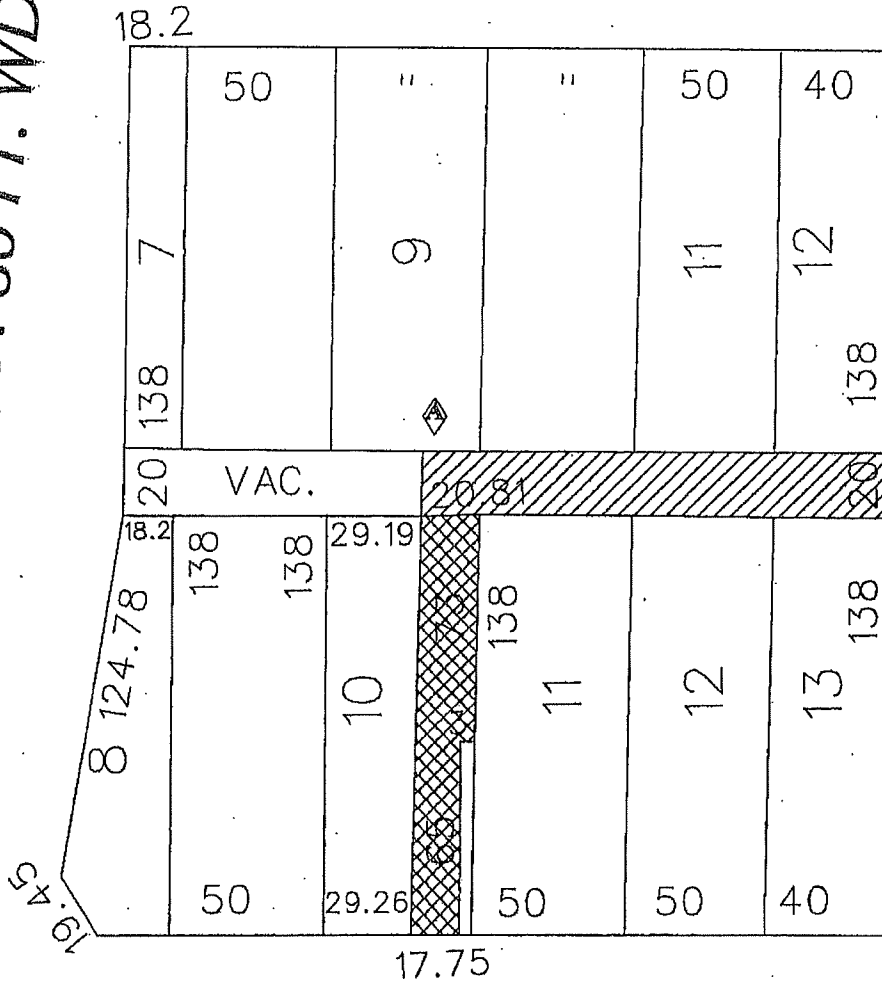
PETITION NO. 145
 220 W. CONGRESS DETROIT LLC
 607 SHELBY, SUITE 400
 DETROIT, MICHIGAN 48226
 C/O ROGER BASMAJIAN
 PHONE NO. 313 727-4886

"REVISED"



FORT ST. 100 FT. WD.

WASHINGTON BLVD. 80 FT. WD.



SHELBY ST. 60 FT. WD.

CONGRESS ST. 60 FT. WD.



- OUTRIGHT VACATION



- CONVERSION TO EASEMENT

(FOR OFFICE USE ONLY)

CARTO 28 E

B										CONVERSION TO EASEMENT THE EAST/WEST PUBLIC ALLEY, 20 FT. WD. AND OUTRIGHT VACATE THE NORTH/SOUTH PUBLIC ALLEY, VARIOUS WIDTHS IN THE BLOCK BOUND BY FORT, SHELBY, CONGRESS ST. AND WASHINGTON BLVD.		CITY OF DETROIT CITY ENGINEERING DEPARTMENT SURVEY BUREAU	
A		WLV		KSM		KSM		5/30/18					
DESCRIPTION		DRWN	CHKD	APPD	DATE					JOB NO. 01-01		DRWG. NO. X 145	
DRAWN BY		WLV		CHECKED		KSM							
DATE		03-02-18		APPROVED									

EXHIBIT C



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

1
COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 311
FAX: (313) 224-3471
WWW.DETROITMI.GOV

July 27, 2018

Honorable City Council:

RE: Petition No. 145 – “220 W. Congress Detroit, LLC” request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division – DPW for investigation (utility review) and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division – DPW, and City Engineering Division – DPW. Traffic Engineering – DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:

- 1) Property owner at 201 W. Fort Street:
Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street:
211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street:
HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.

Received @ Table PHS



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 - TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE -- Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE -- Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into a private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

I am recommending adoption of the attached resolution.

Respectfully submitted,


Richard Doherty, P.E., City Engineer
City Engineering Division - DPW

/KM

Cc: Ron Brundidge, Director, DPW
Mayor's Office - City Council Liaison



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 711
FAX: (313) 224-3471
WWW.DETROITMI.GOV

BY COUNCIL MEMBER

RESOLVED, that all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street "The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into Lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth;

Second, said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition,

Third, said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement,



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3943 • TTY: 711
FAX: (313) 224-3471

nor change of surface grade made, without prior approval of the City Engineering Division
- DPW,

Fourth, that if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement; such owners shall pay all costs incidental to such removal and/or relocation, unless such changes are waived by the utility owners,

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, that an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, that free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe trucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, that the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, that said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, that if any time in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3549 • TTY: 711
FAX: (313) 224-3471

WWW.DETROIT.CITY

provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incident to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further:

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further:

Be It Also Resolved, that all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwestery corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, that petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, that the petitioner makes the necessary arrangements with DTE - Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further



CITY OF DETROIT
DEPARTMENT OF PUBLIC WORKS
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVE. SUITE 601
DETROIT, MICHIGAN 48226
PHONE: (313) 224-3949 • TTY: 711
FAX: (313) 224-3471

~~Provided, that the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further~~

Provided, that if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division - DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, that the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

16

ADOPTED AS FOLLOWS
COUNCIL MEMBERS

	YEAS	NAYS
Janee AYERS		
Scott BENSON		
Raquel CASTANEDA-LOPEZ		
Gabe LELAND		
Roy MCCALISTER, JR.		
*Mary SHEFFIELD		
Andre SPIVEY		
James TATE		
Brenda PRESIDENT JONES		
*PRESIDENT PRO TEM		
	6	0
WAIVER OF RECONSIDERATION (No. _____)		
Per motions before adjournment.		
.....		

EXHIBIT D

20 FEB-10 AM10:56

Bernard J. Youngblood
Wayne County Register of Deeds
2020033508 L: 55569 P: 1167
02/10/2020 10:58 AM RES Total Pages: 2



Department of Public Works
City Engineering Division
July 27, 2018

Honorable City Council:
Re: Petition No. 145 — 220 W. Congress Detroit, LLC request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington

Petition No. 145 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.

The petition was referred to the City Engineering Division — DPW for investigation (utility review), and report. This is our report.

The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.

The request was approved by the Solid Waste Division — DPW, and City Engineering Division — DPW, Traffic Engineering — DPW approves provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:

- 1) Property owner at 201 W. Fort Street: Atwater Acquisitions LLC
201 West Fort Street
Detroit, Michigan 48226
- 2) Property owner at 211 W. Fort Street: 211 Fort Washington Associates
211 West Fort Street #1604
Detroit, Michigan 48226
- 3) Property owner at 625 Shelby Street: HB Hospitality Detroit, LLC
P.O. Box 2386
Birmingham, Michigan 48012

The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.

Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.

DTE — Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,801.84 and a provision for the relocation of DTE — Gas services is a part of the attached resolution.

Comcast reports involvement and the estimated cost of removal/relocation of their services is \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.

All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.

I am recommending adoption of the attached resolution.

Respectfully Submitted,
RICHARD DOHERTY, P.E.
City Engineer
City Engineering Division — DPW

By Council Member Ayers:
Resolved, That all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly line of Congress Street.

STATE OF MICHIGAN) ss. SHORT FORM-TRUE COPY CERTIFICATE
CITY OF DETROIT)

I, Janice M. Winfrey CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
Set my hand and affixed the Corporate
Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
Return to:
Deborah Outlaw
2 Woodward
200 CAYMC
Detroit, MI 48226

City Clerk
Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lois 10, 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (approved May 20, 1826) to the City of Detroit as the same have been divided into lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, removing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or things usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing, or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of

the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary fire fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division — DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right of ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe bucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be it Also Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with the northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of

Congress Street, 127.45 feet to a point, said point being the southwestery corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said rights-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioner/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE — Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 with all costs to be borne by the petitioner, and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.95 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:

Yeas — Council Members Ayers, Castaneda-Lopez, McCallister, Jr., Spivey, Tale and President Jones — 6.

Nays — None.

Exhibit A

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

DESCRIPTION CORRECT

[Signature]
By *[Signature]*

A/K/A 230 W. Congress
Ward 02 Item 000162

EXHIBIT E

July 12, 2022

To: City Engineering Division-Department of Public Works
Detroit Water and Sewerage Department

Re: Enhancements to 230 West Congress St. Detroit, MI 48226

To Whom It May Concern,

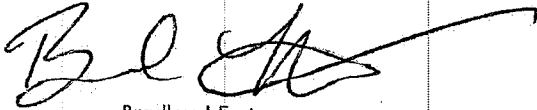
I am writing this letter to express our full support for the latest plan Mr. Basmajian has developed and wishes to implement on the parcel of land located at 230 West Congress St. Detroit, MI 48226, which is adjacent to the building 211 West Fort Detroit, LLC owns at 211 W Fort St. Detroit, MI 48226.

We find the improvements (attached to this letter) for the parcel at 230 W. Congress to be an excellent use of the space and feel the additions only enhance our building's experience and value. His plans which include an outdoor covered café space for the new restaurant in 220 W. Congress, metal sculpture light fixtures, greenery, art, and the placement of a repurposed shipping container all are a community asset for all to enjoy.

The proposed improvements will only benefit our building and tenants. We plan to re-open the now vacant restaurant off Congress Street next to 230 West Congress St. and activate the commercial space in the main lobby which will have access to the space Mr. Basmajian plans to improve. These improvements will in no way affect the infrastructure or utility services to our building as Mr. Basmajian bore the expense of relocating all the underground utilities out of the parcel. Furthermore, there are no facility services to our building that trespass that property.

Please feel free to reach out to me if there are any further questions or concerns.

All the Best,



Bradley J Foster
Manager
211 West Fort Detroit, LLC

DATE OF NOTARY: 7/12/22

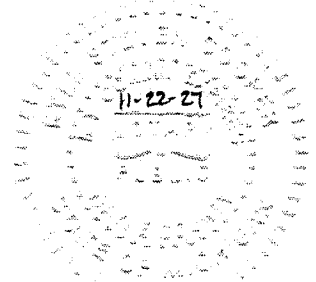


EXHIBIT F

EXTERIOR THREAD & CANOPY DESIGN

220 W. CONGRESS DETROIT, MI 48226

ARCHITECT:
STUCKY VITALE ARCHITECTS
21722 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

STRUCTURAL ENGINEER:
JOHN SWEDA (PE)
21722 WOODWARD AVE
SUITE 300
ROYAL OAK, MI 48067
(248) 571-5832

MET ENGINEER:
JAMES W. WILSON
33228 W. 12 MILE RD., UNIT 227
FARMINGTON HILLS, MICHIGAN
48334
(248) 759-5818

PROJECT DATA:
BUILDING CODE AUTHORITY:
CITY OF DETROIT

OWNER:
DETROIT
625 SHAW ST
DETROIT, MI 48226

TYPE OF CONSTRUCTION:
99 - NON-COMMERCIAL

USE GROUP:
A2 ASSEMBLY (EXTERIOR CANOPY)

PROJECT AREA:
TOTAL BUILDING AREA & STORES: 2,077,057 SF
TOTAL BUILDING AREA EXCLUDING STORES: 1,464,851 SF
TOTAL PROJECT AREA: 485,812 SF
TOTAL PROJECT AREA EXCLUDING STORES: 315,412 SF

APPLICABLE CODES (COMMERCIAL):
BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE FOR EXISTING BUILDINGS (IBC) 2018
MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE AS AMENDED 2018
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE (NEC) AS AMENDED & MICHIGAN ELECTRICAL CODE 2017
PLUMBING CODE: 2018 MICHIGAN PLUMBING CODE AS AMENDED
FIRE CODE: 2018 MICHIGAN FIRE CODE AS AMENDED
SAFETY CODE: 2018 MICHIGAN SAFETY CODE AS AMENDED
LIFT SAFETY CODE: 2018 MICHIGAN LIFT SAFETY CODE AS AMENDED
SPECIALTY CODE: 2018 MICHIGAN SPECIALTY CODE AS AMENDED
SPEAKER PERMITS: 2018 MICHIGAN SPEAKER PERMITS AS AMENDED
UNIFORM FIRE CODE: 2018 MICHIGAN UNIFORM FIRE CODE AS AMENDED
2018 INTERNATIONAL FIRE CODE REFERENCED IN 2018 MICHIGAN BUILDING CODE

