

# SITE CONSTRUCTION PLANS FOR COMMON CITIZEN - DETROIT

12600 EAST JEFFERSON AVENUE  
DETROIT, MICHIGAN

## LEGAL DESCRIPTION (AS PROVIDED)

### PARCEL "A"

(Per Warranty Deed as recorded in Liber 51108, Page 416 of Wayne County Records)

Lots 586 through 591, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

## LEGAL DESCRIPTION "B" (AS PROVIDED)

### PARCEL "B"

(PER: QUIT CLAIM DEED AS RECORDED IN LIBER 49563, PAGE 221 WAYNE COUNTY RECORDS)

Lots 592, 593 AND 594, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

## LEGAL DESCRIPTION "B" (AS PROVIDED)

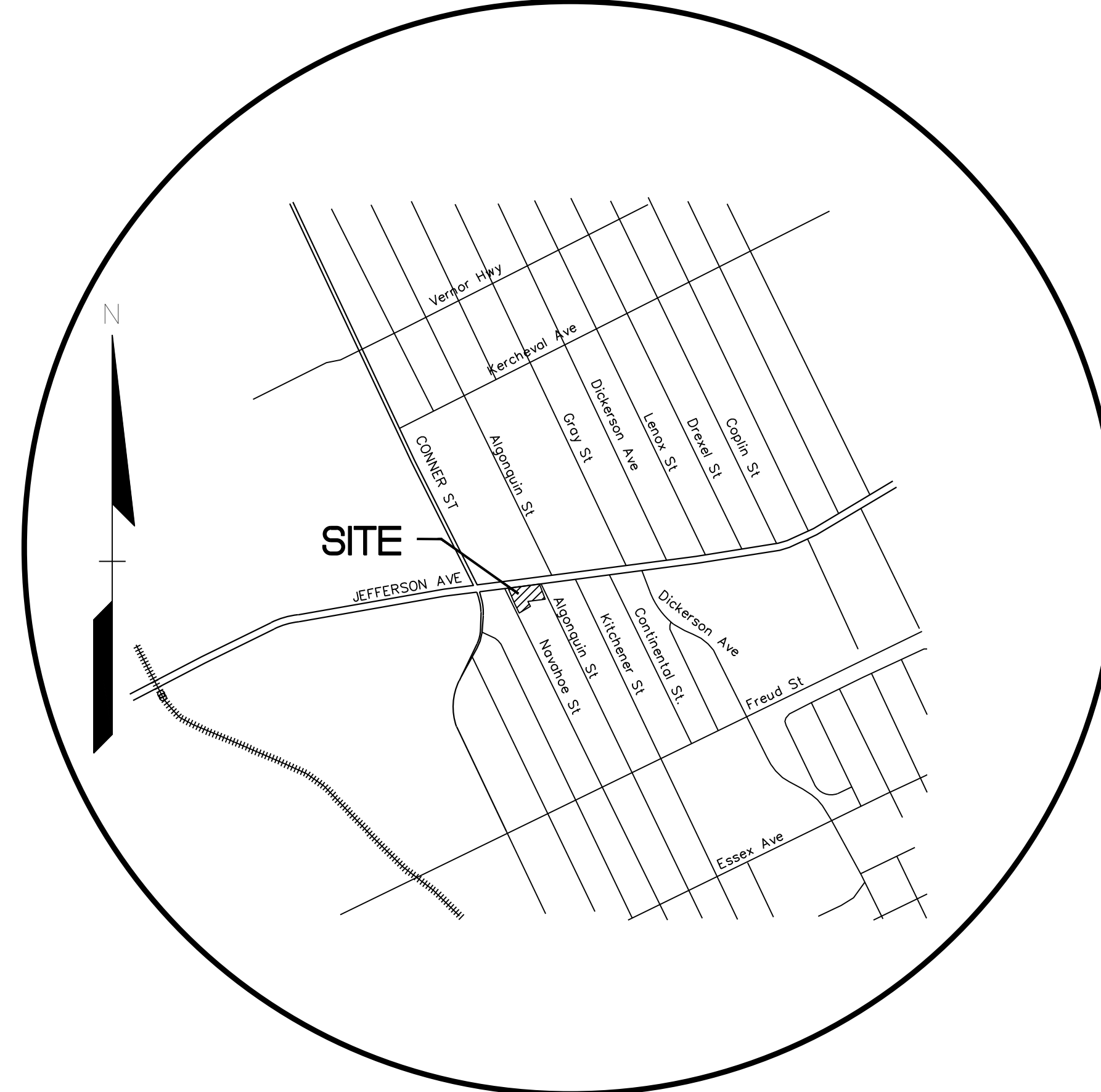
### PARCEL "C"

(PER: TAX DESCRIPTION AS PROVIDED BY WAYNE COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

**TAX ID: 21046653**  
E NAVAHOE 82 A M CAMPAU REALTY CO SUB L32 P87 PLATS, W C R.

## BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)  
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND  
(LAT: 42°22'11.58" N LON: 82°57'26.81" W, ELEV: 572,  
SCALE FACTOR: 1.00008026).



**LOCATION MAP**  
NO SCALE

## INDEX OF DRAWINGS:

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY
- C-2.0 SITE DEMOLITION PLAN
- C-3.0 SITE DIMENSION + PAVING PLAN
- C-4.0 SITE GRADING PLAN
- C-5.0 SITE UTILITY PLAN
- C-6.1 NOTES + DETAILS
- C-6.2 DETAILS
- C-6.3 DETAILS
- C-7.0 SESC PLAN
  
- LS-1 LANDSCAPE PLAN

### LANDSCAPE ARCHITECT:

FELINO A. PASCUAL + ASSOCIATES, RLA  
24333 ORCHARD LAKE ROAD, STE G  
BIRMINGHAM, MI 48336  
PHONE: (248) 557-5588  
CONTACT: FELINO PASCUAL (JOEL), RLA

### ARCHITECT:

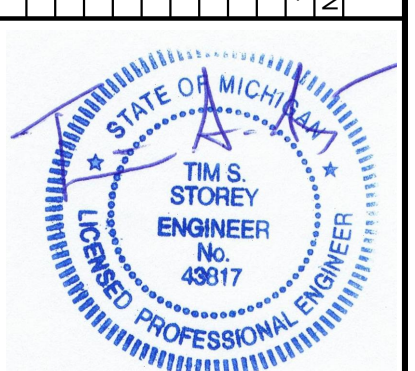
DESIGN TEAM PLUS  
975 E. MAPLE RD., STE 210  
BIRMINGHAM, MI 48009  
PHONE: (248) 559-1000  
CONTACT: HAROLD REMLINGER, AIA

### ENGINEER:

STOREY ENGINEERING GROUP, LLC  
48264 MANCHESTER  
MACOMB, MI 48044  
PHONE: (586) 216-1043  
CONTACT: TIM S. STOREY, PE

### DEVELOPER:

MPM COMPANIES, LLC  
11300 17 MILE ROAD  
MARSHALL, MI 49068  
PHONE: (248) 804-8400  
CONTACT: JOE JARVIS



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING, BUT NOT LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL PARTIES FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**



**STOREY ENGINEERING GROUP, LLC**  
48264 MANCHESTER  
MACOMB, MI 48044  
(586) 216-1043  
www.storeyengineering.com

MPM COMPANIES, LLC 11300 17 MILE ROAD MARSHALL, MI 49068	COVER SHEET	COMMON CITIZEN - DETROIT	DES.	TSS	DN.	TSS	SUR.	AMP	P.M.	TSS
			12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN	11300 17 MILE ROAD MARSHALL, MI 49068	12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN	11300 17 MILE ROAD MARSHALL, MI 49068	12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN	11300 17 MILE ROAD MARSHALL, MI 49068	12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN	11300 17 MILE ROAD MARSHALL, MI 49068

ORIGINAL ISSUE DATE: November 8, 2021
PROJ. No. 2017-013.D2
DRAWING NUMBER: <b>C-0.0</b>

NO.	DATE	BY	REVISIONS
1	1-20-22	TSS	REVISION PER CITY COMMENTS RECEIVED 1-22

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**TAX ID: 21046653**  
 E NAVAHOE 82 A M CAMPAU REALTY CO SUB L32 P87 PLATS, W C R.

