

Project:  
**Livernois Facade Renovation**

Location:  
18999-19011 Livernois Ave., Detroit, MI

Project Number:  
K2018-07

DETAIL IDENTIFICATION	ROOM NAME AND NUMBER INDICATION	ROOM IDENTIFICATION

**Drawing Index**

SHT#	Description	Issued for	Date
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M02	Mechanical Schedules and Details		

**General Notes**

- Do not scale drawings use figured dimensions
- This scope of work description is a general outline of the work to be performed, and is not intended to replace or reduce the requirements indicated in the drawings and the specifications.
- Contractor shall be responsible to check existing conditions and all dimensions, and report discrepancies to owner and architect for resolution.
- Drawings that do not bear the mark issued for construction shall not be used for construction purposes.
- The contractor, by commencing the work, accepts the conditions of the site and the completeness of the construction documents. Any discrepancies between the drawings and actual conditions shall be brought to the attention of the architect prior to the start of work.
- The contractor shall review all drawings and specifications. Contractor is responsible for complete review. The contractor shall promptly notify the architect of any ambiguity, inconsistency or error that they discover upon examination of the contract documents and site conditions.
- Each contractor shall obtain and pay for the required permits and obtain all required inspections.
- All surplus materials shall be removed from site by each contractor associated with the materials. Contractor shall dispose of same off site in a legal manner.
- Each contractor shall remove all of their respective debris on a daily basis. Contractor shall keep the project site clean of debris at all times.
- Equipment furnished by others but installed by contractor shall obtain shop drawings from the supplier who's equipment is to be installed in order to obtain rough-in dimensions, sizes, and locations of services.
- Each contractor shall be required to rough-in for the equipment furnished and make final connection(s). Contractor to include the required valves, traps, tail pieces, supply risers, etc.
- Mechanical contractor to provide one year labor and material warranty for all mechanical equipment. Provided under this contract from date of owner's acceptance.
- Mechanical contractor to provide "as-built" drawings of all work performed by mechanical contractor, own trades and those contracted directly by same. As-built drawings shall be required prior to contractor receiving final payment.
- Mechanical contractor to present final inspection certificate to general contractor / owner upon completion of work. Final inspection certification shall be required prior to mechanical contractor receiving final payment.

**Project Summary**

Project Location:	19011 Livernois Ave Detroit, MI
Project summary:	18999 - 19001 Livernois Ave, Detroit, MI Renovation and Facade improvement of existing retail space. ALTERATION—LEVEL 2 (SECTION 504 MRCEB 2015)
Owner:	Summit Commercial 7700 Second Ave., Suite 300 Detroit, Michigan 48202
Tenant:	TBD
Codes Building Code:	Michigan Rehabilitation Code for Existing Buildings 2015
Plumbing Code:	Michigan Code 2015
Mechanical Code:	Michigan Code 2015
Barrier Free:	Michigan Barrier Free
Legal Description:	18999 Livernois: W LIVERNOIS 258 THRU 260 EXC LIVERNOIS AVE AS WD CANTERBURY GARDENS SUB L37 P65 PLATS, W C R 16/291 60 X 75.39A 19011 Livernois: W LIVERNOIS 256&257 EXC LIVERNOIS AVE AS WD CANTERBURY GARDENS SUB L37 P65 PLATS, W C R 16/291 40 X 75.42A
Parcel No.:	16017574-6 (18999-19001 Livernois Ave 16017573 (19011 Livernois Ave
Building Area:	Parcel A - 3,000 sf (gross) Parcel B - 4,500 sf (gross) 19001 Livernois - 1,900 sf 18999 Livernois - 2,600 sf Total - 7,500 sf (gross)
Site area:	Parcel A - 3.003 sf (0.06897 ac) Parcel B - 4,522 sf (0.10376 ac)
Zoning District:	B2 LOCAL BUSINESS AND RESIDENTIAL DISTRICT (Sec. 61-9-31)
Existing Use:	Retail
Proposed Use:	Retail
Required Parking:	0 spaces Sec. 61-14-7. Off-street parking exemptions and allowances. Exemption (3) and (4)
Provided:	0 spaces (0 BF) existing street parking
Use Group:	Business Group B (304.1 MBC)
Type of Construction:	Type IIb (MBC Table 601)
Occupancy:	19011 Livernois - 19001 Livernois - 18999 Livernois - 60 sf/person gross (MBC 2015 TABLE 1004.1.2)
Toilet Fixtures Required:	
Toilet fixtures Provided:	2
File Suppression:	Not provided (MBC 903.2.7 Group M)