MECHANICAL CODE: INTERNATIONAL MECHANICAL CODE AS AMENDED 2018
PLUMBING CODE: 2018 MICHIGAN PLUMBING CODE AS AMENDED
ELECTRICAL CODE: NATIONAL ELECTRICAL CODE (NEC) AS AMENDED & MICHIGAN ELECTRICAL CODE 2017
SAFETY CODE: 2018 MICHIGAN SAFETY CODE AS AMENDED
LIFT SAFETY CODE: 2018 MICHIGAN LIFT SAFETY CODE AS AMENDED
SPECIALTY CODE: 2018 MICHIGAN SPECIALTY CODE AS AMENDED
SPEAKER PERMITS: 2018 MICHIGAN SPEAKER PERMITS AS AMENDED
UNIFORM FIRE CODE: 2018 MICHIGAN UNIFORM FIRE CODE AS AMENDED
2018 INTERNATIONAL FIRE CODE REFERENCED IN 2018 MICHIGAN BUILDING CODE



SHEET INDEX		REVISIONS
<input type="checkbox"/> NOT ISSUED		
<input checked="" type="checkbox"/> PRELIMINARY ISSUED		
<input checked="" type="checkbox"/> ISSUED		
<input checked="" type="checkbox"/> REFERENCE		
	03.28.23 OWNER REVIEW	
	03.28.23 PERMIT REVISIONS	
	04.18.23 HOC REVISIONS	

NO.	DESCRIPTION	DATE	BY	CHKD.
1	GENERAL			
2	STRUCTURAL			
3	MECHANICAL			
4	ELECTRICAL			
5	PLUMBING			
6	SAFETY			
7	LIFT SAFETY			
8	SPECIALTY			
9	SPEAKER PERMITS			
10	UNIFORM FIRE CODE			
11	INTERNATIONAL FIRE CODE			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION AND QUALITY STANDARDS WITH THIS PROJECT SHALL COMPLY WITH THE SAME CONSTRUCTION STANDARDS OF APPLICABLE BUILDING AND MECHANICAL REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL APPLICABLE BUILDING AND MECHANICAL REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT DESIGN AUTHORITIES.

DO NOT SCALE DRAWINGS
© 2020 Stucky Vitale Architects

Drawn by:
Checked by:
JAV/MBL/AJD

Sheet Title:
TITLE SHEET,
SHEET INDEX, *
LOCATION PLAN

Project No.:
2022.002

Sheet No.:
TS1.1

SVA
STUCKY VITALE ARCHITECTS
21717 WOODWARD AVENUE
ROYAL OAK, MI 48067-9735
P: 248.546.6700
F: 248.546.4199
WWW.STUCKYVITALE.COM

PROJECT: EXTERIOR THREAD & CANOPY DESIGN
DATE: 03.28.23
DRAWN BY: JAV/MBL/AJD
CHECKED BY: JAV/MBL/AJD
DATE: 03.28.23
PROJECT NO.: 2022.002
SHEET NO.: TS1.1

Consultants:
MECHANICAL: JAMES W. WILSON
ELECTRICAL: JAMES W. WILSON
PLUMBING: JAMES W. WILSON
SAFETY: JAMES W. WILSON
LIFT SAFETY: JAMES W. WILSON
SPECIALTY: JAMES W. WILSON
SPEAKER PERMITS: JAMES W. WILSON
UNIFORM FIRE CODE: JAMES W. WILSON
INTERNATIONAL FIRE CODE: JAMES W. WILSON

Project:
THREAD AND CANOPY
220 W. CONGRESS
DETROIT, MI 48226

Issued by:
03.28.23
JAV/MBL/AJD
04.18.23

<p>STRUCTURAL GENERAL NOTES</p> <p>1. BUILDING CODES AND DESIGN STANDARDS</p> <p>A. MINIMUM BUILDING CODE: 2015</p> <p>B. MINIMUM DESIGN CODES FOR BUILDING AND OTHER STRUCTURES: ASCE 7-16</p> <p>C. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE: ACI 308R</p> <p>D. AISC STEEL CONSTRUCTION MANUAL, 14TH EDITION, USED</p> <p>2. UNIFORM DESIGN CODES</p> <p>A. UDC: 15.1, 15.2, 15.4, 15.5, 15.6, 15.7</p> <p>B. DESIGN PROVISIONS: 15.4.1.1, 15.4.1.2, 15.4.2, 15.4.3</p> <p>C. DESIGN PROVISIONS: 15.4.1.1, 15.4.1.2, 15.4.2, 15.4.3</p> <p>D. DESIGN PROVISIONS: 15.4.1.1, 15.4.1.2, 15.4.2, 15.4.3</p> <p>E. DESIGN PROVISIONS: 15.4.1.1, 15.4.1.2, 15.4.2, 15.4.3</p> <p>F. DESIGN PROVISIONS: 15.4.1.1, 15.4.1.2, 15.4.2, 15.4.3</p>	<p>3. LATERAL DESIGN LOADS</p> <p>A. DESIGN LOADS ARE BASED ON THE FOLLOWING</p> <p>1. LATERAL DESIGN LOADS: 15.4.2.1</p> <p>2. DESIGN LOADS: 15.4.2.2</p> <p>3. DESIGN LOADS: 15.4.2.3</p> <p>4. DESIGN LOADS: 15.4.2.4</p> <p>5. DESIGN LOADS: 15.4.2.5</p>	<p>FUTURE BUILDING EXPANSION</p> <p>1. THE STRUCTURE WAS NOT BEEN DESIGNED FOR ANY FUTURE EXPANSION.</p> <p>STEELING AND BRACING</p> <p>A. DETERMINE THE ALLOWABLE BRACING RESISTANCE OF THE STEEL UNDER ALL APPLICABLE LOADS AND EFFECTIVE LENGTHS.</p> <p>B. COMPARE THE DESIGN RESISTANCE OF THE STEEL WITH THE ALLOWABLE BRACING RESISTANCE.</p> <p>C. MINIMUM BRACING CAPACITY: 200 KIP</p> <p>D. MINIMUM BRACING CAPACITY: 200 KIP</p> <p>E. MINIMUM BRACING CAPACITY: 200 KIP</p>	<p>CONCRETE</p> <p>A. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>B. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>C. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>D. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>E. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p>	<p>REINFORCING STEEL</p> <p>A. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>B. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>C. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p>	<p>WELDED CONNECTIONS</p> <p>A. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>B. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>C. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p>	<p>STEEL CONNECTIONS</p> <p>A. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>B. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>C. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p>	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>																		
								<p>CONCRETE</p> <p>A. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>B. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>C. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>D. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p> <p>E. ALL CONCRETE SHALL BE NORMAL WEIGHT, NORMAL WEIGHT CONCRETE.</p>	<p>REINFORCING STEEL</p> <p>A. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>B. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>C. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p>	<p>WELDED CONNECTIONS</p> <p>A. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>B. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>C. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p>	<p>STEEL CONNECTIONS</p> <p>A. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>B. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>C. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p>	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>													
													<p>REINFORCING STEEL</p> <p>A. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>B. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p> <p>C. ALL REINFORCING STEEL SHALL BE 40 KSI YIELD STRENGTH, EPOXY COATED REINFORCING STEEL.</p>	<p>WELDED CONNECTIONS</p> <p>A. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>B. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>C. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p>	<p>STEEL CONNECTIONS</p> <p>A. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>B. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>C. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p>	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>									
																	<p>WELDED CONNECTIONS</p> <p>A. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>B. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p> <p>C. ALL WELDED CONNECTIONS SHALL BE FULL PENETRATION WELDS.</p>	<p>STEEL CONNECTIONS</p> <p>A. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>B. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>C. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p>	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>						
																				<p>STEEL CONNECTIONS</p> <p>A. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>B. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p> <p>C. ALL STEEL CONNECTIONS SHALL BE BOLTED CONNECTIONS.</p>	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>				
																						<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>			
																							<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>		
																								<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>	
																									<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>
<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>																									
	<p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.</p>																								

SVI

1100 NORTH AVENUE
 SUITE 1100
 21172 WOODBOND AVENUE
 BOULDER, CO 80501-1975
 P: 748.544.8700
 F: 748.544.8704
 WWW.SVISTITUTE.COM

1100 NORTH AVENUE, SUITE 1100, BOULDER, CO 80501-1975
 © 2020 SVI. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF SVI. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN.
 ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF SVI IS STRICTLY PROHIBITED.

PROJECT:

THE HOOD AND CANOPY
 EXTENSION DESIGN
 DETROIT, MI 48226

ISSUED FOR:

PERMIT REVIEW
 HCC DRAWING
 DATE: 04/26/20

SHEET NO.:

2022.002

SCALE:

AS SHOWN

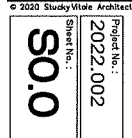
DATE:

04/26/20

BY:

SVI

DO NOT SCALE DRAWINGS



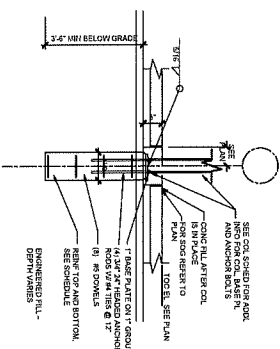
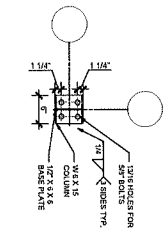
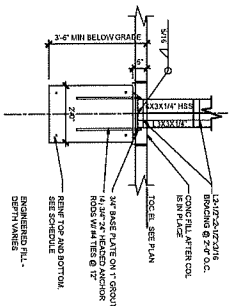
8 | 1 | 5 | 4 | 3 | 2 | 1

FOUNDATION PLAN NOTES:

1. REFER TO SHEET S21 FOR GENERAL NOTES AND SPECIFICATIONS
2. FOOTINGS AND SLAB ARE TO BE ON ENHANCED FILL OR 3000 PSI SAND BEARING CAPACITY - FILL BOTTOM WARE.

FOOTING SCHEDULE			
MARK	SIZE	THICKNESS	REINFORCING
F-1	1'-0" WIDE (F' & IN) (F' & IN)	3'-0"	5#4 LONG BARS
F-2	1'-0" WIDE (F' & IN) (F' & IN)	3'-0"	5#4
F-3	3'-0" WIDE	3'-0"	5#4

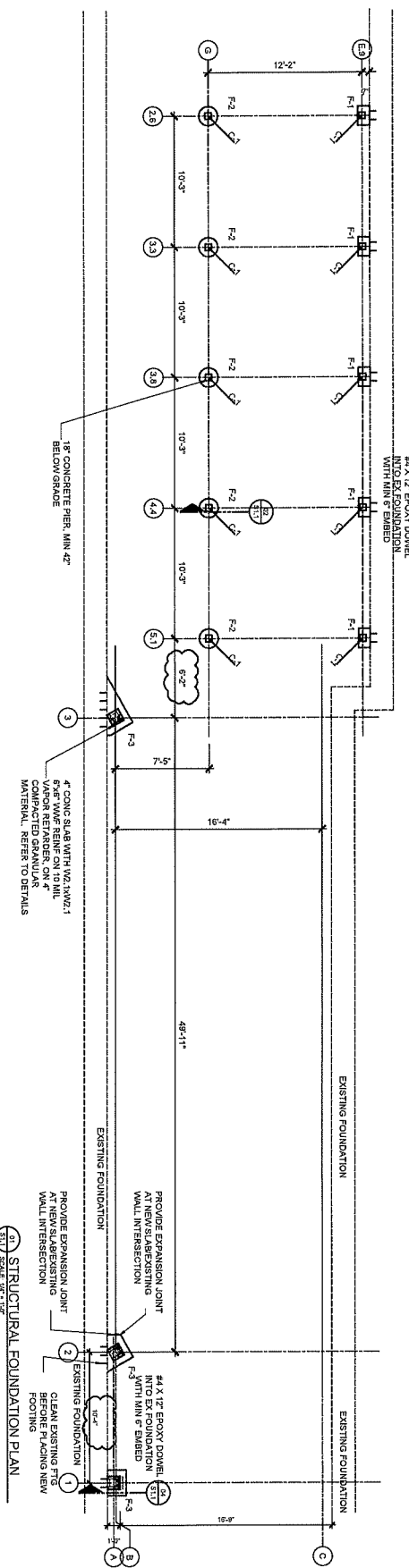
BEAR ON SOLID TESTED SOIL AT EXISTING FTO DEPTH OR DEEPER AS REQ'D



(a) THREAD CONNECTION
SCALE 1/2" = 1'-0"

(b) BASE PLATE DETAIL
SCALE 3/4" = 1'-0"

(c) FOUNDATION DETAIL
SCALE 1/2" = 1'-0"



(d) STRUCTURAL FOUNDATION PLAN
SCALE 1/4" = 1'-0"