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**UTILITY NOTES**

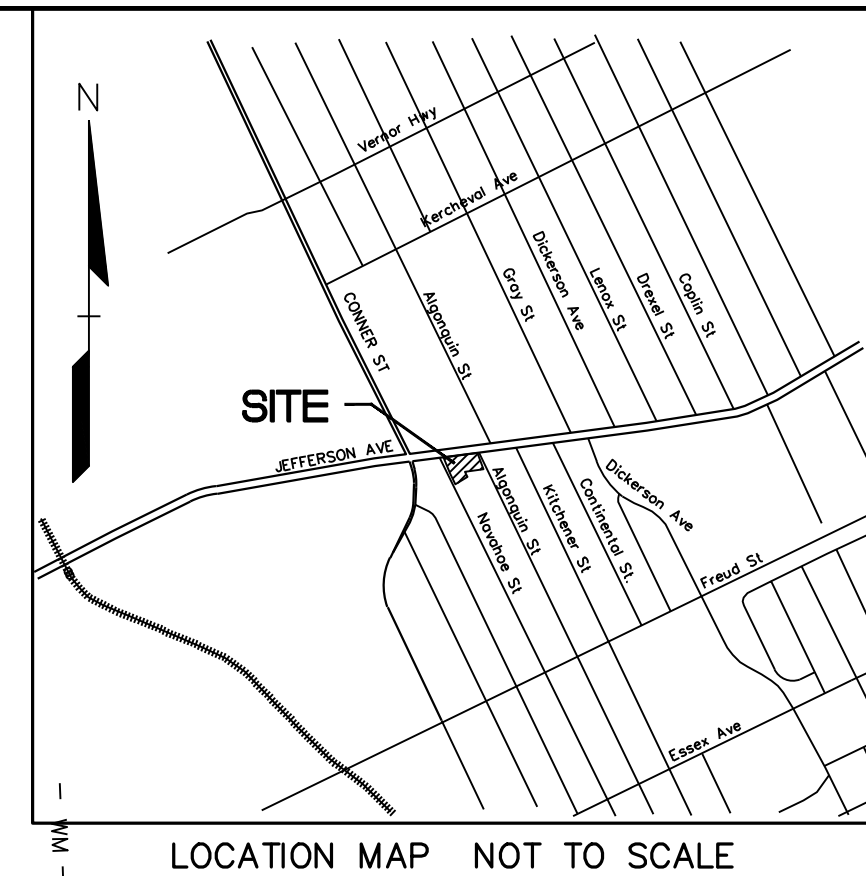
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**BENCHMARKS**

DATUM: CITY OF DETROIT  
 TO ACHIEVE NAVD88 ELEVATIONS ADD 479.27.  
 CITY BM NO.: 62-255  
 ELEV = 94.52

SITE BM D:  
 "X" SCRIBED IN SQUARE ON TOP CONCRETE LIGHT POLE BASE, 29'± EAST FROM CENTERLINE OF NORTH ENTRANCE TO SITE & 53'± NORTH FROM FRONT BUILDING FACE.  
 ELEV = 99.07

SITE BM E:  
 "X" SCRIBED IN SQUARE ON NW CORNER TRANSFORMER PAD, 39'± SOUTH FROM CENTERLINE OF WEST ENTRANCE TO SITE & 8'± WEST FROM WEST BUILDING FACE.  
 ELEV = 97.66



NO.	DATE	BY	DESCRIPTION
1	1-20-22	TSS	ISSUED PER CITY COMMENTS RECEIVED 1-2-22
2			DESIGNED



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 WARSAW, MI 48090

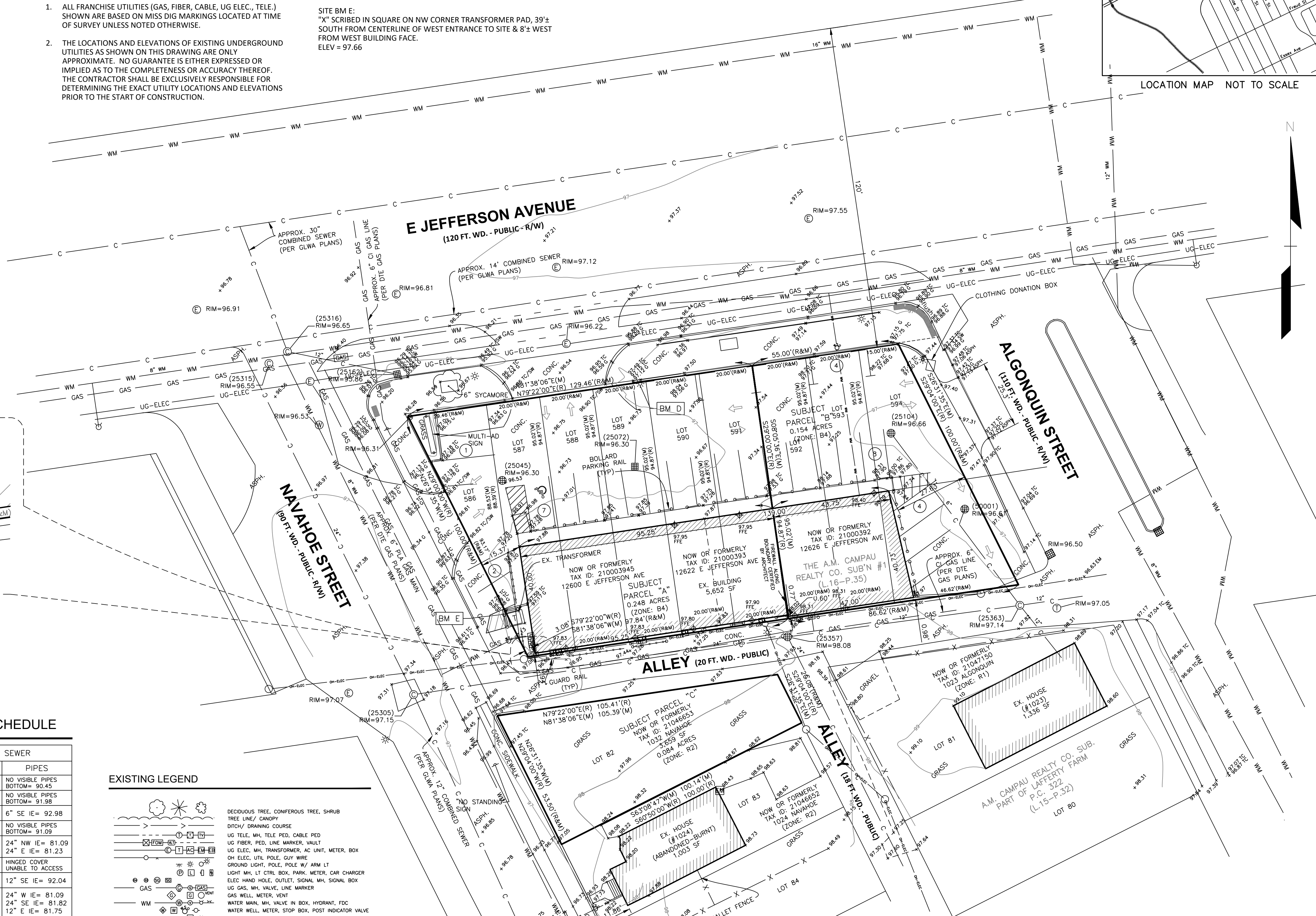
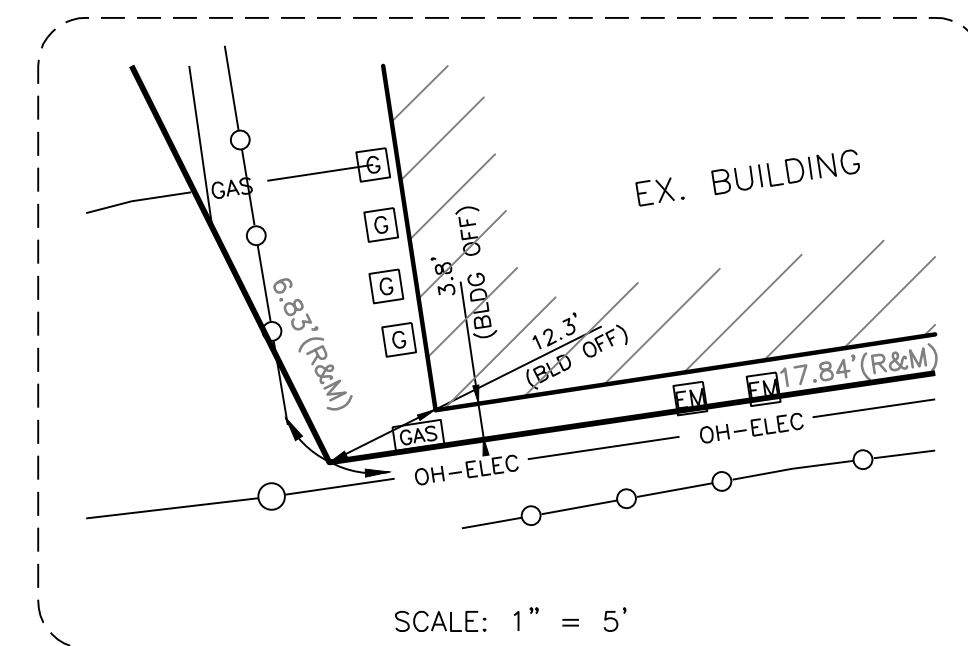
**TOPOGRAPHIC & BOUNDARY SURVEY COMMON CITIZEN - DETROIT**

12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN P.C. 522 (L-15-P-32)

DES: TSS DN: TSS SUR: AMP P.M. TSS

ORIGINAL ISSUE DATE: November 8, 2021  
 PROJ. No. 2017-013.D2  
 SCALE: 1" = 20'  
 DRAWING NUMBER: **C-1.0**

**TITLE SEARCH NOTE:**  
 TITLE SEARCH WAS PERFORMED BY ATA NATIONAL TITLE GROUP FILE NO. 82-21770501-SSP, MARCH 23, 2021  
 LEGAL DESCRIPTION SHOWN IS PER WARRANTY DEED L.51108, P.416 W.C.R. UNCOVERED IN THE TITLE SEARCH.  
 NO EASEMENTS WERE UNCOVERED BY THE TITLE SEARCH, THEREFORE NO EASEMENTS ARE PLOTTED HEREON.