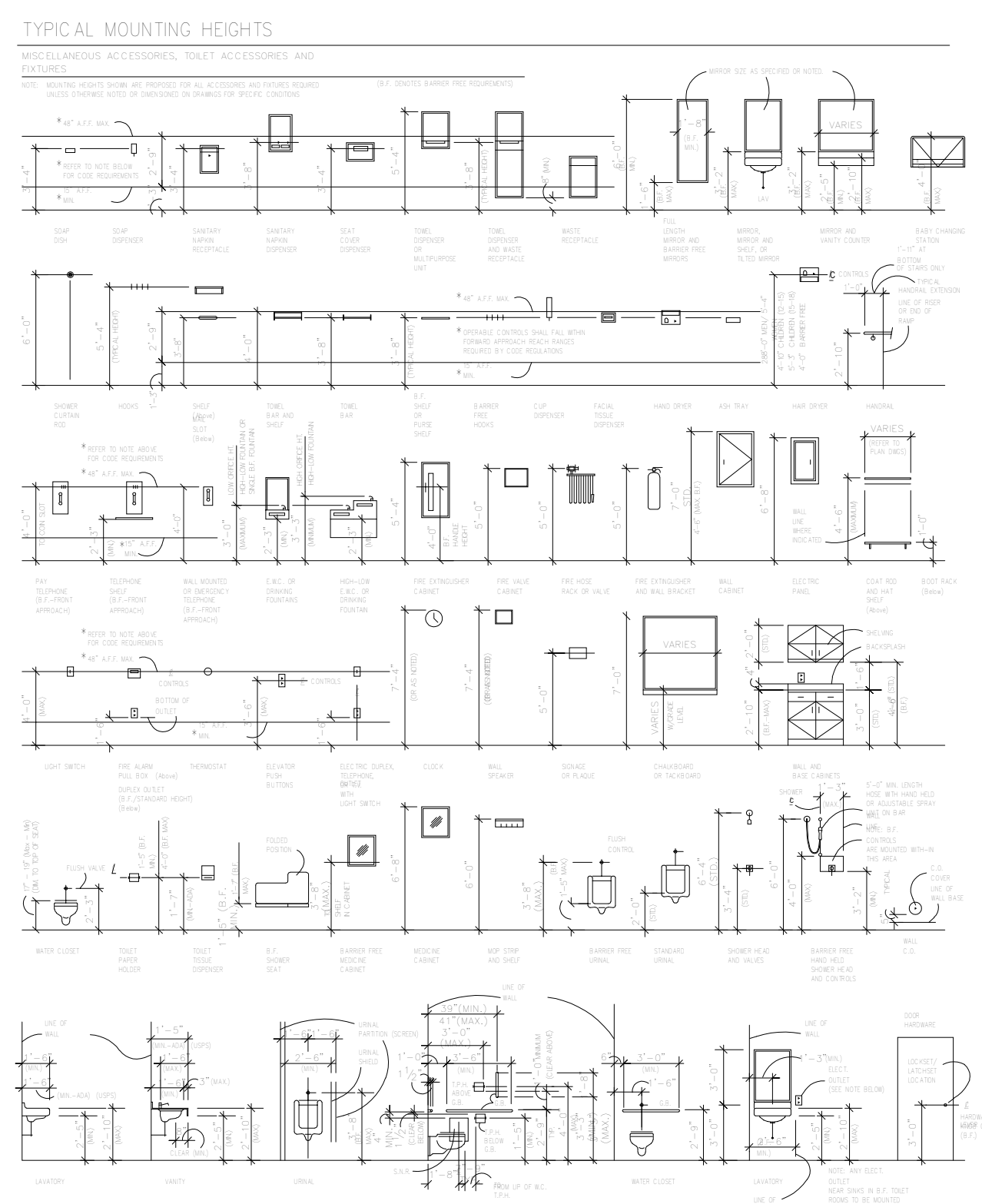
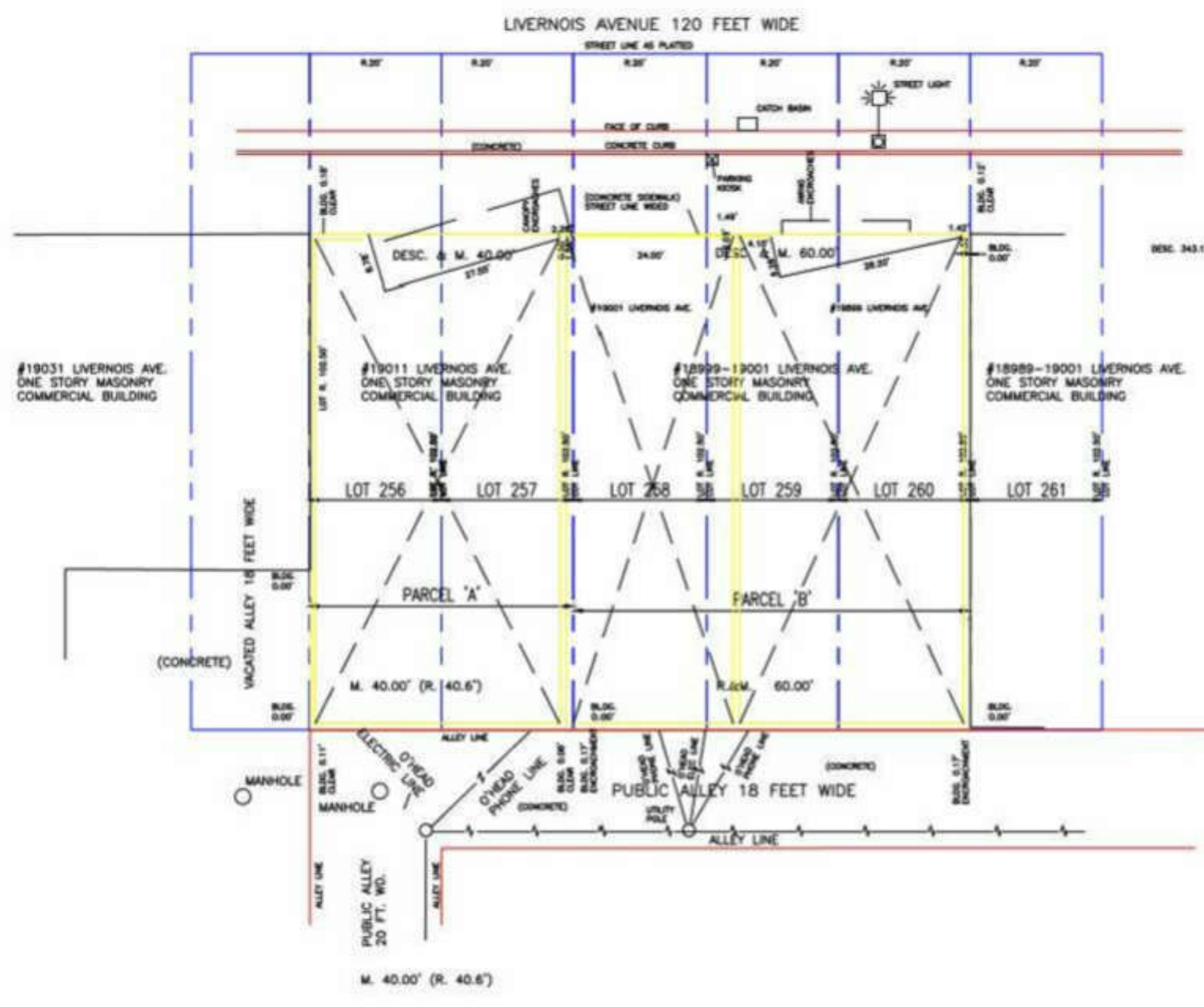
5	09MAR21	Permits (Rev)
4	26FEB21	Permits (Rev)