DO NOT SCALE DRAWINGS

© 2020 StudyWide Architects

Project No.: 2022.002
Sheet No.: S1.1

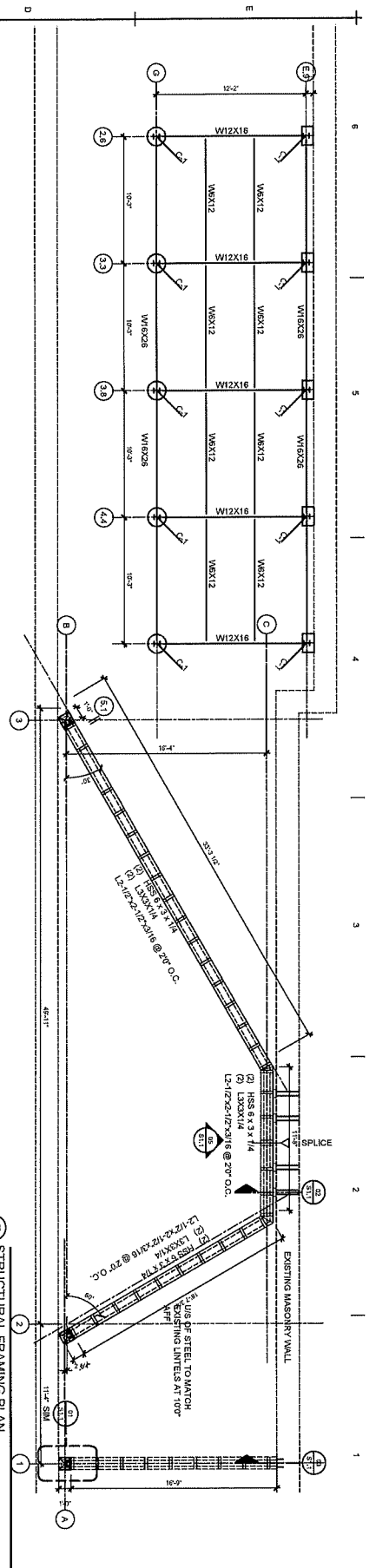
Drawn By: JAV/MB/KJD
Checked By: JAV/MB/KJD
Sheet Title: FOUNDATION PLANS

Project:
THREAD AND CANOPY
220 W. CONGRESS
DETROIT, MI 48226

Issued for:
PERMIT 08/20/23
FINAL 08/29/23
HCC REMOVAL 04/18/23

SVIA
STEVIE VIALI ARCHITECTS
2117 WOODWARD AVENUE
BOSTON, MA 02118-4975
P: 781.544.4398
F: 781.544.4394
WWW.SVIAARCHITECT.COM

DESIGNED BY: STEVIE VIALI
ARCHITECTS
1000 W. WASHINGTON
DETROIT, MI 48226
PH: 313.963.1100
WWW.SVIAARCHITECT.COM



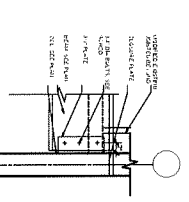
(20) STRUCTURAL FRAMING PLAN
SCALE: 1/8" = 1'-0"

MARK	SIZE	BASE PLATE	ANCHORS
C1	WBX15	68X12"	(4) 3/8" x 12"

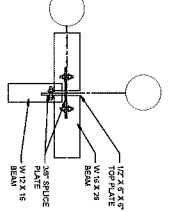
FRAMING NOTES:

1. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
2. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
3. BEAMS SHALL BE EVIDENTLY SPACED UNLESS OTHERWISE NOTED.
4. CONSIDER ALL BEAMS AND CONNECTIONS TO BE UNFINISHED UNLESS OTHERWISE NOTED.

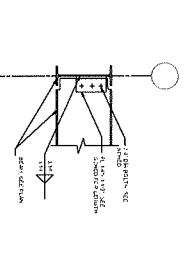
(21) STEEL CONNECTION DETAILS
SCALE: 3/8" = 1'-0"



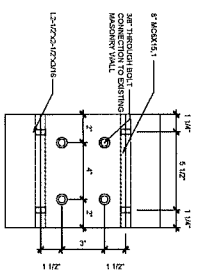
(22) SPLICE PLATE DETAIL
SCALE: 3/8" = 1'-0"



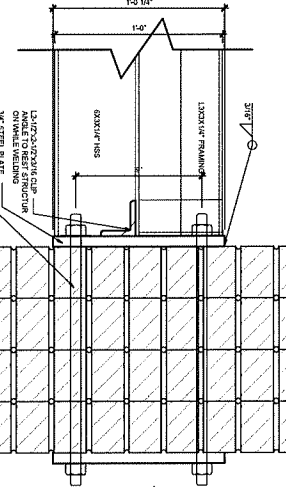
(23) STEEL CONNECTION DETAILS
SCALE: 3/8" = 1'-0"



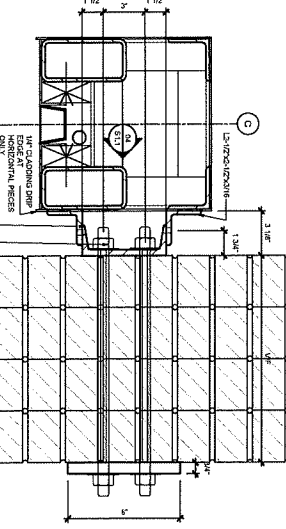
(24) THREAD CONNECTION
SCALE: 3/8" = 1'-0"



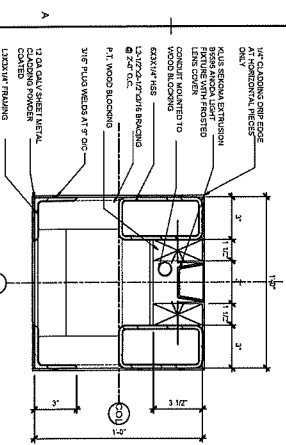
(25) THREAD CONNECTION
SCALE: 3/8" = 1'-0"



(26) THREAD CONNECTION
SCALE: 3/8" = 1'-0"



(27) THREAD CONNECTION
SCALE: 3/8" = 1'-0"



(28) TYP. THREAD CONSTRUCTION
SCALE: 3/8" = 1'-0"

SVA
STREET VILLE ARCHITECTS
27172 WOODWARD AVENUE
ROSELAND, OHIO 44881-9875
P. 248.544.5700
F. 248.544.5714
WWW.STREETVILLE.COM

OWNER: SVA
PROJECT: STREET VILLE ARCHITECTS
DATE: 11/20/2022
SCALE: 1/8" = 1'-0"

PROJECT: STREET AND CANOPY
ARCHITECT: STREET VILLE ARCHITECTS
DATE: 11/20/2022
SCALE: 1/8" = 1'-0"

Drawn by: JAV/JMS
Checked by: JAV/JMS
Scale: 1/8" = 1'-0"

Project No.: 2022-002
Sheet No.: S1.2
Project Name: STREET VILLE ARCHITECTS
Project Location: 27172 WOODWARD AVENUE, ROSELAND, OHIO 44881-9875

DO NOT SCALE DRAWINGS
© 2022 StuckyWilde Architects

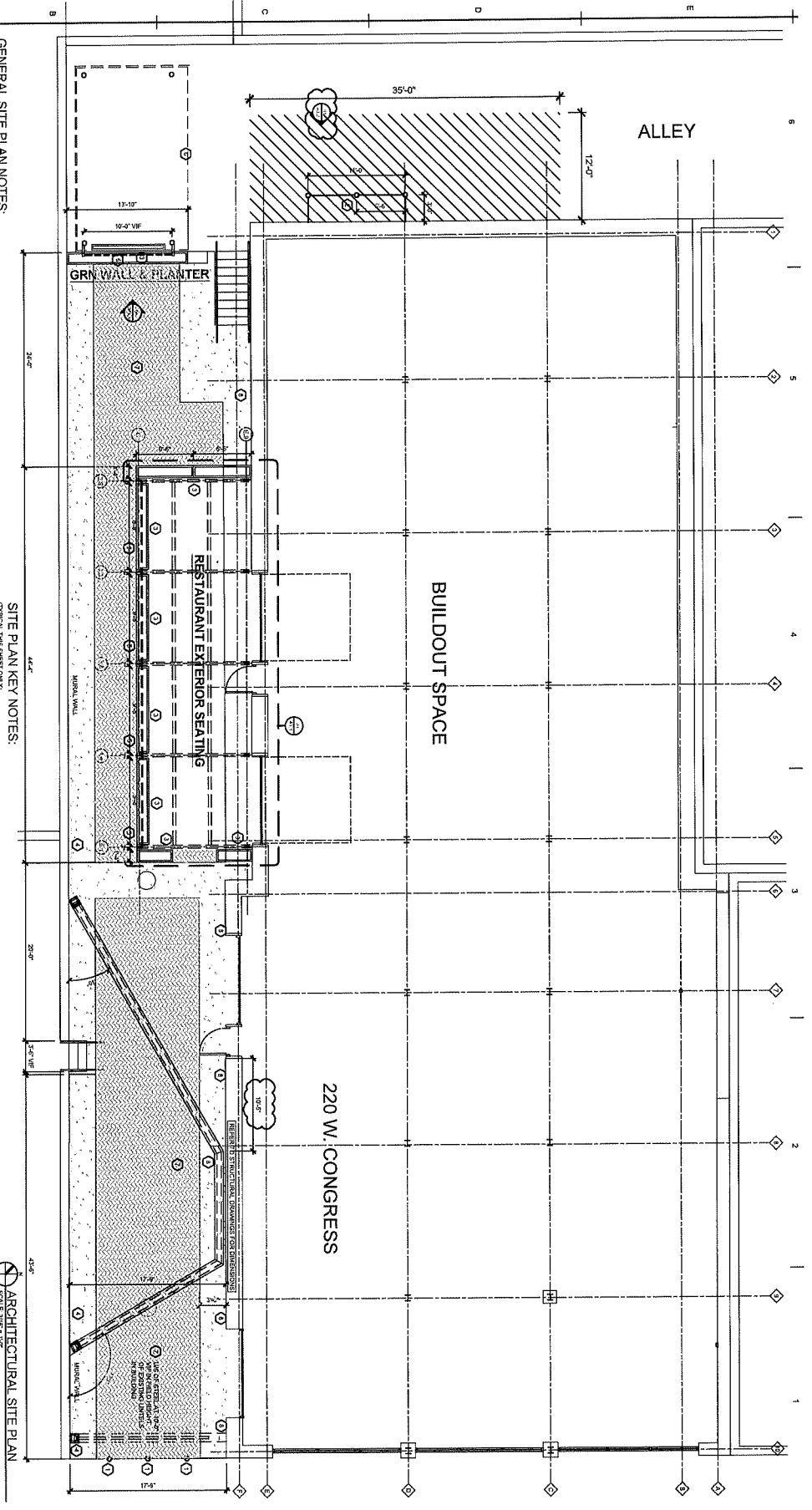
SVA
STREET VITAL ARCHITECTS
 21717 WOODWARD AVENUE
 ANN ARBOR, MI 48106-9715
 P: 734.544.4300
 F: 734.544.4301
 WWW.STREETVITAL.COM

PROJECT: 220 W. CONGRESS
DESIGNER: STUCKY WIEDE ARCHITECTS
 220 W. CONGRESS
 DETROIT, MI 48226

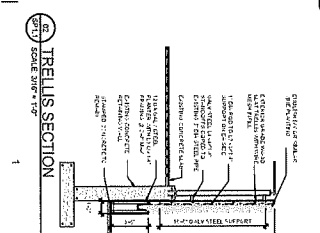
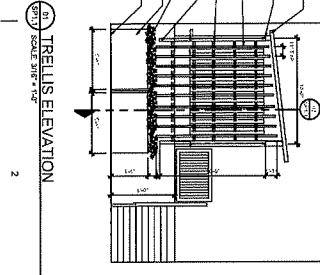
DATE: 02.20.23
PROJECT NUMBER: 02.20.23
HOC NUMBER: 048.23

CONTRACTOR:

W. CONGRESS



ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"