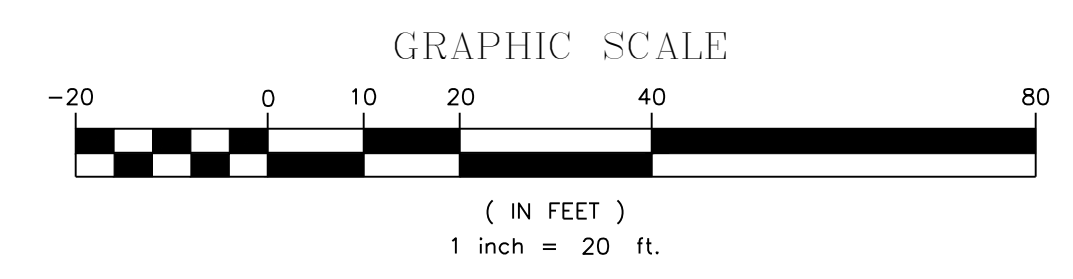
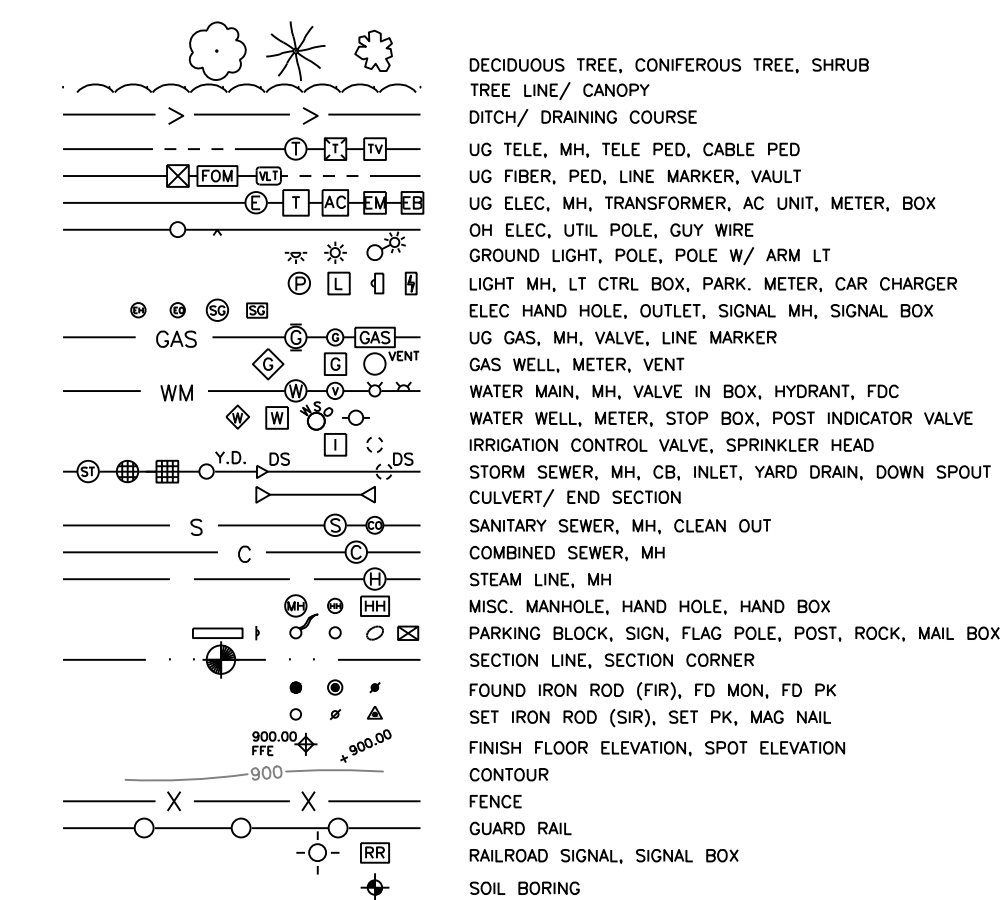
**UTILITY REFERENCES**

WM:	GLWA ~ DET. WATER & SEWER
RECEIVED:	N/A ~ N/A
SAN:	GLWA ~ DETROIT WATER & SEWER
RECEIVED:	4/6/21 ~ N/A
STORM:	GLWA ~ DETROIT WATER & SEWER
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ELEC:	DETROIT EDISON
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PHONE/CABLE:	AT&T ~ COMCAST
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**STRUCTURE SCHEDULE**

STRUCTURE	RIM ELEV.	PIPES
(25045) CBR	96.30	NO VISIBLE PIPES BOTTOM = 90.45
(25072) CBS	96.30	NO VISIBLE PIPES BOTTOM = 91.98
(25104) CBR	96.66	6" SE IE = 92.98
(25162) CBS	95.86	NO VISIBLE PIPES BOTTOM = 91.09
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(25315) COMB	96.55	HINGED COVER UNABLE TO ACCESS
(25316) COMB	96.65	12" SE IE = 92.04
(25357) CBR	98.08	12" W IE = 82.46 6" NW IE = 89.38 24" SE IE = 81.82 12" E IE = 81.75
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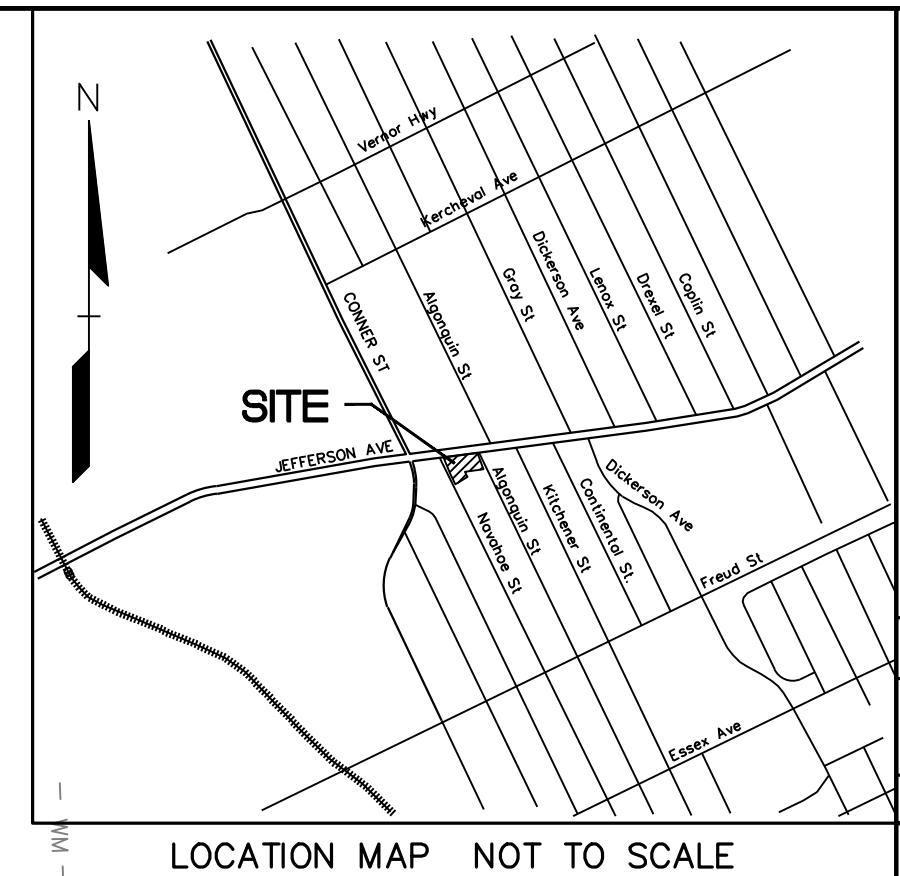
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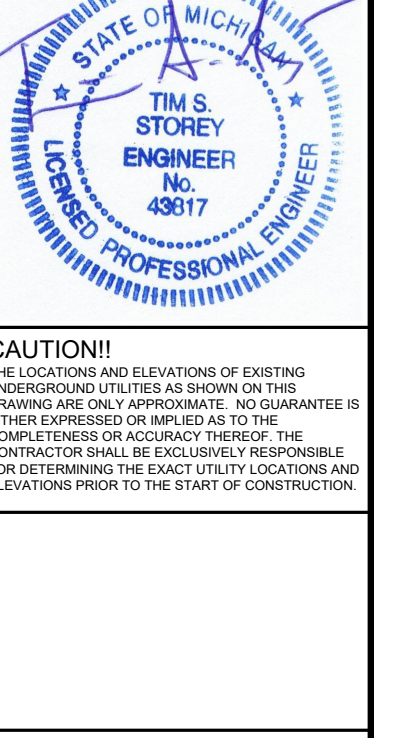
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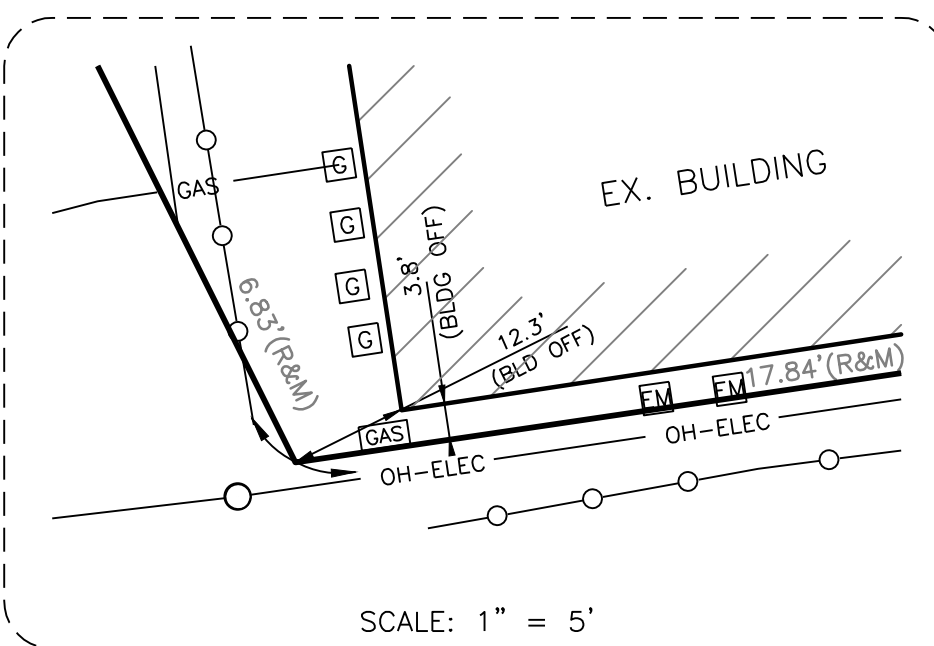
**MPM COMPANIES, LLC**  
11500 1/2 MILE ROAD WARSAW, MI 48090