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2	25AUG20	Cost Estimate
1	16JUL20	Owner Review
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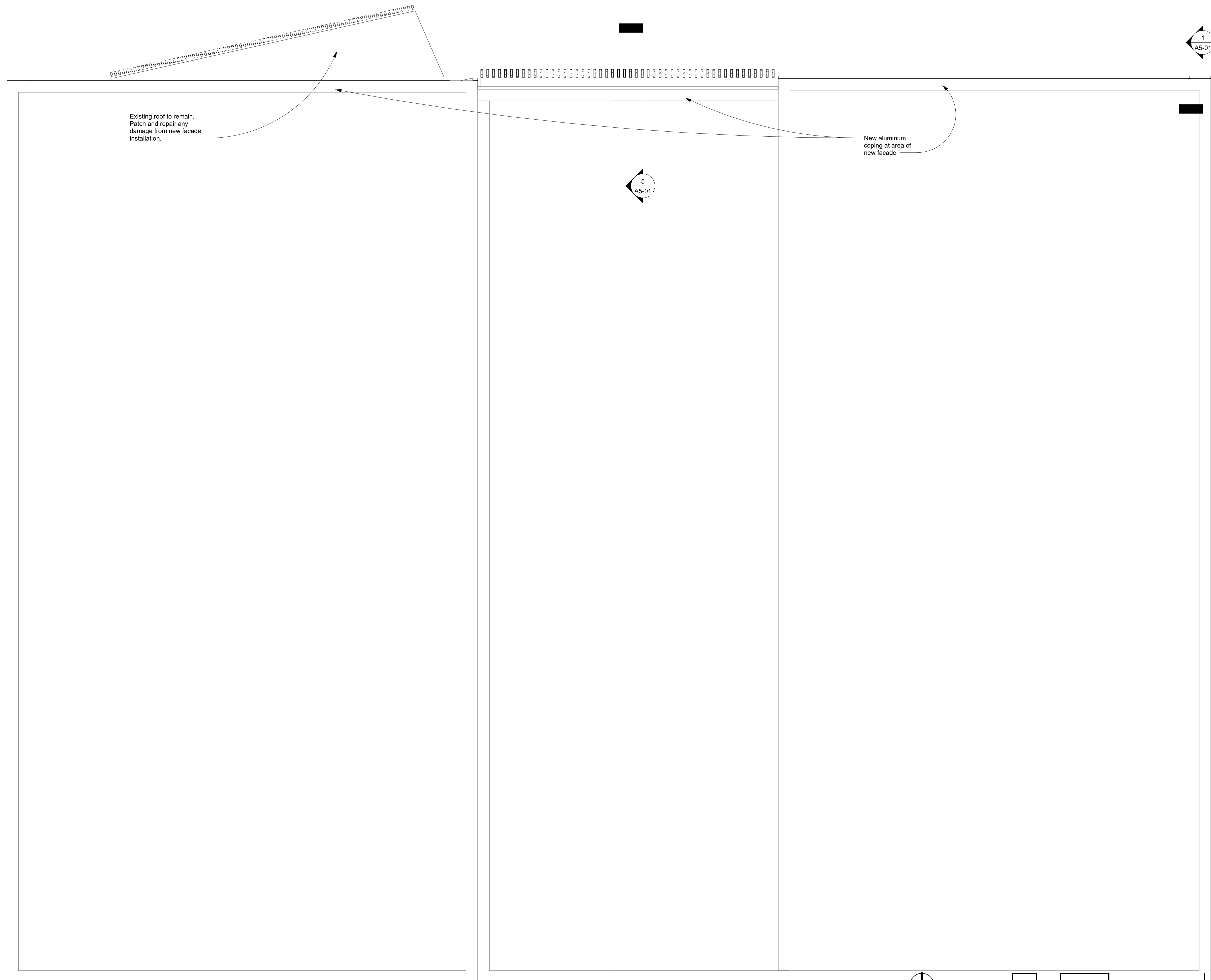
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www.crutcherstudio.com  
18999-19011 Livernois Ave.  
Cover Sheet