DO NOT SCALE DRAWINGS

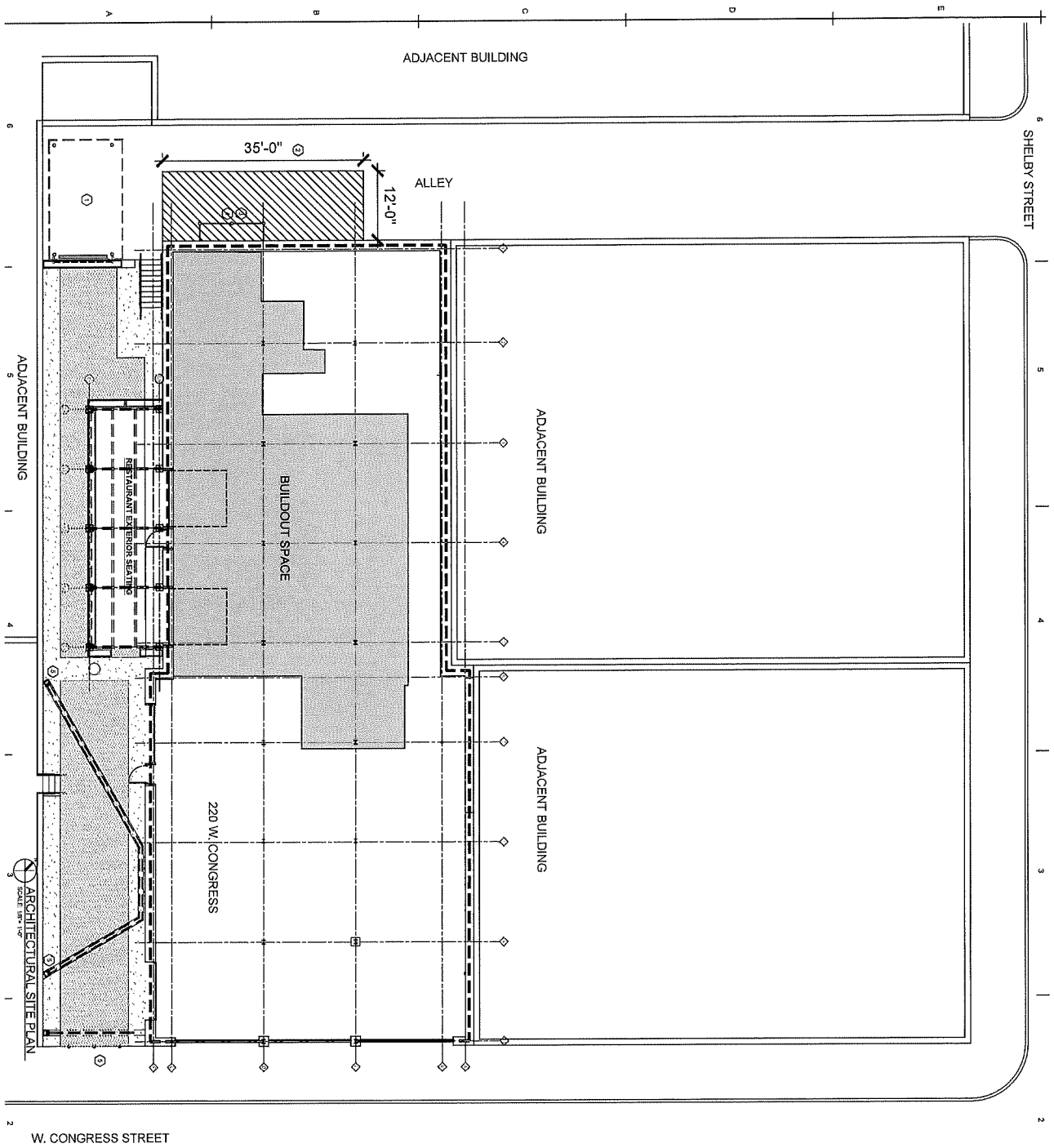
© 2023 StuckyWiede Architects

Project No.: 2022.002
Sheet No.: SP1.1

Drawn By: JAV/MB, AD
Checked By: JAV/MB, AD
Scale: 1/8" = 1'-0"

- GENERAL SITE PLAN NOTES:**
1. DIMENSIONS SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTIONS INDICATED ON THE PLANS AND AS FOLLOWS:
 2. CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 3. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 4. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 5. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 6. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 7. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 8. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 9. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 10. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 11. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 12. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 13. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 14. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 15. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 16. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.
 17. ALL CONCRETE SHALL BE CAST AND FINISHED WITH A FINISH AS SPECIFIED IN THE SCHEDULE.

- SITE PLAN KEY NOTES:**
1. EXISTING BUILDING TO REMAIN
 2. NEW CONCRETE FOUNDATION
 3. EXISTING FOUNDATION
 4. EXISTING FOUNDATION
 5. EXISTING FOUNDATION
 6. EXISTING FOUNDATION
 7. EXISTING FOUNDATION
 8. EXISTING FOUNDATION
 9. EXISTING FOUNDATION
 10. EXISTING FOUNDATION
 11. EXISTING FOUNDATION
 12. EXISTING FOUNDATION
 13. EXISTING FOUNDATION
 14. EXISTING FOUNDATION
 15. EXISTING FOUNDATION
 16. EXISTING FOUNDATION
 17. EXISTING FOUNDATION

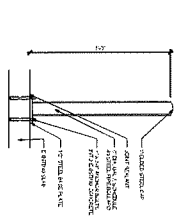
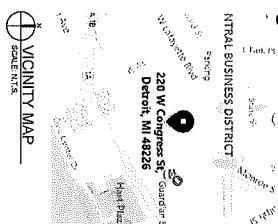


GENERAL SITE PLAN NOTES:

1. PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS.
2. CONCRETE PORTLAND CEMENT TYPE I/A, UNADORNED WITH A MINIMUM CEMENT OF 3.00 PSI AND A SLUMP OF 11/2 TO 3 INCHES.
3. ASPHALT PAVED COURSE - UNDO MINIMUM 4 INCHES NO. 100, 20% GRAVEL PENETRATION UNDER 2500 PSI AND 2 INCHES - 100% SAND INDUCED AT 6:1 DRAIN PER GRAVEL PAVED COURSE MINIMUM 3 INCHES LIFT.
4. PAVEMENT BASE SHALL BE COMPOSED TO 95% OF THE MAXIMUM DENSITY. UNDOPTED SHALL BE PROVIDED IN THE PRESENCE OF THE ENGINEER'S DETERMINATION.
5. ALL CONCRETE PAVEMENT CURING COMPOUND SHALL BE APPLIED TO ALL EXPOSED SURFACES IMMEDIATELY AFTER CURING.
6. ALL CONCRETE JOINTS SHALL BE FILLED WITH HOT FUSED SANDSTRENGTH FEDERAL SPECIFICATION RESIN SEAL.
7. ALL VERTICAL CURBS AND WALLS SHALL BE IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION CONCRETE EDITION.
8. ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" FINISH FINISH GRADE.
9. ALL SLOPES SHALL BE IN ACCORDANCE WITH THE SLOPE OF SURFACE.
10. CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALIGNED AND 7' WIDER THAN THE EXISTING DRIVE APPROACH TO THE DRIVE APPROACH OVER AND ROWWAY.
11. FOR ANY WORK WITHIN THE PAVED RIGHT OF WAY, THE CONTRACTOR SHALL PAY FOR THE PROTECTION OF EXISTING UTILITIES AND UNDERNEATH STRUCTURES FOR ALL WORK DONE WITHIN THE PAVED RIGHT OF WAY.
12. EXISTING UTILITIES SHALL BE PROTECTED BY THE CONTRACTOR FOR ALL WORK DONE WITHIN THE PAVED RIGHT OF WAY.
13. EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RIGID SIGNATURE MARKS, CONFORMING TO PUBLIC ACT NO. 4, 1974 SHALL BE INSTALLED AS INDICATED ON THE PLANS.
14. ALL MAINTENANCE AREAS SHALL BE PROVIDED UNDER THE SUPERVISION OF A PROFESSIONAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFT NOT EXCEEDING A RICHES THICK TO MAX OF THE MAXIMUM DENSITY INDICATED IN SECTION 1004 TO 1005 OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.
15. ALL DIMENSIONS SHALL BE PROVIDED BY PERMANENT SYSTEMS FOR 100% COMPLIANCE.

SITE PLAN KEY NOTES:

1. LOCATION OF EXISTING CURBS AND TRAIL CONNECTIONS
2. EXISTING CURBS TO BE MAINTAINED
3. EXISTING CURBS TO BE MAINTAINED
4. EXISTING CURBS TO BE MAINTAINED
5. EXISTING CURBS TO BE MAINTAINED
6. EXISTING CURBS TO BE MAINTAINED
7. EXISTING CURBS TO BE MAINTAINED
8. EXISTING CURBS TO BE MAINTAINED
9. EXISTING CURBS TO BE MAINTAINED
10. EXISTING CURBS TO BE MAINTAINED
11. EXISTING CURBS TO BE MAINTAINED
12. EXISTING CURBS TO BE MAINTAINED
13. EXISTING CURBS TO BE MAINTAINED
14. EXISTING CURBS TO BE MAINTAINED
15. EXISTING CURBS TO BE MAINTAINED
16. EXISTING CURBS TO BE MAINTAINED
17. EXISTING CURBS TO BE MAINTAINED
18. EXISTING CURBS TO BE MAINTAINED
19. EXISTING CURBS TO BE MAINTAINED
20. EXISTING CURBS TO BE MAINTAINED
21. EXISTING CURBS TO BE MAINTAINED
22. EXISTING CURBS TO BE MAINTAINED
23. EXISTING CURBS TO BE MAINTAINED
24. EXISTING CURBS TO BE MAINTAINED
25. EXISTING CURBS TO BE MAINTAINED
26. EXISTING CURBS TO BE MAINTAINED
27. EXISTING CURBS TO BE MAINTAINED
28. EXISTING CURBS TO BE MAINTAINED
29. EXISTING CURBS TO BE MAINTAINED
30. EXISTING CURBS TO BE MAINTAINED
31. EXISTING CURBS TO BE MAINTAINED
32. EXISTING CURBS TO BE MAINTAINED
33. EXISTING CURBS TO BE MAINTAINED
34. EXISTING CURBS TO BE MAINTAINED
35. EXISTING CURBS TO BE MAINTAINED
36. EXISTING CURBS TO BE MAINTAINED
37. EXISTING CURBS TO BE MAINTAINED
38. EXISTING CURBS TO BE MAINTAINED
39. EXISTING CURBS TO BE MAINTAINED
40. EXISTING CURBS TO BE MAINTAINED
41. EXISTING CURBS TO BE MAINTAINED
42. EXISTING CURBS TO BE MAINTAINED
43. EXISTING CURBS TO BE MAINTAINED
44. EXISTING CURBS TO BE MAINTAINED
45. EXISTING CURBS TO BE MAINTAINED
46. EXISTING CURBS TO BE MAINTAINED
47. EXISTING CURBS TO BE MAINTAINED
48. EXISTING CURBS TO BE MAINTAINED
49. EXISTING CURBS TO BE MAINTAINED
50. EXISTING CURBS TO BE MAINTAINED
51. EXISTING CURBS TO BE MAINTAINED
52. EXISTING CURBS TO BE MAINTAINED
53. EXISTING CURBS TO BE MAINTAINED
54. EXISTING CURBS TO BE MAINTAINED
55. EXISTING CURBS TO BE MAINTAINED
56. EXISTING CURBS TO BE MAINTAINED
57. EXISTING CURBS TO BE MAINTAINED
58. EXISTING CURBS TO BE MAINTAINED
59. EXISTING CURBS TO BE MAINTAINED
60. EXISTING CURBS TO BE MAINTAINED
61. EXISTING CURBS TO BE MAINTAINED
62. EXISTING CURBS TO BE MAINTAINED
63. EXISTING CURBS TO BE MAINTAINED
64. EXISTING CURBS TO BE MAINTAINED
65. EXISTING CURBS TO BE MAINTAINED
66. EXISTING CURBS TO BE MAINTAINED
67. EXISTING CURBS TO BE MAINTAINED
68. EXISTING CURBS TO BE MAINTAINED
69. EXISTING CURBS TO BE MAINTAINED
70. EXISTING CURBS TO BE MAINTAINED
71. EXISTING CURBS TO BE MAINTAINED
72. EXISTING CURBS TO BE MAINTAINED
73. EXISTING CURBS TO BE MAINTAINED
74. EXISTING CURBS TO BE MAINTAINED
75. EXISTING CURBS TO BE MAINTAINED
76. EXISTING CURBS TO BE MAINTAINED
77. EXISTING CURBS TO BE MAINTAINED
78. EXISTING CURBS TO BE MAINTAINED
79. EXISTING CURBS TO BE MAINTAINED
80. EXISTING CURBS TO BE MAINTAINED
81. EXISTING CURBS TO BE MAINTAINED
82. EXISTING CURBS TO BE MAINTAINED
83. EXISTING CURBS TO BE MAINTAINED
84. EXISTING CURBS TO BE MAINTAINED
85. EXISTING CURBS TO BE MAINTAINED
86. EXISTING CURBS TO BE MAINTAINED
87. EXISTING CURBS TO BE MAINTAINED
88. EXISTING CURBS TO BE MAINTAINED
89. EXISTING CURBS TO BE MAINTAINED
90. EXISTING CURBS TO BE MAINTAINED
91. EXISTING CURBS TO BE MAINTAINED
92. EXISTING CURBS TO BE MAINTAINED
93. EXISTING CURBS TO BE MAINTAINED
94. EXISTING CURBS TO BE MAINTAINED
95. EXISTING CURBS TO BE MAINTAINED
96. EXISTING CURBS TO BE MAINTAINED
97. EXISTING CURBS TO BE MAINTAINED
98. EXISTING CURBS TO BE MAINTAINED
99. EXISTING CURBS TO BE MAINTAINED
100. EXISTING CURBS TO BE MAINTAINED



STUCKY VILKIS ARCHITECTS
 27172 WOODRUFF AVENUE
 DETROIT, MI 48226-9075
 P: 313.544.4700
 F: 313.544.4754
 WWW.STUCKYVILKIS.COM