**EXISTING ENCROACHMENTS PLAN**  
**COMMON CITIZEN - DETROIT**

12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN  
DES: TSS DN: TSS SUR: AMP P.M.  
TSS

ORIGINAL ISSUE DATE: November 8, 2021  
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**C-1.1**

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3 EXISTING TRANSFORMER PAD AND BOLLARDS ENCRACH INTO RIGHT OF WAY OF NAVAHOE STREET BY 1.9 FEET AS SHOWN.

2 EXISTING DECORATIVE "PALM TREE" ENCRACHES INTO RIGHT OF WAY OF ALGONQUIN STREET BY 5.6 FEET AS SHOWN.

1 EXISTING CURB AND DRIVE LANE ENCRACHES INTO RIGHT OF WAY OF ALGONQUIN STREET BY 9.0 FEET AS SHOWN.

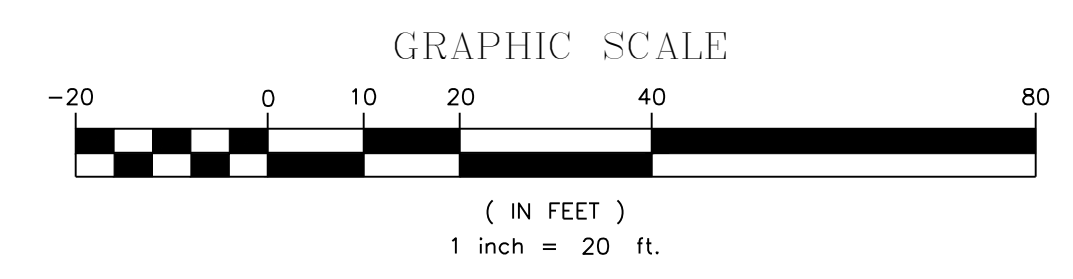
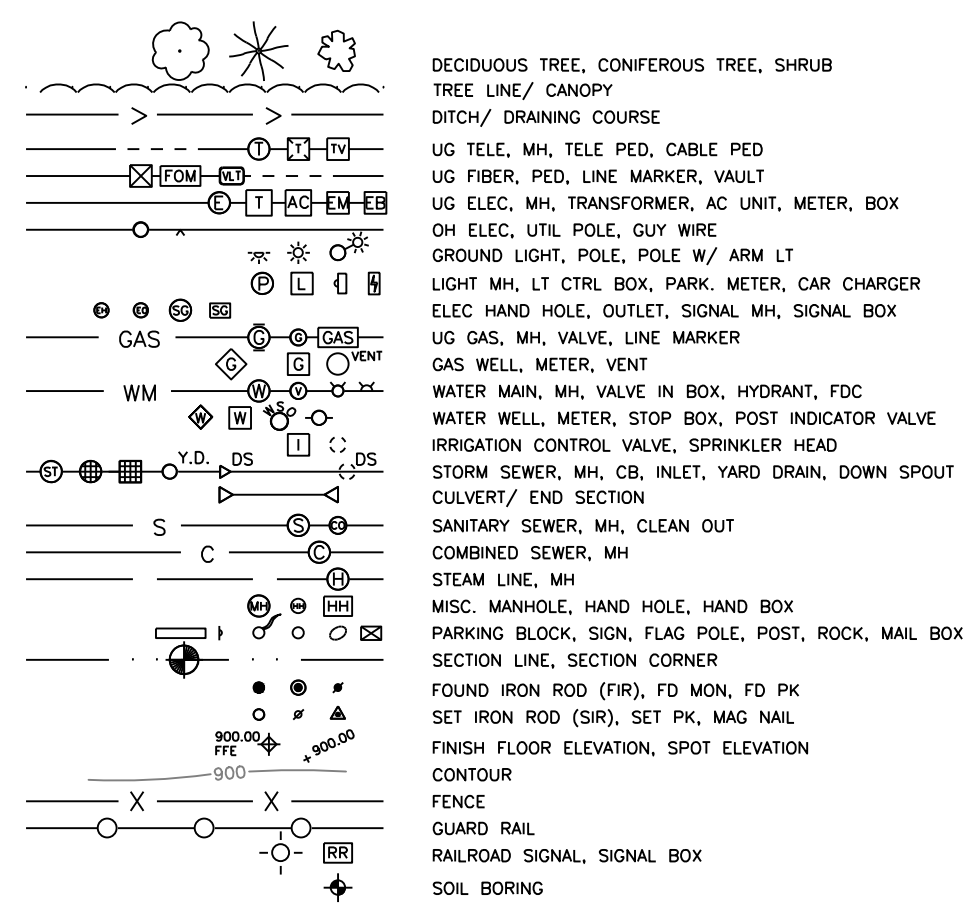
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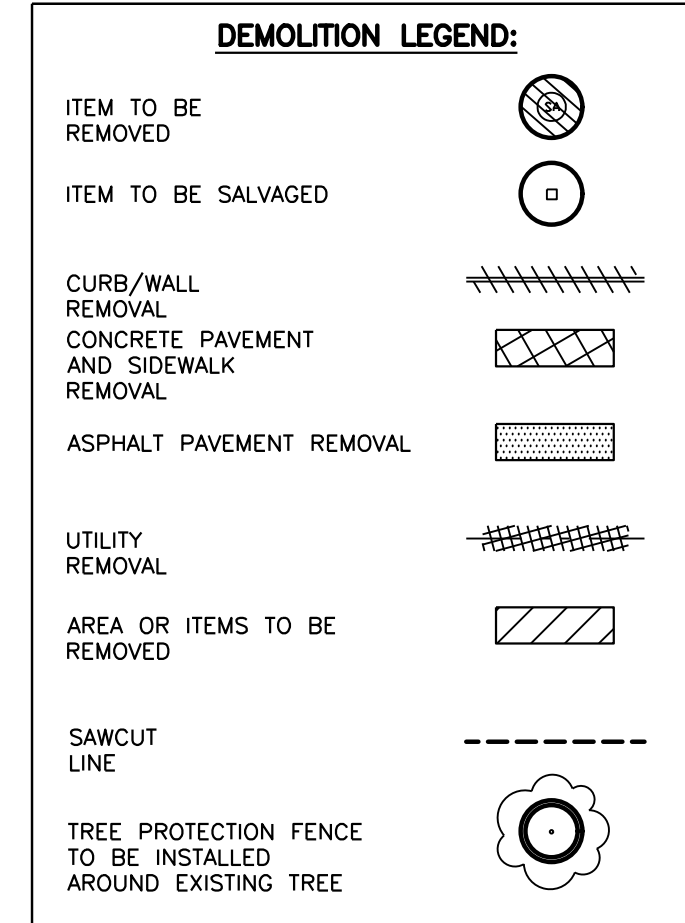
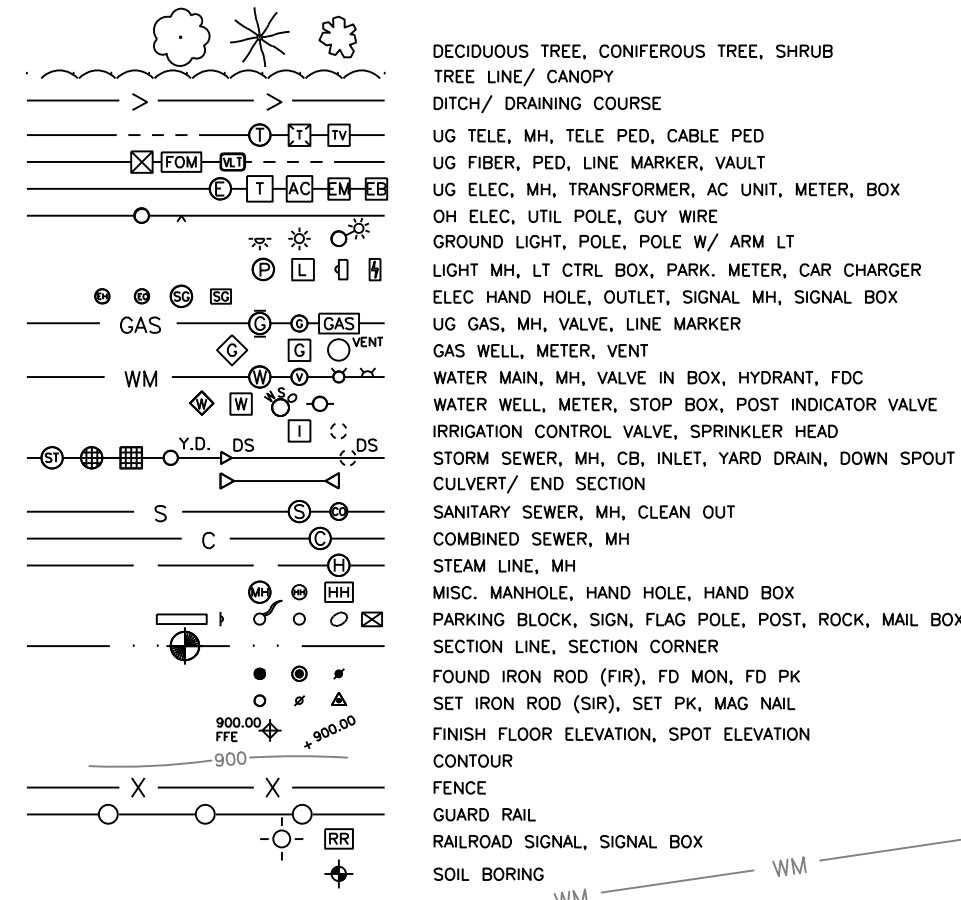
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TAX ID: 21046653
E NAVAHOE 82 A M CAMPAU REALTY CO SUB L32 P87 PLATS, W C R.