Project: K2018-07  
Scale:  
Date: 10/12/18

A0-0





Existing roof to remain.  
 Patch and repair any  
 damage from new facade  
 installation.

New aluminum  
 coping at area of  
 new facade

Demolition Keynote Legend



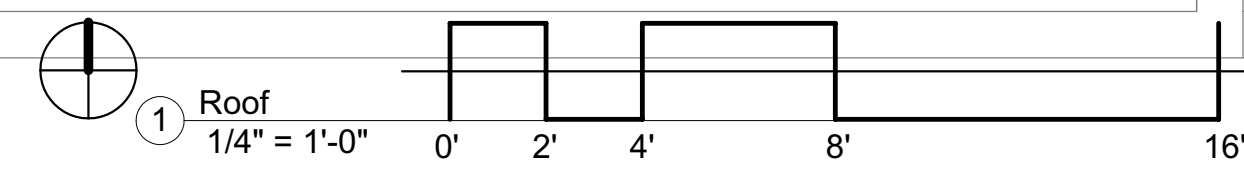
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 Roof Plan

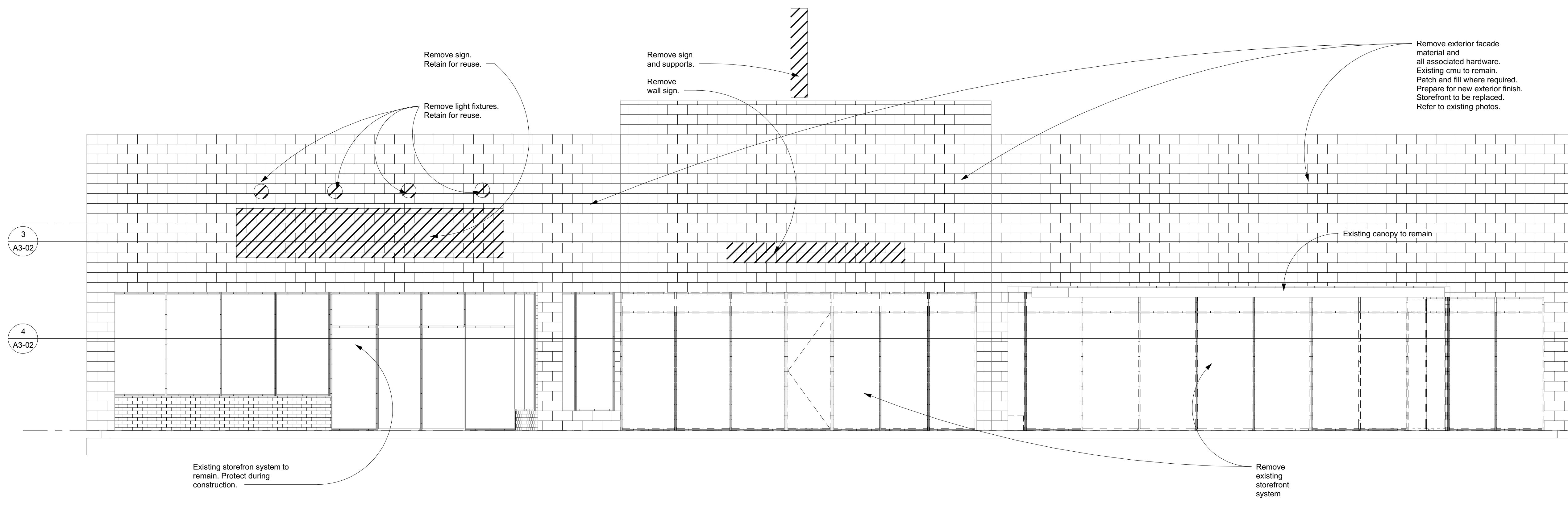
Project: K2018-07  
 Scale: 1/4" = 1'-0"  
 Date: 07/22/02