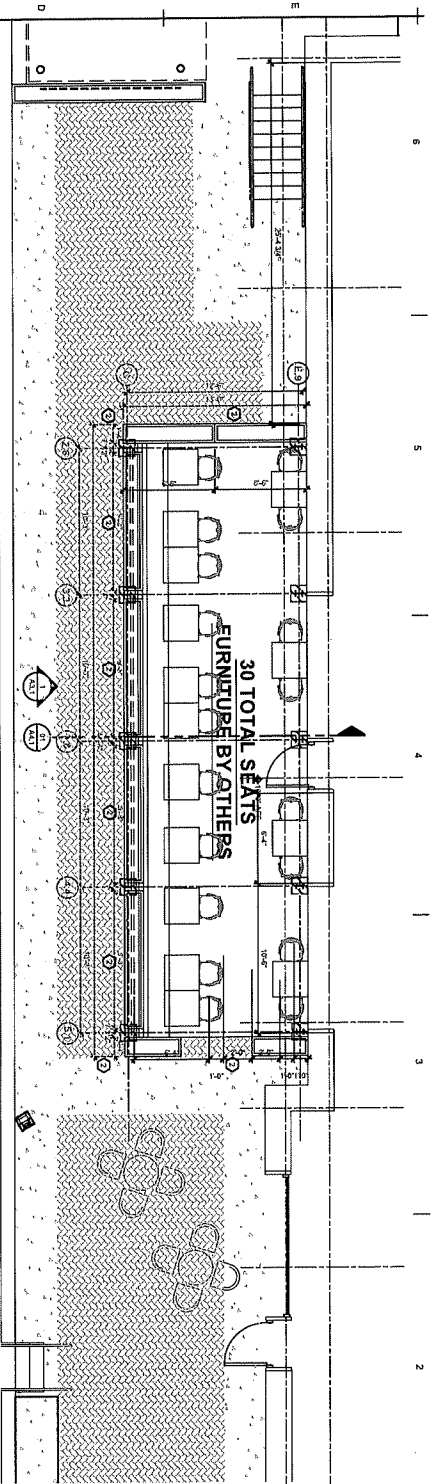
Client: THRESD AND CANOPY
Design: STUCKY VILKIS ARCHITECTS
 DETROIT, MI 48226

Drawn by: JAV, MAB, ADU
Checked by: JAV, MAB, ADU
Scale: 1/8" = 1'-0"

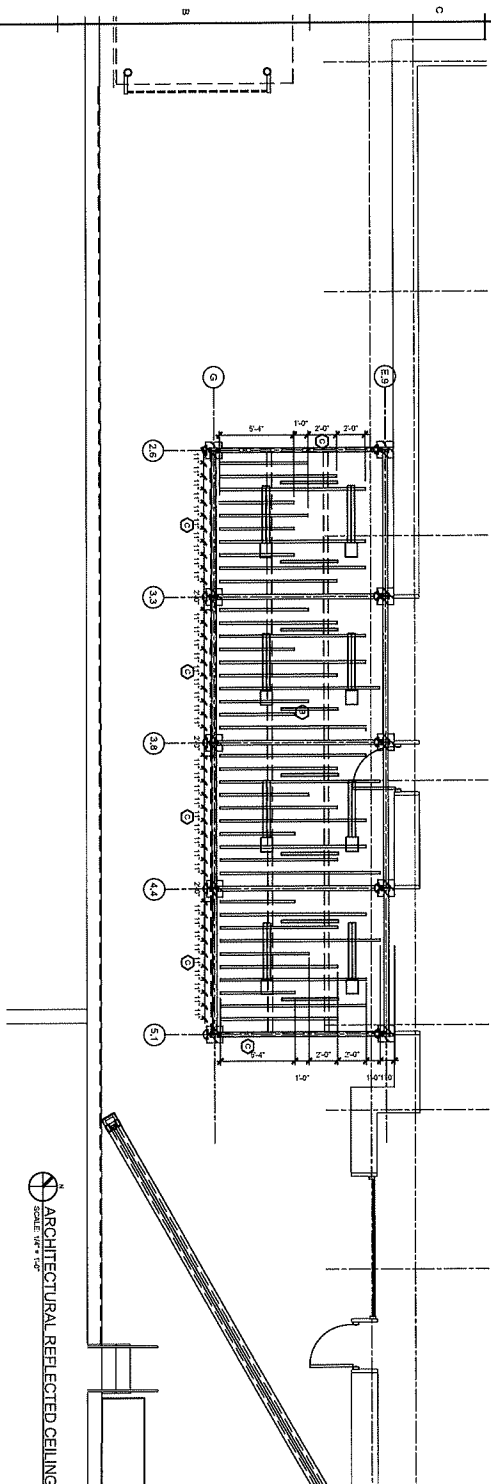
Project No.: 2022.002
Sheet No.: SP1.2

Scale: 1/8" = 1'-0"

DO NOT SCALE DRAWINGS
 © 2020 StuckyVilki Architects



ARCHITECTURAL FLOOR PLAN
SCALE: 1/8" = 1'-0"



ARCHITECTURAL REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IMMEDIATELY UPON RECEIPT OF THE DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES, OMISSIONS, OR INCONSISTENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF ALL CONDITIONS UNLESS OTHERWISE NOTED.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. PROVIDE FLOORING TO ALL FLOOR FINISHES WHERE SHOWN.
7. PROVIDE TRIMMING STRIPS AT EACH CHANGE IN FLOOR FINISHES.
8. PROVIDE TRIMMING STRIPS AT EACH CHANGE IN FLOOR FINISHES.
9. CLEAN AND BRUSH ALL EXISTING FLOOR FINISHES AS NECESSARY.
10. ALL SPILLED GREASE, OILS, AND CONDENSATE TO BE REMOVED TO MATCH CEILING.
11. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION OF ALL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
12. CONTRACTOR SHALL CONDUCT VISUAL/ELECTRICAL INSPECTION WITH OWNER PRIOR TO ENCLOSURE WALLS FOR THE PURPOSE OF CORRECTING ANY DEFICIENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
13. CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR OTHER PENETRATIONS IN THE CEILING WITH A FINISH MATCHING THE EXISTING FINISH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
14. A TYPICAL SECTION DRAWING AND DIMENSIONS WITH SCALE 1/4" = 1'-0" SHALL BE PROVIDED FOR THE CONTRACTOR TO USE FOR THE PURPOSE OF CORRECTING ANY DEFICIENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

FLOOR PLAN KEY NOTES:

- 1. NOT USED
- 2. NEW/CONCRETE PLANTERS SYSTEM REFERS TO DETAILS

GENERAL RCP NOTES:

1. REFER TO THE GENERAL NOTES FOR ALL NOTES RELATING TO THE LIGHT FIXTURES, SPACING, DISTRIBUTION, AND DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2. SPACER SHALL BE PROVIDED FOR ALL RECESSED LIGHT FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. REFER TO MECHANICAL WORK PLANS FOR DIFFUSERS, COILS, ETC.
5. REFER TO MECHANICAL WORK PLANS FOR DIFFUSERS, COILS, ETC.
6. REFER TO MECHANICAL WORK PLANS FOR DIFFUSERS, COILS, ETC.
7. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
9. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
10. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
11. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
12. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
13. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
14. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

REFLECTED CEILING PLAN KEY NOTES:

1. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
2. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
7. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
9. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
10. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
11. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
12. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
13. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
14. PROVIDE EXTERIOR MOUNTED SUBSTANTIALLY EGRESS LIGHT IN ALL EXTERIOR ROOMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

Project:
BARRER AND CHERRY
220 W. CONGRESS
DETROIT, MI 48225

Drawn by:
JAV/MAB/AD

Checked by:
JAV/MAB/AD

Scale:
1/8" = 1'-0"

Sheet Title:
FLOOR PLAN AND REFLECTED CEILING PLAN

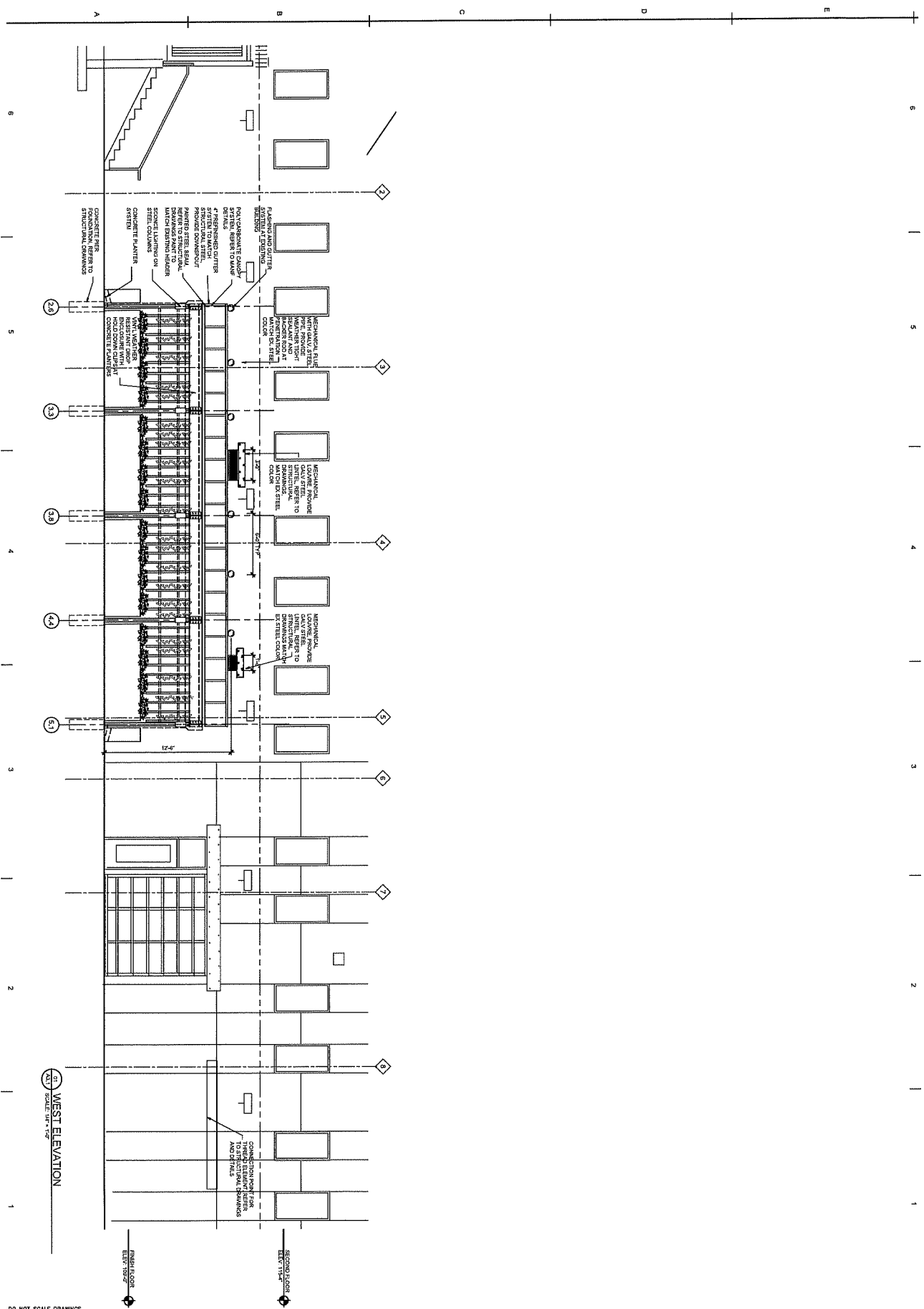
Project No.:
2022.002

Sheet No.:
A1.1

Header:
DATE: 03/20/25
PROJECT: BARRER AND CHERRY
SHEET: FLOOR PLAN AND REFLECTED CEILING PLAN
DATE: 03/20/25

Client:
SVA
3177 WOODWARD AVENUE
BOSTON, MA 02118
TEL: 617.552.1111
WWW.SVAARCHITECTS.COM

Architect:
SVA ARCHITECTS
3177 WOODWARD AVENUE
BOSTON, MA 02118
TEL: 617.552.1111
WWW.SVAARCHITECTS.COM



SMA

STICAN VITALE ARCHITECTS
 21172 WOODWARD AVENUE
 ROYAL OAK, MI 48067-4925
 P: 248.594.5100
 F: 248.546.4494
 WWW.STICANVITALE.COM