EXISTING LEGEND



- ADDITIONAL NOTES: 1. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON SITE DURING ALL DEMOLITION WORK. 2. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AND TRENCHES WITH VILLAGE APPROVED MATERIAL PRIOR TO THE END OF THE WORKING DAY. 3. CONTRACTOR SHALL OBTAIN DEMOLITION PERMIT FROM BUILDING DEPARTMENT PRIOR TO WORK, IF REQUIRED.

- GENERAL DEMOLITION NOTES: THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT. 1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED. 2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. 3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR AT THE PRE-CONSTRUCTION MEETING. 4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED. 5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES ETC. 6. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES. 8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). 9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED AND STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER. 10. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

NOTE: ALL WORK WITHIN THE NAVAHOE STREET RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF DETROIT. CONTRACTOR SHALL SECURE PERMIT PRIOR TO CONSTRUCTION.

NOTE: ALL WORK WITHIN THE ALLEY RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF DETROIT. CONTRACTOR SHALL SECURE PERMIT PRIOR TO CONSTRUCTION.

NOTE: ALL WORK WITHIN THE JEFFERSON AVENUE RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF DETROIT. CONTRACTOR SHALL SECURE PERMIT PRIOR TO CONSTRUCTION.

CAUTION! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND PROPERLY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO ALL WORK AND SHALL BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL PARTIES FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

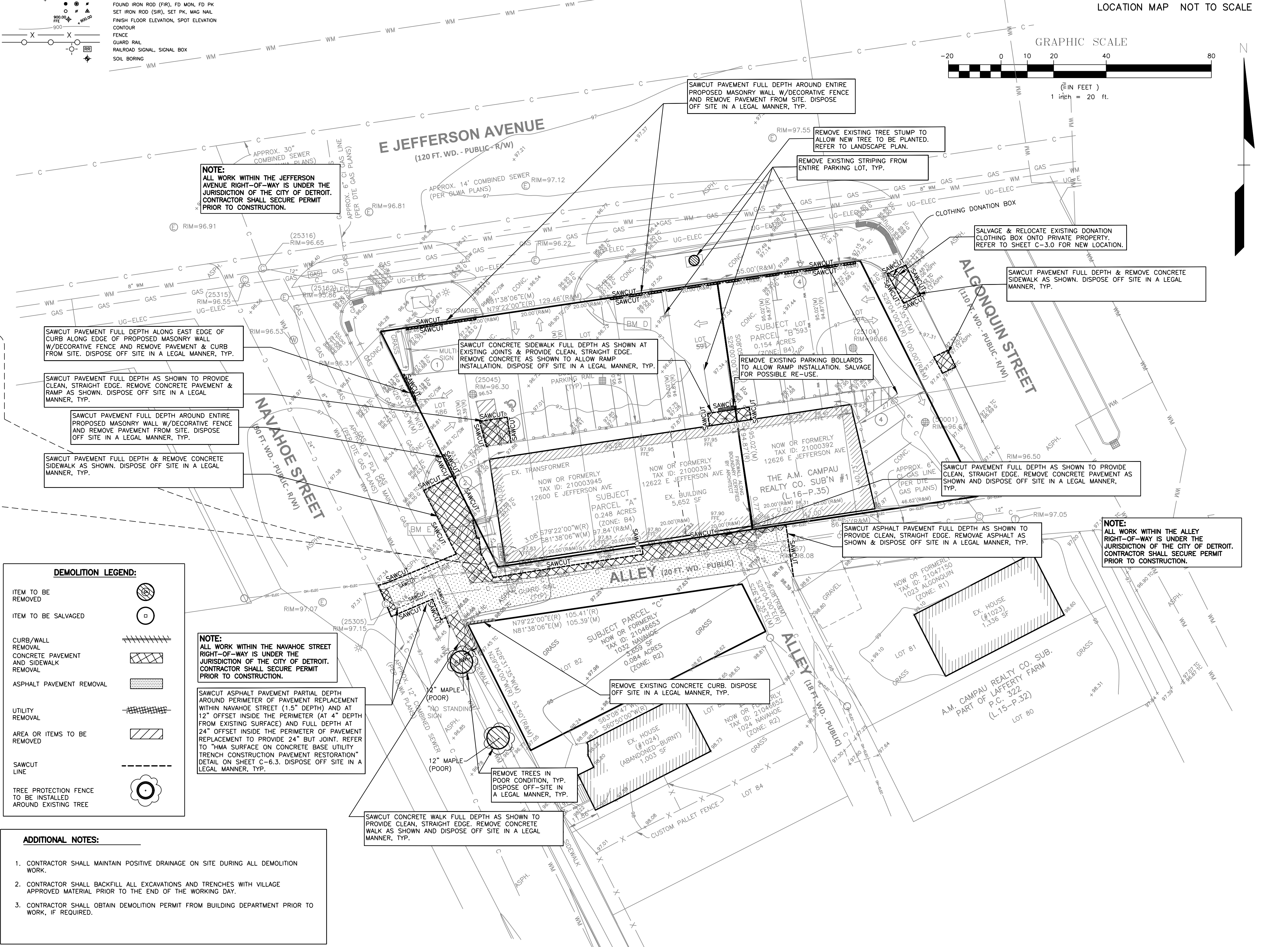
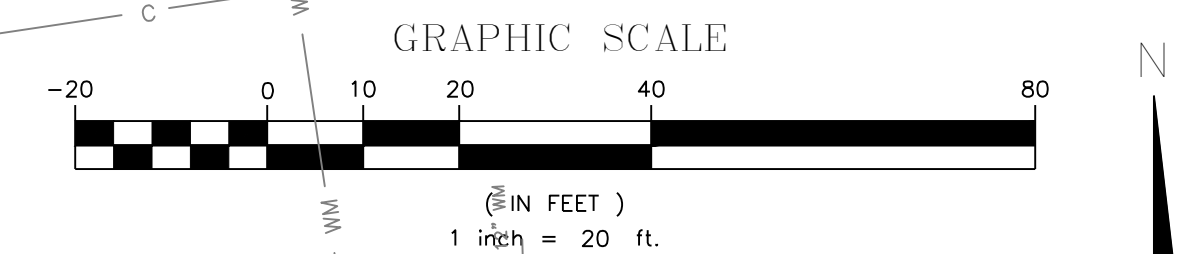
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STOREY ENGINEERING GROUP, LLC 48264 MANCHESTER MACOMB, MI 48044 (586) 216-1043 www.storeyengineering.com

MPM COMPANIES, LLC 11500 1/2 MILE ROAD WARREN, MI 48090 SITE DEMOLITION PLAN COMMON CITIZEN - DETROIT 12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN P.C. 222 (L-15-P-32)

ORIGINAL ISSUE DATE: November 8, 2021 PROJ. No. 2017-013.D2 SCALE: 1" = 20' DRAWING NUMBER: C-2.0



REVISIONS table with columns for NO., DATE, BY, DESCRIPTION.

Professional Engineer seal for TIM S. STOREY, ENGINEER No. 38917, LICENSED PROFESSIONAL ENGINEER.