A2-05



**Demolition General Notes**

1. Coordinate scope and extent of demolition work with new work plans and details.
2. All demolition work required is not necessarily limited to what is shown on the demolition plans. The intent is to remove all mechanical, electrical, and architectural items as required to facilitate new construction.
3. Protect areas not in the scope of work during demolition and construction. The contractor shall exercise all requisite care necessary to ensure that all equipment, materials, finishes, and assemblies which are not being removed are protected from damage during demolition and subsequent construction operations.
4. General precautions shall be taken as necessary to hold all disruption, dust, dirt, noise, and debris to a minimum.
5. The contractor shall coordinate demolition work with the owner to ensure that impacts on the balance of the building are held to a minimum.
6. Refer to mechanical and electrical demolition drawings and specifications for additional demolition information.
7. The contractor shall design, provide, install and maintain any and all temporary bracing as required to ensure the stability of the building assembly and/or any systems and/or sub-assemblies and/or systems appurtenant thereto until said assembly and/or sub-assemblies are complete, self-supporting and/or stable.
8. Protect interior areas open to the exterior during demolition and construction.
9. All walls, doors, frames, and related hardware assemblies designated as "to be removed" (shown as dashed lines) shall be completely removed and disposed of as designated by owner/tenant. All existing walls not designated for demolition shall be protected from damage and remain "as-is".
10. All equipment, doors, frames, related hardware, and designated items to be salvaged shall be removed, protected from damage, and stored for reuse.
11. Clean and repair all existing floor finishes as necessary.
12. All demolition work shall be performed in a neat and workmanlike manner. All surfaces adjacent to and abutting to those designated "to be removed" shall be left with a smooth and flush appearance.
13. Prepare all surfaces to receive the new work and finishes of the contract.
14. All existing wood stud and gypsum board partitions to remain unless noted otherwise, provide protection during work.
15. Existing partitions to remain unless noted otherwise, provide protection during work.
16. Remove Existing bathroom fixtures where noted. Cap water supply and waste lines.
17. Toilet, Bathtub, and Lavatory, to be removed.
18. Existing windows to remain unless noted otherwise.
19. Existing light fixtures to remain unless noted otherwise.
20. Return removed light fixtures to the owner.
21. Retain removed fixtures for the owner.



① East Elevation Demolition  
 1/4" = 1'-0"