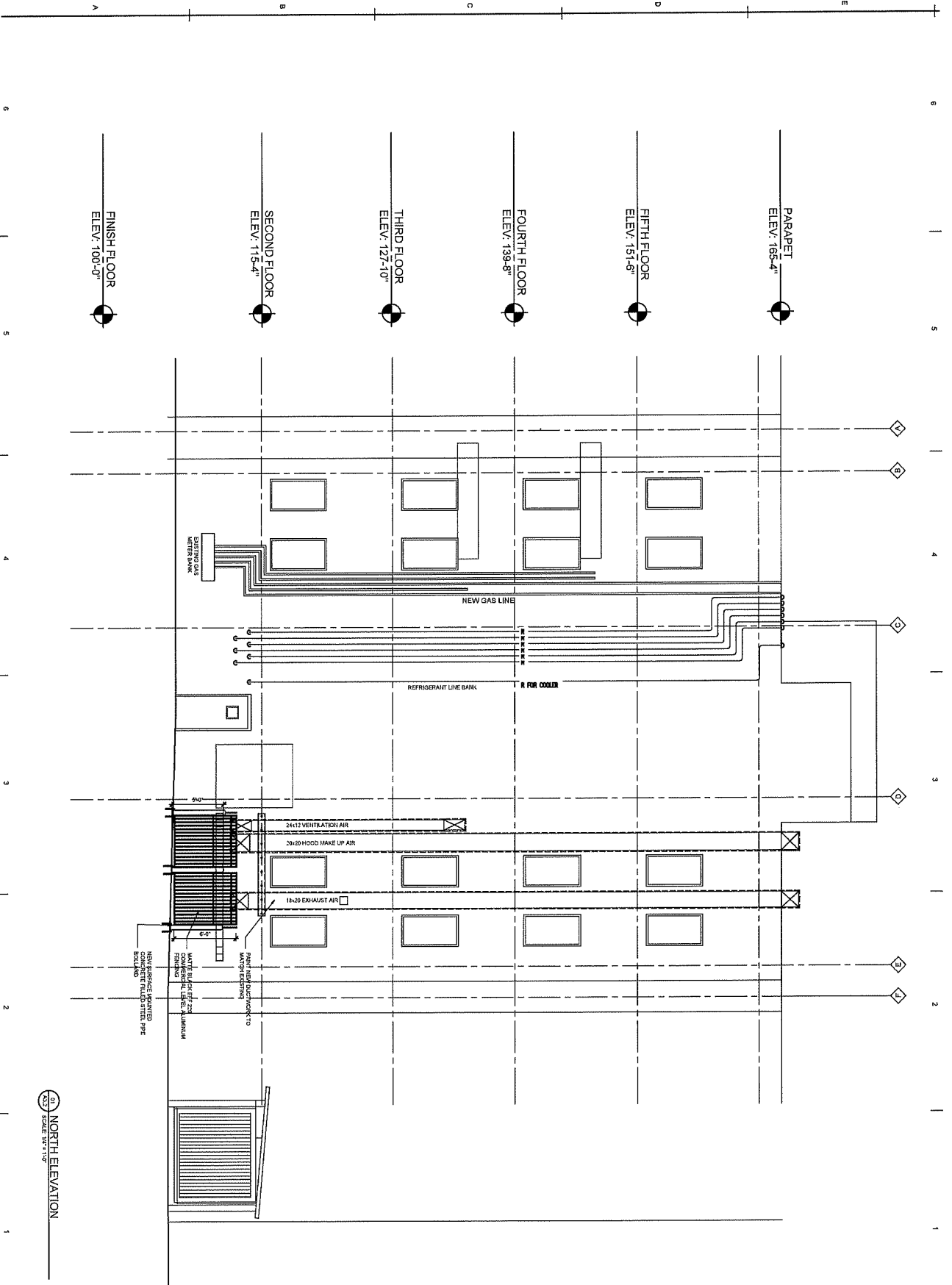
Project:
 STREED AND CANOPY
 EXTERIOR
 220 W. CONGRESS
 DETROIT, MI 48226

Issued For:
 03/20/22
 PERMIT REVISIONS 03/20/22
 HDC REVISIONS 04/28/22

Drawn by: JAV, MJB, AJO
Checked by: JAV, MJB, AJO
Sheet Title: STREED AND CANOPY EXTERIOR ELEVATIONS

Project No.: 2022.002
Sheet No.: A3.1

DO NOT SCALE DRAWINGS
 © 2022 StudyWide Architects



02 NORTH ELEVATION

DO NOT SCALE DRAWINGS

© 2020 StuckyWilde Architects

Project No.: 2022.002
 Sheet No.: A3.2

Drawn by:
 Checked by:
 Special Title:
 EXTERIOR
 ELEVATIONS

JAV/MLB/AJD

Issued for:
 08/20/20
 FERNIT REMONDS 02/29/23
 HDC REMONDS 04/18/25

Project:
 TRENCH AND CANOPY
 220 W. CONGRESS
 DETROIT, MI 48226

STUCK VENTILE ARCHITECTS
 21172 WOODWARD AVENUE
 BOWLING GREEN, MI 48409-4975
 P: 734.544.8100
 F: 734.544.8434
 WWW.STUCKVENTILE.COM

Consolidation:

6 5 4 3 2 1

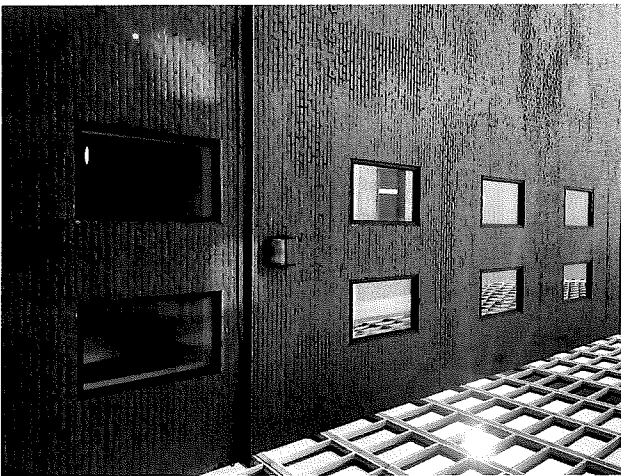


EXISTING FACADE FOR PLACEMENT OF NEW CANOPY

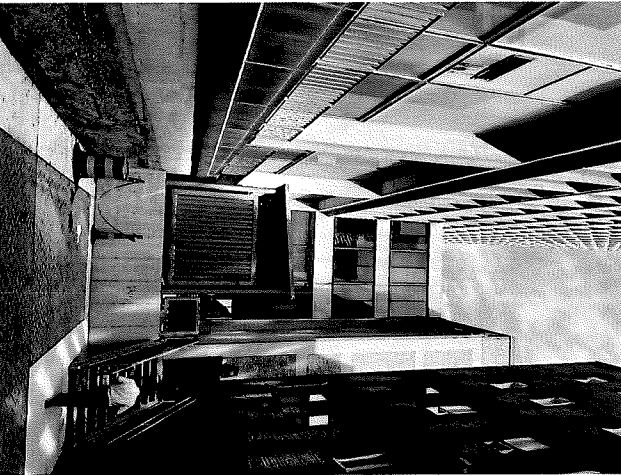


EXISTING FACADE FOR PLACEMENT OF NEW CANOPY AND NEW GLASS PARTITIONS

6 5 4 3 2 1



EXISTING FACADE TO ROUTE NEW OBJECT WORK TO ROOF STRUCTURE



EXISTING QUARTER ENCLICING TO BE CLAD WITH NEW GREEN WALL SYSTEM

SVA
STUCK VITALE ARCHITECTS
 27172 WOODWARD AVENUE
 BURLINGAME, CA 94010-3975
 P. 310.544.6700
 F. 310.544.8154
 WWW.STUCKVITALE.COM

STUCK VITALE ARCHITECTS, INC. IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, SEXUAL ORIENTATION, AGE, OR MARITAL STATUS. WE ARE AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, SEXUAL ORIENTATION, AGE, OR MARITAL STATUS.

Consultants:

Project:
 TRENAD AND CANOPY
 EXTERIOR DESIGN
 DETROIT, MI 48206

Rendered by:
 02/20/20
 PENNY PEROMB 02/20/20
 HCC PEROMB 02/20/20

Drawn by:
 SVA
 Checked by:
 JAV, MAB, AAD
Sheet Title:
 EXTERIOR PHOTOS

DO NOT SCALE DRAWINGS
 © 2020 Stucky Vitale Architects

Project No.:
 2022.002

Sheet No.:
 A3.3

A B C D E

6 5 4 3 2 1



6 5 4 3 2 1

SVA

STITCH VIBRAC ARCHITECTS
 27172 WOODWARD AVENUE
 BOWLING GREEN, OH 43027-9755
 P. 740.564.4708
 F. 740.564.4354
 WWW.STITCHVIBRAC.COM

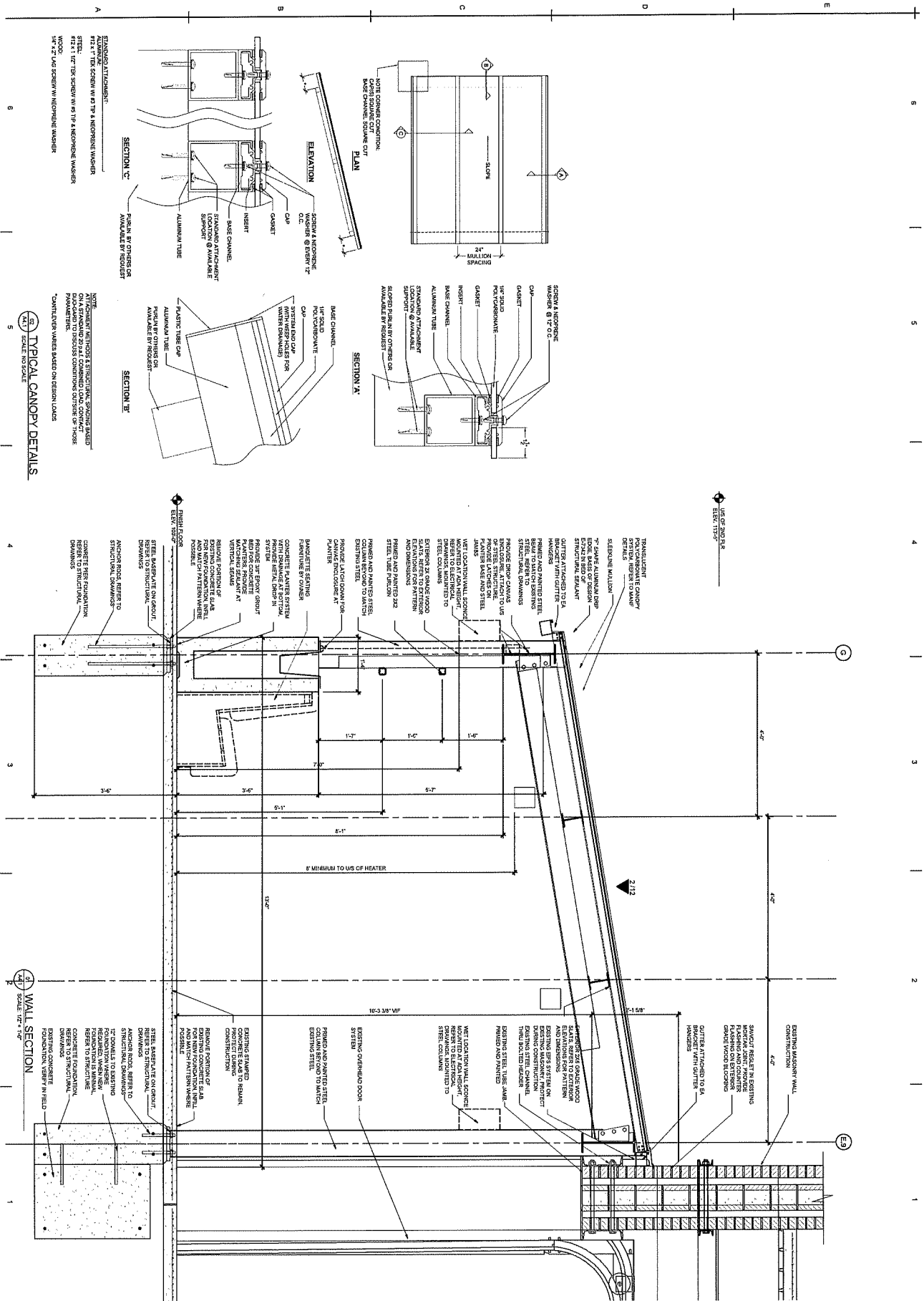
INDICATED BY ARCHITECTURE, INTERIOR DESIGN, AND EXTERIOR DESIGN. THE ARCHITECTURE AND EXTERIOR DESIGN IS THE PROPERTY OF STITCH VIBRAC ARCHITECTS. THE INTERIOR DESIGN IS THE PROPERTY OF STITCH VIBRAC ARCHITECTS. THE EXTERIOR DESIGN IS THE PROPERTY OF STITCH VIBRAC ARCHITECTS. THE ARCHITECTURE IS THE PROPERTY OF STITCH VIBRAC ARCHITECTS.

Project:
 THREAD AND CANOPY
 EXTERIOR DESIGN
 DETROIT, MI 48226

Issued for:
 FRANK PERROW
 HDC PERROW
 DETROIT, MI 48226

Drawn by:
 OSW
 Checked by:
 SWS
 SHAW TUCKER
 EXTERIOR
 RENDERINGS

DO NOT SCALE DRAWINGS
 © 2020 SluskyVibrac Architects
 Project No.:
 2022.002
 Sheet No.:
 A3.4



SVA
 STREET VINE ARCHITECTS
 2712 WOODWARD AVENUE
 SUITE 100, OAK, MI 48867-9715
 P: 248.544.4700
 F: 248.544.4854
 WWW.STREETVINE.COM

PROJECT:
 THIRD AND CANOPY
 2201 W. CONGRESS
 DETROIT, MI 48226

ISSUED FOR:
 08/20/20
 PERMIT REVISION 08/26/20
 HCC REVISION 04/20/20

DRAWN BY:
 Checked by:
 JAV, MAB, AAD
 SECTIONS AND
 DETAILS
 2022.002
 Sheet No.:
A4.1

DO NOT SCALE DRAWINGS
 © 2020 StuckyWate Architects

EXHIBIT G

EXHIBIT H



October 28, 2022

VIA ELECTRONIC MAIL

Mr. Hari Krishna
Construction Projects Manager
Basco
220 W. Congress, Suite 200
Detroit, MI 48226
Via email: harik@bascomi.com

**RE: 220 W. Congress
Detroit, MI**

Dear Mr. Krishna,

Comcast is in receipt of a notice that the easement located on the above referenced property is being abandoned and requesting confirmation that Comcast has no facilities impacted by removal of the easement. We have reviewed the request and determined that Comcast has no facilities in the easement and, therefore, no objection to its removal/abandonment.