LEGAL DESCRIPTION (AS PROVIDED)

PARCEL "A"

(Per Warranty Deed as recorded in Liber 51108, Page 416 of Wayne County Records)

Lots 586 through 591, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

LEGAL DESCRIPTION "B" (AS PROVIDED)

PARCEL "B"

(PER: QUIT CLAIM DEED AS RECORDED IN LIBER 49563, PAGE 221 WAYNE COUNTY RECORDS)

Lots 592, 593 AND 594, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

LEGAL DESCRIPTION "B" (AS PROVIDED)

PARCEL "C"

(PER: TAX DESCRIPTION AS PROVIDED BY WAYNE COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

TAX ID: 21046653
E NAVAHOE 82 A M CAMPANU REALTY CO SUB L32 P87 PLATS, W C R.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°22'11.58" N LON: 82°57'26.81" W, ELEV: 572, SCALE FACTOR: 1.0008026).

UTILITY NOTES

- 1. ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOWN ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
2. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

SITE INFORMATION:

- 1. The project is a 5,652 sf retail building located at 12600, 12622 & 12626 E Jefferson Avenue in the B4 District (GENERAL BUSINESS).
2. Total Existing Building Area = 5,652 sf. Retail (Sales Oriented) Lease Space A1 (MPM Suite) = 2,786 sf. Retail (Sales Oriented) Lease Space A2 (T-Mobile Suite) = 1,024 sf. Food and Beverage (Carry Out Restaurant) Lease Space B (Gingerberry Suite) = 3,793 sf.
3. Parcel A Site Area = 10,798.82 sf = 0.248 ac. Parcel B Site Area = 6,728.24 sf = 0.154 ac. Parcel C Site Area = 3,683.98 sf = 0.085 ac. Total Land Area = 21,211.04 sf = 0.487 ac.
4. Parking Calculations: Per Parking Requirements of the City of Detroit Zoning Ordinance the required parking may be reduced by a factor of 0.75 since the subject property is located less than 1/2 mile of a bus rapid transit stop. The subject property is located along DOD Bus route #9 with three (3) stops located within two (2) blocks of the site. (E Jefferson/Conner, E Jefferson/Algonquin and W Jefferson/Algonquin)
Lease Space A1 - Sales Oriented Retail (MPM Suite) = 1 space/200 sf gross floor area reduced by 0.75 factor = 2,786/200x0.75 = 10 Spaces
Lease Space A2 - Sales Oriented Retail (T-Mobile Suite) = 1 space/200 sf gross floor area reduced by 0.75 factor = 1,024/200x0.75 = 4 spaces
Lease Space B - Food and Beverage Carry Out Restaurant (Gingerberry Suite) = 1 space/100 sf gross floor area reduced by 0.75 factor = 1,842/100x0.75 = 14 Spaces
Total Required Parking = 28 Spaces
Total Parking Provided = 28 Spaces (includes 2 van accessible barrier free spaces)

Note: Standard Spaces are 20' Long x 9' Wide
Barrier Free Spaces are 20' Long x 8' Wide

BENCHMARKS

DATUM: CITY OF DETROIT
TO ACHIEVE NAVD88 ELEVATIONS ADD 479.27.
CITY BM NO.: 62-255
ELEV = 94.52
SITE BM D: "X" SCRIBED IN SQUARE ON TOP CONCRETE LIGHT POLE BASE, 29'± EAST FROM CENTERLINE OF NORTH ENTRANCE TO SITE & 53'± NORTH FROM FRONT BUILDING FACE. ELEV = 99.07
SITE BM E: "X" SCRIBED IN SQUARE ON NW CORNER TRANSFORMER PAD, 39'± SOUTH FROM CENTERLINE OF WEST ENTRANCE TO SITE & 8'± WEST FROM WEST BUILDING FACE. ELEV = 97.66

SIGN + RAMP NOTE KEY:

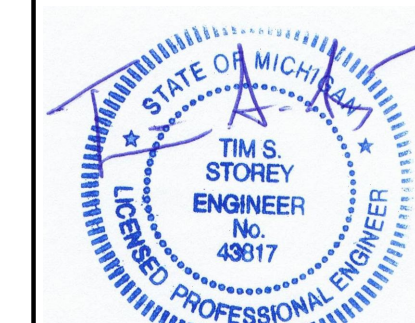
- 1 PROVIDE BARRIER FREE PARKING SIGN. REFER TO DETAIL ON SHEET C-6.1
A PROVIDE CURB RAMP TYPE "A". REFER TO DETAIL ON SHEET C-6.2.
B PROVIDE CURB RAMP TYPE "B". REFER TO DETAIL ON SHEET C-6.2.
C PROVIDE CURB RAMP TYPE "C". REFER TO DETAIL ON SHEET C-6.2.

NOTE: ALL RAMP SHALL BE PROVIDED WITH ADA DETECTABLE WARNING PLATE, REFER TO DETAIL SHEET.



GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS SITE.
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
2. REFER TO SHEETS C-6.1 & C-6.2 FOR ON-SITE PAVING & SIDEWALK DETAILS.
3. "NO PARKING FIRE LANE" SIGNS SHALL BE POSTED AS DIRECTED BY THE FIRE OFFICIAL.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DETROIT, WAYNE COUNTY AND MDOT CURRENT STANDARDS AND REGULATIONS AS APPLICABLE.
5. THE CONTRACTOR SHALL NOTIFY THE CITY AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
6. ANY WORK WITHIN THE STREET, ALLEY OR HIGHWAY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS, FIRE HYDRANTS, ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY AS AN ADDITIONAL COST.

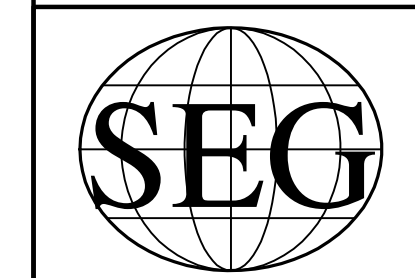


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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL & ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION AND PROPERLY THAT THIS REQUIREMENT SHALL BE MADE A PART OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE AND HOLD DESIGN PROFESSIONAL LIABILITY INSURANCE IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

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MPM COMPANIES, LLC 11300 17 MILE ROAD WARSAW, MI 48090
SITE DIMENSION + PAVING PLAN COMMON CITIZEN - DETROIT
12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN
DES. TSS DN. TSS SUR. AMP P.M. TSS
1-800-482-7171 www.missdig.net

ORIGINAL ISSUE DATE: November 8, 2021

PROJ. NO. 2017-013.D2

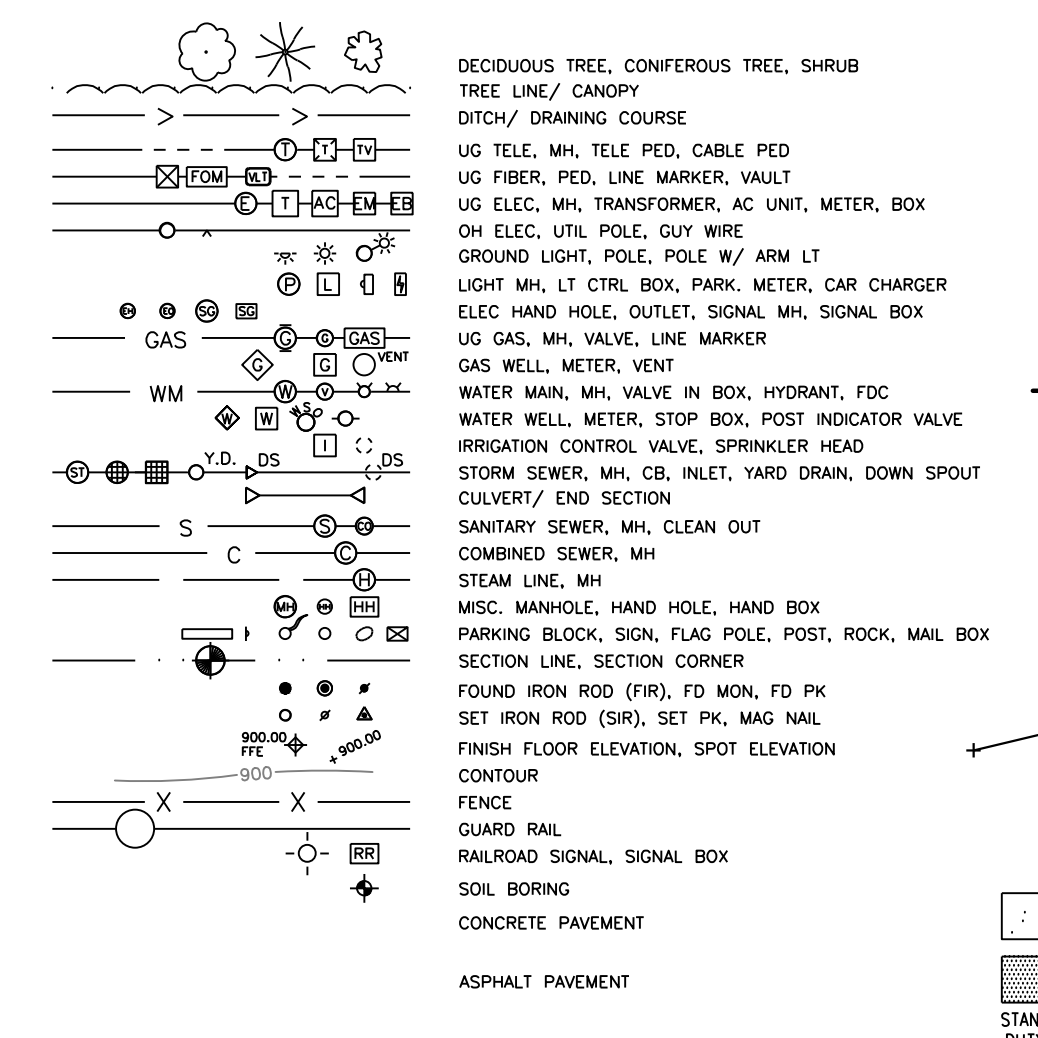
SCALE: 1" = 20'

DRAWING NUMBER:

C-3.0

TITLE SEARCH NOTE:
TITLE SEARCH WAS PERFORMED BY ATA NATIONAL TITLE GROUP FILE NO. 82-21770501-SSP, MARCH 23, 2021
LEGAL DESCRIPTION SHOWN IS PER WARRANTY DEED L51108, P.416 W.C.R. UNCOVERED IN THE TITLE SEARCH.
NO EASEMENTS WERE UNCOVERED BY THE TITLE SEARCH, THEREFORE NO EASEMENTS ARE PLOTTED HEREON.