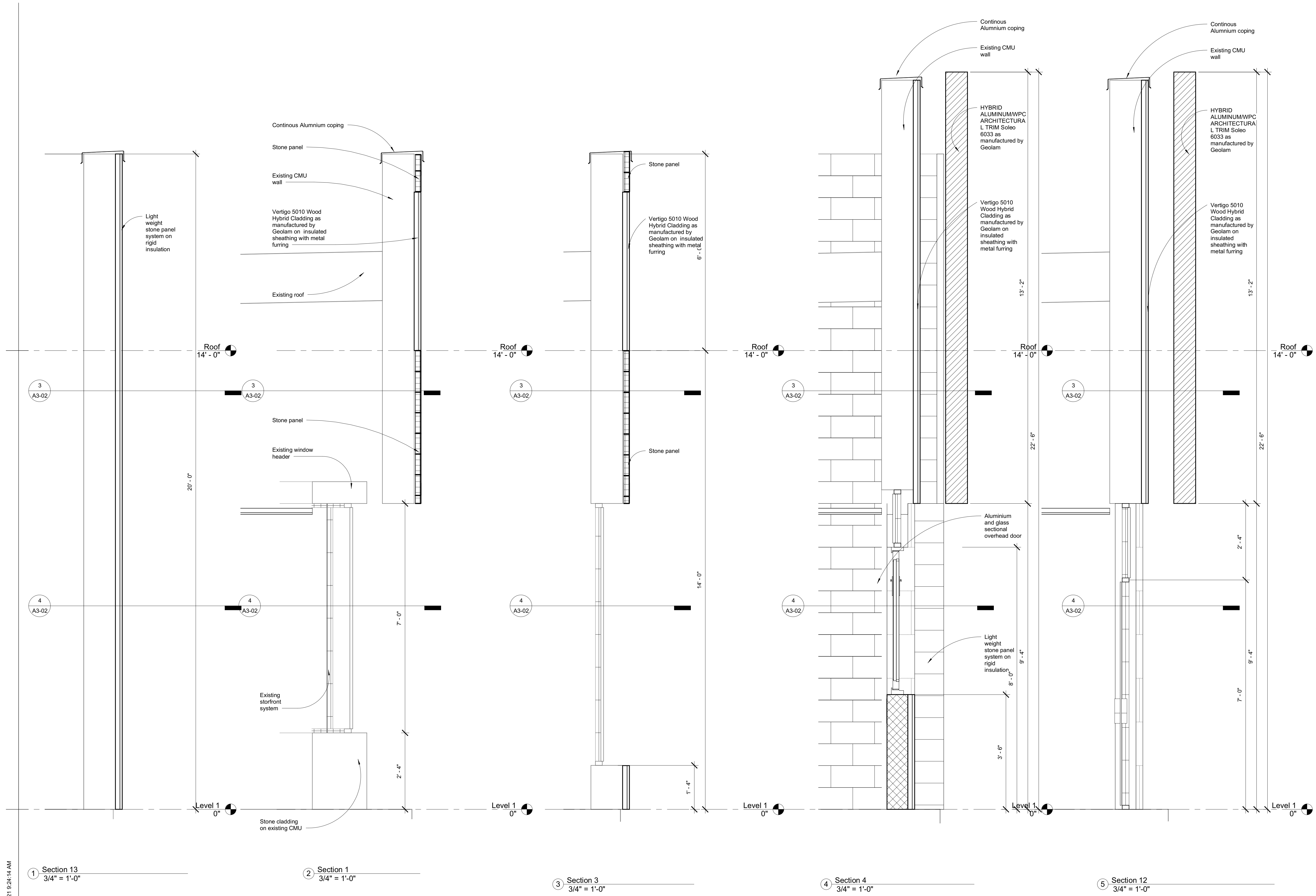
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 Demo Exterior Elevations