Should you have any questions or concerns regarding this matter, please do not hesitate to contact me directly at (734) 359-1474.

Thank you for your attention to this important matter.

Sincerely,

Sheila Schuch

Sheila Schuch
Construction Specialist 2
Comcast Cable

EXHIBIT I

AT&T EASEMENT AGREEMENT

WHEREAS, on or around September 11, 2018, the Detroit City Council adopted the resolution attached hereto as Exhibit A (the "Resolution"), which vacated the public right-of-way and converted into a private easement for public utilities (the "Easement") the real property legally described in the attached Exhibit B (the "Property").

WHEREAS, according to the Resolution, the Easement ran the full width of the right of way, subject to the covenants, agreements, uses, reservations and regulations reflected in the Resolution.

WHEREAS, Michigan Bell Telephone Company, a Michigan corporation, d/b/a AT&T Michigan, whose address is 444 Michigan Avenue, Detroit, Michigan, 48226 and its affiliates and licensees, successors and assigns (collectively "Grantee") benefit from the Easement.

WHEREAS, 220 W Congress Detroit LLC, a Michigan limited liability company whose address is 220 W. Congress, Detroit, MI 48226 ("Grantor") and Grantee have agreed to relocate the Easement and remove all restrictions related thereto, as set forth herein.

NOW, THEREFORE, in exchange for One and 00/100 Dollar (\$1.00), the receipt of which is hereby acknowledged, Grantor and Grantee agree as follows:

1. The Easement as described in the Resolution is hereby vacated with respect to Grantee's interest, and any and all restrictions located within and/or relating to the Easement for the benefit of Grantee are hereby terminated.
2. Grantor hereby warrants, grants, and conveys to Grantee the five (5) foot easement legally described in Exhibit C attached hereto and reflected in Exhibit D attached hereto and labeled, "5' (five foot) Westerly easement to AT&T" (the "Revised Easement Area"), for the purposes of and in order to construct, reconstruct, modify, supplement, maintain, operate and/or remove facilities for the transmission of signals used in the provision of communication, video and/or information services and/or any other services or uses for which such facilities may be used including, but not limited to, cables, wires, conduits, ducts, below-ground cable or wire enclosures, handholes, manholes, underground vaults, and other related or useful equipment, fixtures, appurtenances and facilities, which may from time to time be required, together with the right of ingress and egress across the Property for the purpose of access to and use of the Revised Easement Area.
3. Grantee expressly acknowledges, agrees and consents to Grantor, at Grantor's sole cost and expense, making the improvements reflected in Exhibit D attached hereto within the Revised Easement Area ("Grantor Improvements"), which Grantor Improvements shall require no further action or consent from Grantee. Grantee further expressly acknowledges and agrees that Grantor may make further improvements to and within the Revised Easement Area provided Grantor first remits to Grantee the site plan(s) for same and takes commercially reasonable precautions in installing same.
4. Grantee hereby agrees to promptly restore in good and workmanlike manner all property damaged, destroyed or disturbed in connection with Grantee's construction, reconstruction, maintenance, operation or removal activities related to Grantee's and its employees', contractors', representatives' and assigns' (collectively, the "Grantee Parties") use of the Easement Area and the Revised Easement Area and the exercise of any other rights of Grantee under this Easement Agreement and the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or any of the Grantee Parties on the Property or within the Revised Easement Area.

5. Grantee hereby agrees to indemnify and hold Grantor harmless from and against any and all damages, liabilities, claims and expenses, including but not limited to attorney's fees incurred by or asserted against Grantor which arise out of any personal injury or death or property damage arising out of any of Grantee's or the Grantee Parties' construction, reconstruction, maintenance, operation, removal or restoration activities under this Easement Agreement or the exercise of any other rights of Grantee or the Grantee Parties under this Easement Agreement or the operation of any facilities, improvements or other items installed, constructed or placed by Grantee or the Grantee Parties on the Property or within the Easement Area or the Revised Easement Area.
6. This Easement Agreement is binding upon and shall inure to the benefit of the heirs, successors, assigns, and licensees of the parties hereto.
7. This transfer is exempt from the Real Estate Transfer Tax pursuant to MCLA 207.505(a) and from State Real Estate Transfer Tax pursuant to MCLA 207.526(a).

[Signatures appear on the following page]

IN WITNESS WHEREOF, the undersigned have hereunto set their hand and seal this 30th day of January 2023.

GRANTOR: 220 W Congress Detroit, LLC
a Michigan Limited Liability Company

GRANTEE: Michigan Bell Telephone Company, a
Michigan Corporation, d/b/a AT&T
Michigan

By: [Signature]
Signature of: Roger Basmajian
Title: manager

By: [Signature]
Signature of: Angela Wesson
Title: ROW Manager

STATE OF MICHIGAN)
)ss
COUNTY OF Wayne)

The foregoing instrument was acknowledged before me this 30th day of January 2023, by Roger Basmajian, the MANAGER of 220 W Congress Detroit, LLC, a Michigan Domestic Limited Liability Company, known to be the person named in and who executed the within instrument as Grantor and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: Bridgette A. Smith
[Signature]

BRIDGETTE A SMITH
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WAYNE
My Commission Expires September 22, 2028
Acting in the County of Wayne

Wayne

Wayne County, Michigan, acting in Wayne County My Commission Expires 09/22/2028

STATE OF MICHIGAN)
)ss
COUNTY OF Macomb)

The foregoing instrument was acknowledged before me this 27 day of January 2023, by Angela Wesson, the ROW Manager of Michigan Bell Telephone Company, a Michigan Corporation, d/b/a AT&T Michigan, known to be the person named in and who executed the within instrument as Grantee and acknowledged that he/she executed the same as his/her free act and deed for the intents and purpose therein mentioned.

Notary Public: Adrienne J. Strubank
[Signature]

ADRIENNE J. STRUBANK
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES May 3, 2027
ACTING IN COUNTY OF MACOMB

Wayne County, Michigan, acting in Macomb County My Commission Expires 5.3.2027

Return to:
Angela M Wesson
Right-of-Way Manager
54 N Mill Street
Pontiac, MI 48342

Document Drafted By:
AT&T Legal Department – Right-of-Way
208 S. Akard St
Dallas, TX 75202
Insertions by: Angela M Wesson

Exhibit A

FEB-10 10:56

Bernard J. Youngblood
Wayne County Register of Deeds
 2020033508 L: 35589 P: 1167
 02/10/2020 10:56 AM RES Total Pages: 2

<p>Department of Public Works City Engineering Division July 27, 2018 Honorable City Council: Re: Petition No. 146—220 W. Congress Detroit, LLC request to convey the alley running north-south to Congress Street and enter into a maintenance agreement regarding the alley that runs east-west from Shelby Street, both in the block bounded by Fort Street, Shelby Street, Congress & Washington</p> <p>Petition No. 146 by 220 W. Congress Detroit, LLC, request to outright vacate and convert to easement the north-south alley, 17.75 and 20 feet wide; also to vacate and convert to easement the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide.</p> <p>The petition was referred to the City Engineering Division — DPW for investigation (utility review) and report. This is our report.</p> <p>The request is being made to allow the alleys to be redefined into a more functional and attractive space for pedestrian traffic in the area.</p>	<p>The request was approved by the Solid Waste Division — DPW, and City Engineering Division — DPW, Traffic Engineering — DPW approved provided that 100% signatures of abutting property owners are secured; however three (3) adjoining property owners have not consented to the closure. The three adjoining owners who have not consented have been notified by mail of the possible closure. The owners of record according to the City of Detroit assessor's records are:</p> <ol style="list-style-type: none"> 1) Property owner at 201 W. Fort Street: Atwater Acquisitions LLC 201 West Fort Street Detroit, Michigan 48228 2) Property owner at 211 W. Fort Street: 211 Fort Washington Associates 211 West Fort Street #1604 Detroit, Michigan 48228 3) Property owner at 625 Shelby Street: HB Hospitality Detroit, LLC P.O. Box 2386 Birmingham, Michigan 48012 <p>The Planning and Development Department has no objection to this proposed change in property. They request that the resolution, if approved, require continued access for service vehicles and garbage pickup in the east-west alley.</p> <p>Detroit Water and Sewerage Department (DWSD) has no objection to the conversion to easement. The specific DWSD provisions for easements are included in the resolution.</p>	<p>DTE — Gas division reports involvement with existing gas service lines. The estimated costs of removing/relocating their services is \$15,981.84 and a provision for the relocation of DTE — Gas services is a part of the attached resolution.</p> <p>Comcast reports involvement and the estimated cost of removal/relocation of their services to \$13,915.95 and a provision for the relocation of Comcast services is a part of the attached resolution.</p> <p>All other involved City Departments, and privately owned utility companies have reported no objections to the conversion of the public rights-of-way into private easements for public utilities. Provisions protecting utility installations are part of the attached resolution.</p> <p>I am recommending adoption of the attached resolution.</p> <p>Respectfully Submitted, RICHARD DOHERTY, P.E. City Engineer City Engineering Division — DPW By Council Member Ayers:</p> <p>Resolved, That all that part of the east-west alley, 20 feet wide, all in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, from the vacated westerly portion of the subject alley to Shelby Street and further described as: land in the City of Detroit, Wayne County, Michigan being part of the east-west alley, 20 feet wide lying northerly of and adjoining the northerly line of Lots 11, 12, 13, and the easterly 20.81 feet of Lot 10, said lots lying northerly of and adjoining the northerly</p>
---	---	---

STATE OF MICHIGAN) ss. SHORT FORM-TRUE COPY CERTIFICATE
 CITY OF DETROIT)

I, **Janice M. Winfrey** CITY CLERK of the City of Detroit, do

hereby certify that the annexed paper is a True Copy of a Resolution

adopted by the City Council on SEPTEMBER 11, 2018

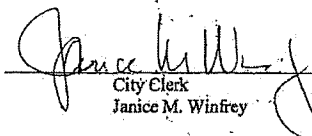
and approved by the Mayor on SEPTEMBER 17, 2018

as appears from the Journal of said City Council, on file in my office.

IN WITNESS WHEREOF, I have hereunto
 Set my hand and affixed the Corporate
 Seal of said City, at Detroit, on

AUGUST 28, 2019

Drafted by:
 Return to:
 Deborah Outlaw
 2 Woodward
 2000AYMC
 Detroit, MI 48226


 City Clerk
 Janice M. Winfrey

line of Congress Street; said alley also lying southerly of and adjoining the southerly line of Lots 11, 12, and the easterly 20.81 feet of Lot 9 said lots lying southerly of and adjoining the southerly line of Fort Street. The Tract of Land granted by Act of Congress (approved May 20, 1825) to the City of Detroit as the same have been divided into lots and numbered by order of the Common Council of Said City also known as the Military Tract or Reserve" as recorded in Liber 5 of City Records, on page 218 Wayne County Records.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said right-of-way and by their heirs, executors, administrators and assigns, forever to wit:

First, Said owners hereby grant to and for the use of the public an easement over said vacated public alley herein above described for the purposes of maintaining, installing, repairing, or replacing public utilities such as water mains, sewers, gas lines or mains, telephone, electric light conduits or poles or fillings usually placed or installed in a public alley in the City of Detroit, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Second, Said utility easement in and over said vacated alleys herein above described shall be forever accessible to the maintenance and inspection forces of the utility companies, or those specifically authorized by them, for the purpose of inspecting, installing, maintaining, repairing, removing or replacing any sewer, conduit, water main, gas line or main, telephone or light pole or any utility facility placed or installed in the utility easement. The utility companies shall have the right to cross or use the driveways and yards of the adjoining properties for ingress and egress at any time to and over said utility easements with any necessary equipment to perform the above mentioned task, with the understanding that the utility companies shall use due care in such crossing or use, and that any property damaged by the utility companies, other than that specifically prohibited by this resolution, shall be restored to a satisfactory condition.

Third, Said owners for their heirs and assigns further agree that no buildings or structures of any nature whatsoever including, but not limited to, concrete slabs or driveways, retaining or partition walls (except necessary line fences), shall be built or placed upon said easement, nor change of surface grade made, without prior approval of the City Engineering Division — DPW.

Fourth, That if the owners of any lots abutting on said vacated alleys shall request the removal and/or relocation of any existing poles or other utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation, unless such charges are waived by the utility owners.

Fifth, That if any utility located in said property shall break or be damaged as a result of any action on the part of said owners or assigns (by way of illustration but not limitation) such as storage of excessive weights of materials or construction not in accordance with Section 3, mentioned above, then in such event said owners or assigns shall be liable for all costs incidental to the repair of such broken or damaged utility; and

Sixth, Said owners hereby grant to and for the use of the public an easement over said vacated alley herein above described for the purpose of providing access to abutting property owners for emergency use such as fire escapes and service vehicle, including trash receptacles, with the right to ingress and egress at any time to and over said easements for the purpose above set forth.