EXISTING LEGEND

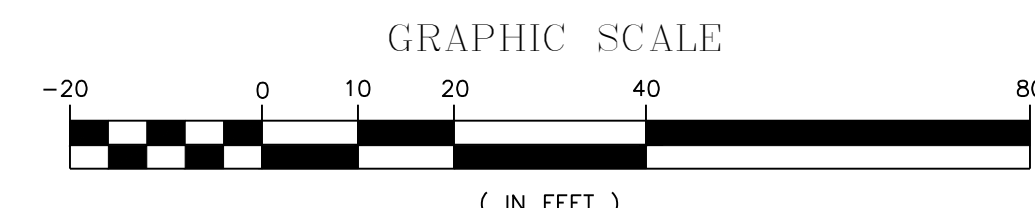
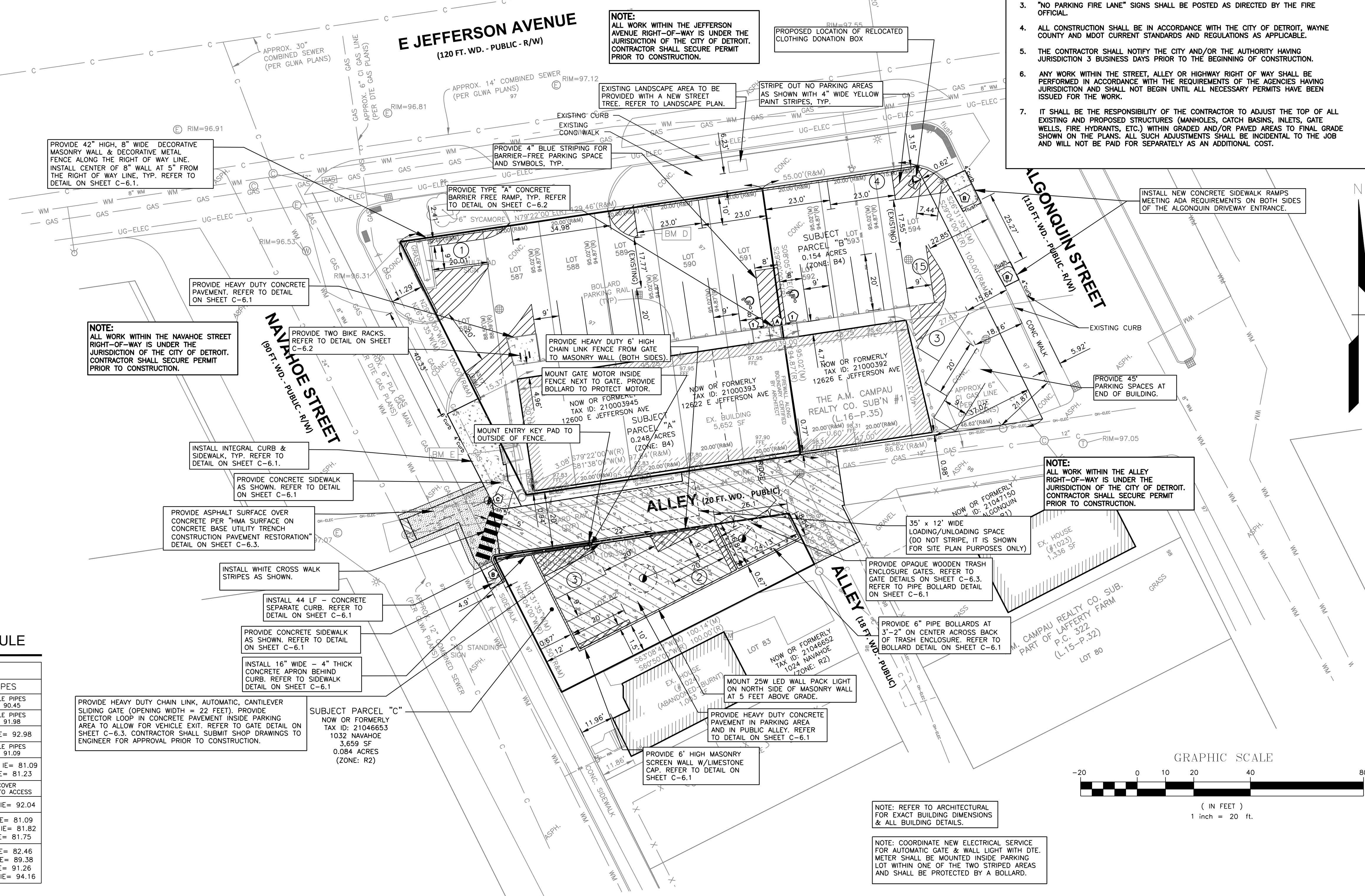


UTILITY REFERENCES

Table with columns for utility type (WM, SAN, STORM, GAS, ELEC, PHONE/CABLE) and provider (GLWA, DETROIT WATER & SEWER, DTE GAS DISTRIBUTION, DETROIT EDISON, AT&T, COMCAST).

STRUCTURE SCHEDULE

Table with columns for structure type (EX. COMBINED SEWER), structure ID, rim elevation, and pipe details.



NOTE: REFER TO ARCHITECTURAL FOR EXACT BUILDING DIMENSIONS & ALL BUILDING DETAILS.

NOTE: COORDINATE NEW ELECTRICAL SERVICE FOR AUTOMATIC GATE & WALL LIGHT WITH DTE. METER SHALL BE MOUNTED INSIDE PARKING LOT WITHIN ONE OF THE TWO STRIPED AREAS AND SHALL BE PROTECTED BY A BOLLARD.

REVISIONS

Table for tracking revisions with columns for date, description, and initials.

**LEGAL DESCRIPTION (AS PROVIDED)**

**PARCEL "A"**

(Per Warranty Deed as recorded in Liber 51108, Page 416 of Wayne County Records)

Lots 586 through 591, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

**LEGAL DESCRIPTION "B" (AS PROVIDED)**

**PARCEL "B"**

(PER: QUIT CLAIM DEED AS RECORDED IN LIBER 49563, PAGE 221 WAYNE COUNTY RECORDS)

Lots 592, 593 AND 594, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

**LEGAL DESCRIPTION "B" (AS PROVIDED)**

**PARCEL "C"**

(PER: TAX DESCRIPTION AS PROVIDED BY WAYNE COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

TAX ID: 21046653  
E NAVAHOE 82 A M CAMPANU REALTY CO SUB L32 P87 PLATS, W C R.

**BEARING REFERENCE**

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°22'11.58" N; LON: 82°57'26.81" W, ELEV: 572, SCALE FACTOR: 1.00008026).

**UTILITY NOTES**

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**GENERAL GRADING AND EARTHWORK NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
  - ALL GRADES ARE TO TOP OF PAVEMENT OR GUTTER UNLESS OTHERWISE NOTED. ADD 0.5' TO OBTAIN TOP OF CURB ELEVATION (UNLESS OTHERWISE NOTED).
  - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF WAYNE COUNTY AND THE CITY OF DETROIT. ANY EROSION CONTROL APPROVALS NECESSARY SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
  - ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE NOTES & DETAILS ON THESE PLANS. IF THE OWNER PROVIDES A SOILS INVESTIGATION AND REPORT TO THE CONTRACTOR, THE RECOMMENDATIONS OUTLINED IN THE REPORT SHALL BE ADHERED TO.
  - SEE ADDITIONAL GRADING AND EARTHWORK NOTES ON SHEET C-6.1.
  - REFER TO SHEET C-7.0 FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) MEASURES AND NOTES. ADDITIONAL SESC NOTES AND DETAILS CAN BE FOUND ON SHEETS C-6.1 AND C-6.2.
  - ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE LANDSCAPE PLAN. GREENBELT AREAS SHALL BE PROVIDED WITH MIN. 3" TOPSOIL.
  - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF DETROIT. CONTRACTOR SHALL ALLOW FOR SUBMITTING PLANS TO ENGINEERING/DPW/RIGHT OF WAY/DWSO/PARKING DEPARTMENTS/MDOT FOR FINAL APPROVAL AND ISSUANCE OF PERMITS.