Project: K2018-07  
 Scale: 1/4" = 1'-0"  
 Date: 07/22/20





1 Section 13  
 3/4" = 1'-0"

2 Section 1  
 3/4" = 1'-0"

3 Section 3  
 3/4" = 1'-0"

4 Section 4  
 3/4" = 1'-0"

5 Section 12  
 3/4" = 1'-0"

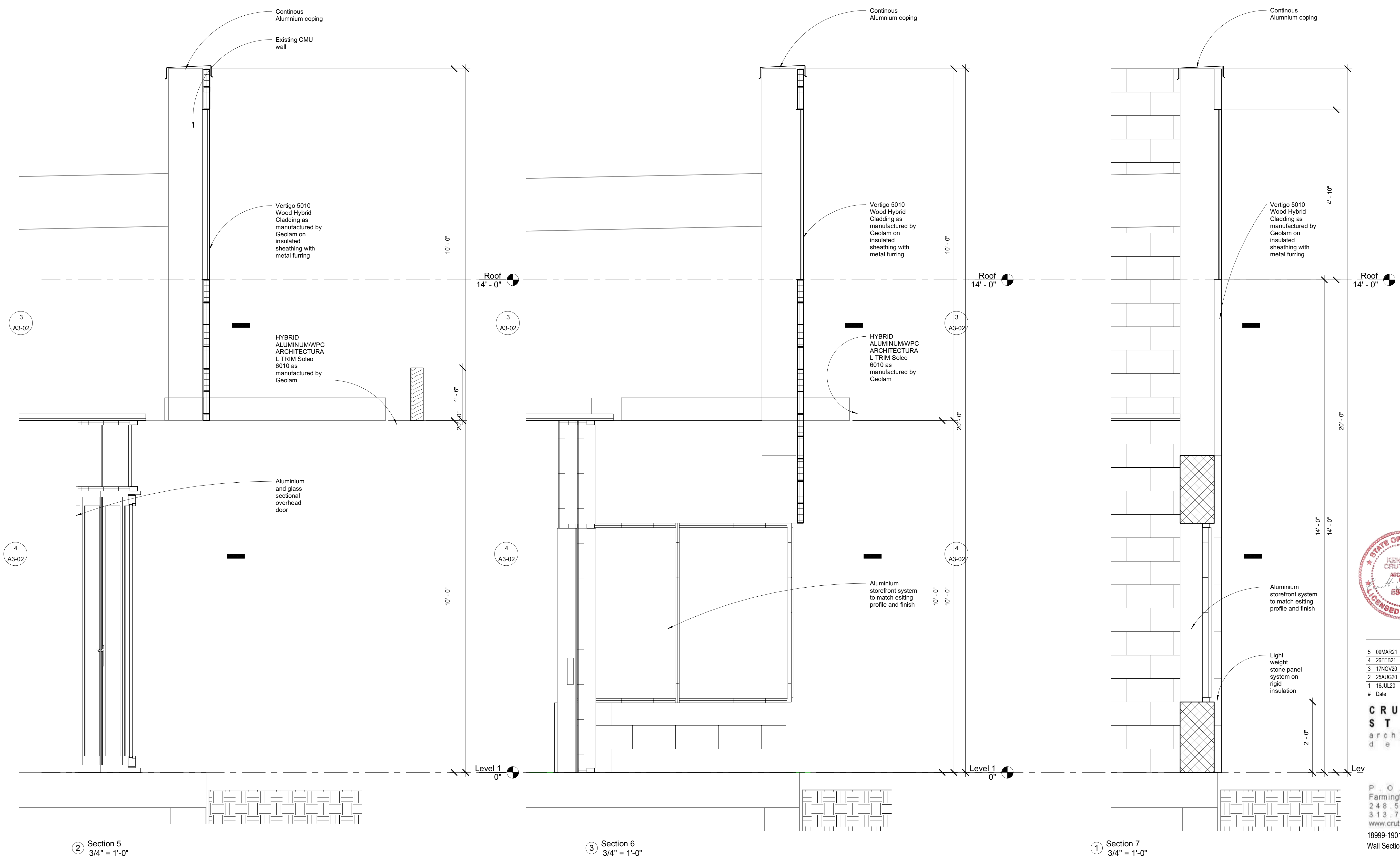


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 Wall Sections

Project: K2018-07  
 Scale: 3/4" = 1'-0"  
 Date: 07/22/02



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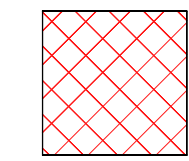
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**A5-02**

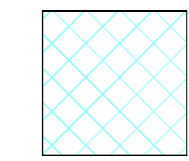


1 Material Area Study  
 1/4" = 1'-0"

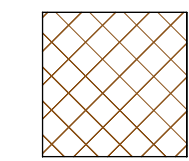
Total Area = 2059 sf  
 Glass = 676.57 sf (32.8%)  
 Area excluding windows = 1382.43  
 Metal (Wood grain finish) = 276 sf (20%)  
 Stone = 1,106 sf (50%)



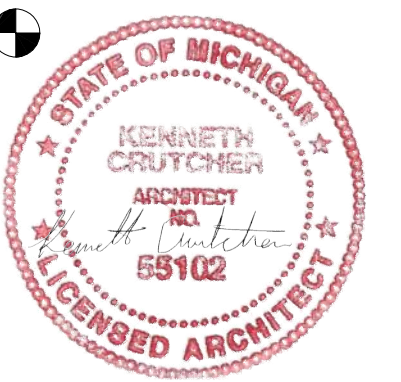
Metal



Glass



Stone




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 Elevation Material Area

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 Scale: 1/4" = 1'-0"  
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SK-01