Provided, That an easement, the full width of the existing right-of-way, is reserved for the Detroit Water and Sewerage Department for the purpose of installing, maintaining, repairing, removing, or replacing any sewers, water mains, fire hydrants and appurtenances, with the right to ingress and egress at any time to, and over said easement for the purpose above set forth; and be it further

Provided, That free and easy access to the sewers, water mains, fire hydrants and appurtenances within the easement is required for Detroit Water and Sewerage Department equipment, including the use of backhoes, bull dozers, cranes or pipe bucks, and other heavy construction equipment, as necessary for the alteration or repair of the sewer or water main facilities; and be it further

Provided, That the Detroit Water and Sewerage Department retains the right to install suitable permanent main location guide post over its water mains at reasonable intervals and at points deflection; and be it further

Provided, That said owners of the adjoining property, for themselves, their heirs and assigns, agree that no building or structure of any nature whatsoever, including porches, patios, balconies, etc., shall be built upon or over said easement, or that no grade changes or storage of materials shall be made within said easement without prior written approval and agreement with the Detroit Water and Sewerage Department; and be it further

Provided, That if anytime in the future, the owners of any lots abutting on said vacated alley shall request the removal and/or relocation of the aforementioned utilities in said easement, such owners shall pay all costs incidental to such removal and/or relocation. It is further provided that if sewers, water mains, and/or appurtenances in said easement shall break or be damaged as a result of any action on the part of the owner, or assigns, then in such event, the owner or assigns shall be liable for all costs incidental to the repair of such broken or damaged sewers and water mains, and shall also be liable for all claims for damages resulting from his action; and be it further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Shelby Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Be it Also Resolved, That all of the north-south alley, 17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby Street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13, 1858 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Part of the United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30, 1825, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows: Beginning at the Southwest corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 60 feet wide, with the northerly line of Congress Street, 60 feet wide; thence N. 60d 00m E. along the northerly line of

Congress Street, 127.45 feet to a point, said point being the southwest corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 198.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 28d 50m 50s E. 78.00 feet to a point; thence S. 60d 00m W. 2.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Be and the same are hereby vacated as a public right-of-way and converted into a private easement for public utilities of the full width of the right-of-way, which easement shall be subject to the following covenants and agreements, uses, reservations and regulations, which shall be observed by the owners of the lots abutting on said right-of-way and by their heirs, executors, administrators and assigns, forever to wit:

Provided, That petitioners/property owner make satisfactory arrangements with any and all utility companies for cost and arrangements for the removing and/or relocating of the utility companies and city departments services or granting of easements if necessary, and further

Provided, That the petitioner makes the necessary arrangements with DTE — Gas division for relocation of the existing gas service lines. The estimated costs of removing/relocating their services is \$15,811.84 with all costs to be borne by the petitioner, and further

Provided, That the petitioner makes the necessary arrangements with Comcast for removal/relocation of their services at an estimated cost of \$13,915.85 to be borne by the petitioner, and further

Provided, That if it becomes necessary to remove the paved alley return at the entrance (into Congress Street) such removal and construction of new curb and sidewalk shall be done under city permit and inspection according to City Engineering Division — DPW specifications with all costs borne by the abutting owner(s), their heir or assigns; and further

Provided, That the City Clerk shall within 30 days record a certified copy of this resolution with the Wayne County Register of Deeds.

Adopted as follows:
Yeas — Council Members Ayres, Castaneda-Lopez, McCauley, Jr., Spivey, Tate and President Jones — 6.
Nays — None.

Exhibit B

All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 6S.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

Exhibit C

The Easement Area is legally described as:

The Westerly 5 (five) feet of the below described property. The same being described as a 5 (five) foot wide strip of land, parallel and adjacent to the Westerly property line.

The Property is legally described as:

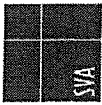
All of the North - South Alley

17.75 and 20 feet wide in the block of Congress Street, 60 feet wide, Fort Street, 100 feet wide, Washington Boulevard, 80 feet wide, and Shelby street, 60 feet wide, as opened by deed accepted by Detroit Common Council on May 13th, 1958 on J.C.C. pages 1048-1049 and described as follows: parcel of land lying on the North side of Congress Street, East of Wayne Street (Now Washington Boulevard), being a part of Lot 10, Military Reserve, Plat of United States Grant to the City of Detroit, by the Governor and Judges under Act of Congress May 30th, 1826, recorded in Liber 5 on Page 218 City Records, City of Detroit, Wayne County, Michigan, and more particularly described as follows:

Beginning at the Southwesterly corner of Lot 8 of said Military Reserve, said point being also the intersection of the easterly line of Wayne Street, 50 feet wide, with northerly line of Congress Street, 50 feet wide; thence N. 60d 00m E. along the northerly line of Congress Street, 127.45 feet to a point, said point being the southwesterly corner and the point of beginning of the parcel herein described; thence N. 30d 00m W. (at right to Congress Street) 138.00 feet to a point; thence N. 60d 00m E. along the southerly line of a public alley, 20 feet wide, 20.81 feet to a point; thence S. 29d 58m 50s E. 73.00 feet to a point; thence S. 60d 00m W. 3.00 feet to a point; thence S. 29d 58m 50s E. 65.00 feet to a point on the northerly line of Congress Street; thence S. 60d 00m W. along the northerly line of Congress Street 17.75 feet to the point of beginning.

Commonly known as 220 W. Congress a/k/a 230 W. Congress
Ward 02 Item 000162

Exhibit D



STREET THREE ARCHITECTS
 1000 W. WISCONSIN STREET
 SUITE 200
 MILWAUKEE, WI 53233
 P. 414.334.9198
 F. 414.334.9199
 WWW.THREETHREEARCHITECTS.COM

CONTRACTOR: [Redacted]
 ARCHITECT: [Redacted]
 PROJECT: [Redacted]
 DATE: [Redacted]

PROJECT: ALLEY-OUT BACK
 200 W. WISCONSIN STREET
 DETROIT, MI 48226

DATE: [Redacted]

Drawn by: [Redacted]
 Checked by: JAC/KAP
 Sheet Title: SITE PLAN DETAILS

Project No.: 2021.069
SP1.1

GENERAL SITE PLAN NOTES:

1. THE NOTES SHALL BE READ IN CONJUNCTION WITH THE GENERAL NOTES TO THE PLAN SHEET.
2. CONCRETE FOOTINGS SHALL BE CAST IN PLACE WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER AND 4" DIA. FOR ALL WALLS.
3. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
4. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
5. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
6. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
7. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
8. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
9. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
10. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
11. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
12. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
13. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
14. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
15. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
16. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
17. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
18. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
19. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.
20. ALL CONCRETE SHALL BE CAST WITH A MINIMUM OF 4" REINFORCING BARS AT 18" ON CENTER.

SITE PLAN KEY NOTES:

SEE PLAN SHEET 20-1 FOR DETAILS.

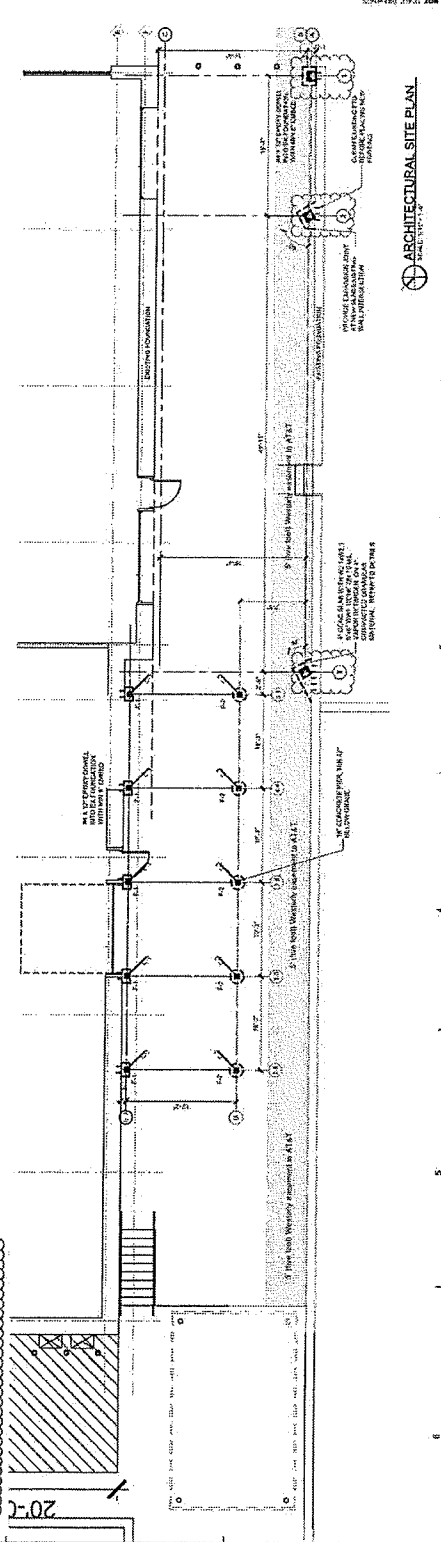
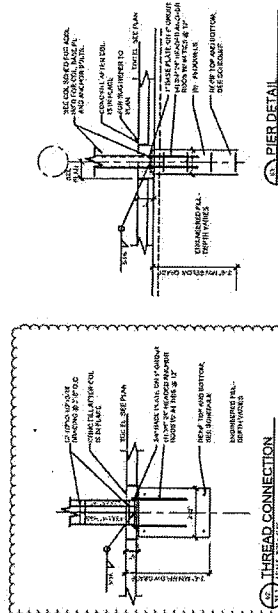



EXHIBIT J

Rogers, Elizabeth

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Wednesday, February 8, 2023 11:52 AM
To: Rogers, Elizabeth
Subject: Re: Vacation of Easement

 - You've never replied to this person.

[Report or Mark Safe](#) | Powered by Mimecast

Good morning, Elizabeth. The parcel that is the north-south alley to Congress is clear. No assets. The east-west alley would require coordination and more investigation on the part of the applicant. According to City records there are DWSD assets in the east-west alley, both water (6") and sewer (15", upstream end of a 15x20" sewer). At least one other customer appears to be tapped off this water main. If the applicant is willing to do some CCTV investigation on the sewer line, and in the case that nothing else was tied into the line, it is possible that DWSD would allow abandonment of that asset.

Regards,
Jacob

From: Jacob Bahri <Jacob.Bahri@detroitmi.gov>
Sent: Tuesday, February 7, 2023 1:09 PM
To: erogers@taftlaw.com <erogers@taftlaw.com>
Subject: RE: Vacation of Easement

Good afternoon, Elizabeth. I will confirm if DWSD has assets within this easement area. If we do, we will request a development plan of what is happening or planned to happen on this parcel. Relocation of water/sewer mains will depend on what the future plans for this site are. I will be able to confirm if we have assets in the area by the end of the day, hopefully. If not, you will hear from me tomorrow morning. Is your client aware that the costs of relocating a water/sewer main will be borne by the Property Owner, not the city? Do you guys already have engineering plans on where you wish to relocate such assets? Could you provide that to me so I can share it with our engineers? Thanks

Regards,



Jacob S. Bahri
Associate General Counsel
P: 313.880.2763
E: Jacob.Bahri@detroitmi.gov
DETROIT WATER AND SEWERAGE DEPARTMENT
735 Randolph St. • Detroit, MI 48226
www.detroitmi.gov/DWSD
Customer Care: 313.267.8000

Michael E. Duggan, Mayor

This email and any files transmitted with it are confidential, may be subject to attorney-client privilege, attorney work product or other privilege and are intended solely for the use of the addressee(s). If you are not the named addressee, printing, disclosing, distributing, or taking any action in reliance on the contents of this information is strictly prohibited; immediately notify the sender, by email reply, if you received this message by mistake, delete the message from your

system, and destroy any copies. This email may contain an offer to compromise or contain a negotiation to compromise or settle a disputed fact or claim. Therefore, this communication is protected pursuant to MRE 408.

From: Rogers, Elizabeth <erogers@taftlaw.com>
Sent: Tuesday, February 7, 2023 12:20 PM
To: Debra Pospiech <Debra.Pospiech@detroitmi.gov>
Subject: [EXTERNAL] Vacation of Easement

Good afternoon, Debra,

This office represents 220 W. Congress Detroit, LLC, the owners of 220 W. Congress located in Detroit.

My clients are seeking DWSD's support for the vacation of the public utilities easement preserved by the attached Detroit City Council Resolution. If DWSD has facilities within the easement, please advise so that we can discuss relocation. If there are no facilities within the easement, kindly provide a signed letter on DWSD letterhead confirming that you have no objections to vacation of the easement.

The signed letter can be sent to me electronically and addressed to:
220 W. Congress Detroit, LLC
c/o Elizabeth Rogers, Esq.
Taft, Stettinius & Hollister
27777 Franklin Road
Ste. 2500
Southfield, Michigan 48034

If you have any questions, please do not hesitate to contact me.

Thanks,
Liz Rogers

Taft/

Elizabeth Rogers
Partner
erogers@taftlaw.com
Dir: 248.727.1617
Tel: 248.351.3000
27777 Franklin Rd
Suite 2500
Southfield, Michigan 48034

Taft Bio
Download vCard
taftlaw.com

Taft/ Jaffe
ASBESTOS LITIGATION & MORE

Jaffe has joined Taft. Now over 800 attorneys strong.
Learn more [here](#).

This message may contain information that is attorney-client privileged, attorney work product or otherwise confidential. If you are not an intended recipient, use and disclosure of this message are prohibited. If you

received this transmission in error, please notify the sender by reply e-mail and delete the message and any attachments.