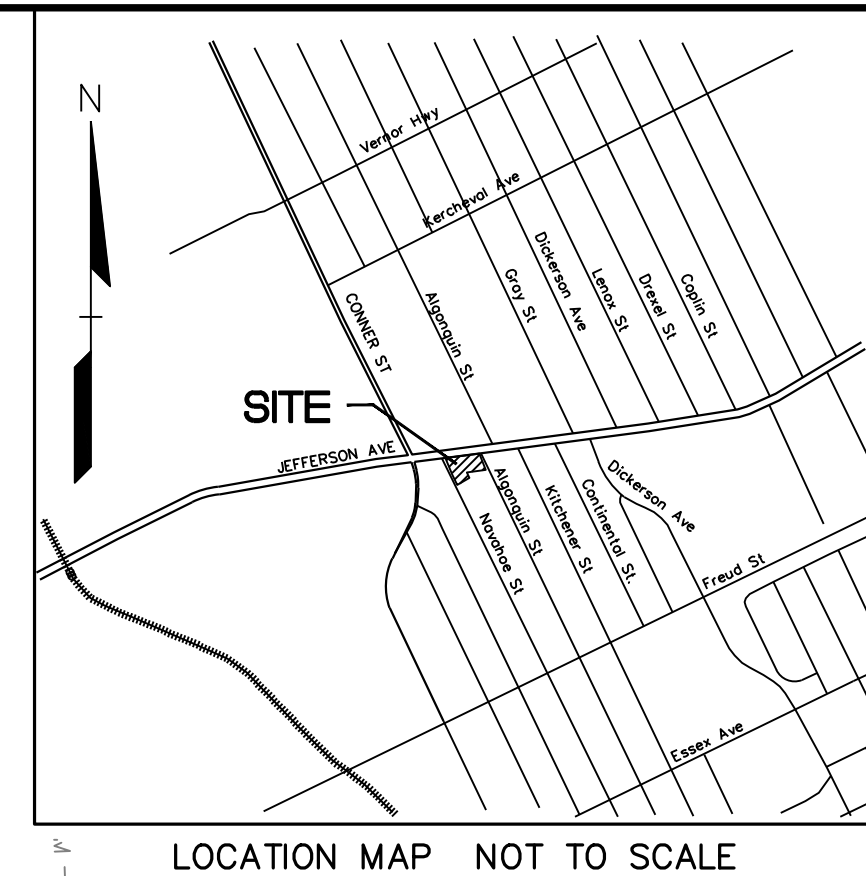
**BENCHMARKS**

DATUM: CITY OF DETROIT  
TO ACHIEVE NAVD88 ELEVATIONS ADD 479.27.  
CITY BM NO.: 62-255  
ELEV = 94.52  
SITE BM D:  
"X" SCRIBED IN SQUARE ON TOP CONCRETE LIGHT POLE BASE, 29'± EAST FROM CENTERLINE OF NORTH ENTRANCE TO SITE & 53'± NORTH FROM FRONT BUILDING FACE.  
ELEV = 99.07  
SITE BM E:  
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ELEV = 97.66

**SIGN + RAMP NOTE KEY:**

- (1) PROVIDE BARRIER FREE PARKING SIGN. REFER TO DETAIL ON SHEET C-6.1
- (A) PROVIDE CURB RAMP TYPE "A". REFER TO DETAIL ON SHEET C-6.2.
- (B) PROVIDE CURB RAMP TYPE "B". REFER TO DETAIL ON SHEET C-6.2.
- (C) PROVIDE CURB RAMP TYPE "C". REFER TO DETAIL ON SHEET C-6.2.

NOTE: ALL RAMP SHALL BE PROVIDED WITH ADA DETECTABLE WARNING PLATE, REFER TO DETAIL SHEET.



NO.	DATE	BY	REVISION
1	1-20-22	TSS	REVISED PER CITY COMMENTS RECEIVED 1-2-22
2			



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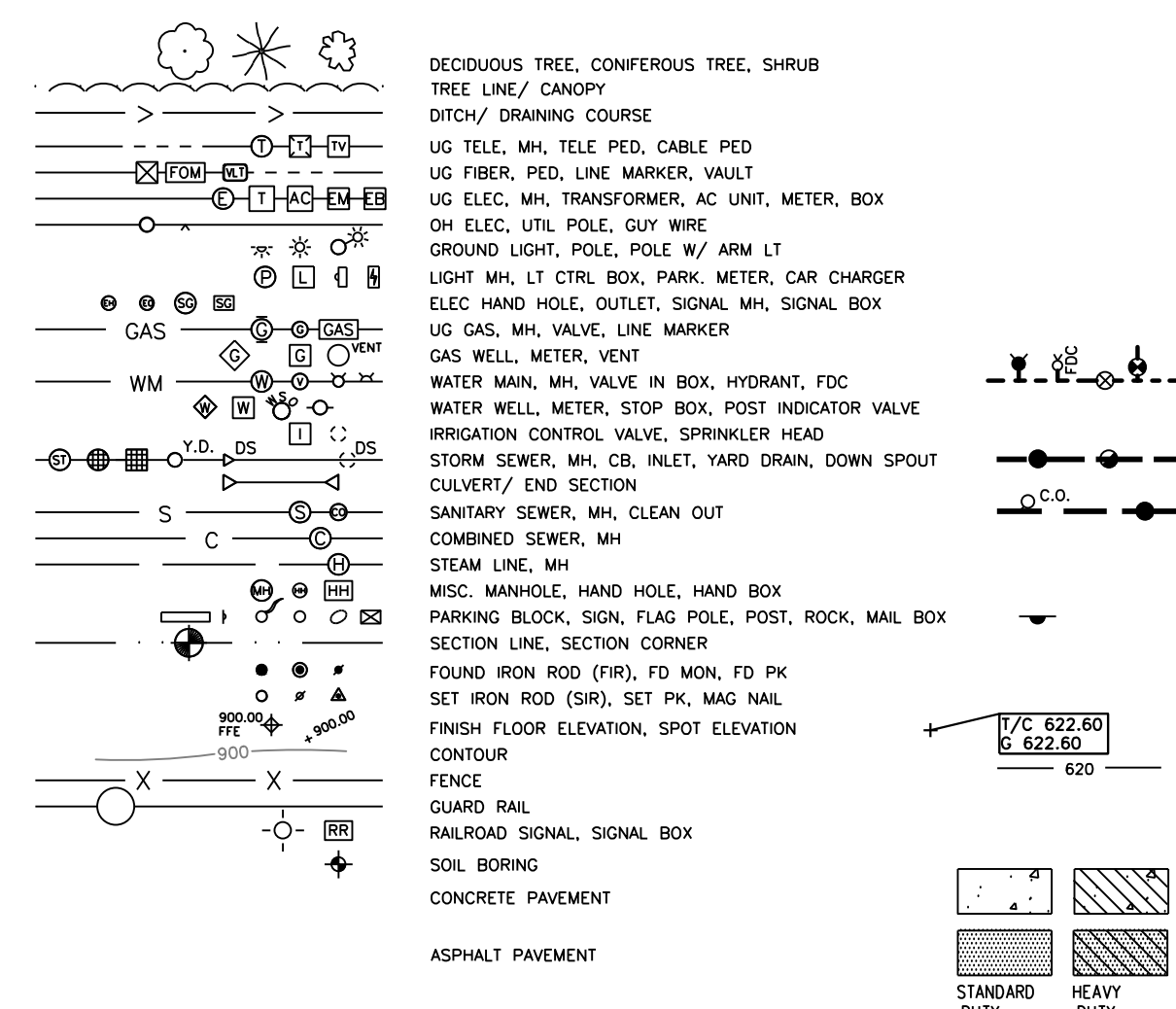
**STOREY ENGINEERING GROUP, LLC**  
48264 MANCHESTER MACOMB, MI 48044  
(586) 216-1043  
www.storeyengineering.com

**MPM COMPANIES, LLC**  
11800 17 MILE ROAD WARREN, MI 48090  
**GRADING PLAN**  
**COMMON CITIZEN - DETROIT**  
12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN P.C. 522 (L-15-P-32)  
DES. TSS DN. TSS SUR. AMP P.M. TSS  
S:\SSD\2017 PROJ\325\2017-03-1 GREAT LAKES TARIFF\02-02-DETROIT-JEFFERSON\DWG\GRADING\0313.DWG

ORIGINAL ISSUE DATE: November 8, 2021  
PROJ. NO. 2017-013.D2  
SCALE: 1" = 20'  
DRAWING NUMBER: **C-4.0**

**TITLE SEARCH NOTE:**  
TITLE SEARCH WAS PERFORMED BY ATA NATIONAL TITLE GROUP FILE NO. 82-21770501-SSP, MARCH 23, 2021  
LEGAL DESCRIPTION SHOWN IS PER WARRANTY DEED L.51108, P.416 W.C.R. UNCOVERED IN THE TITLE SEARCH.  
NO EASEMENTS WERE UNCOVERED BY THE TITLE SEARCH, THEREFORE NO EASEMENTS ARE PLOTTED HEREON.

**EXISTING LEGEND**



**UTILITY REFERENCES**

WM: RECEIVED:	GLWA ~ DET. WATER & SEWER N/A ~ N/A
SAN: RECEIVED:	GLWA ~ DETROIT WATER & SEWER 4/6/21 ~ N/A
STORM: RECEIVED:	GLWA ~ DETROIT WATER & SEWER 4/6/21 ~ N/A
GAS: RECEIVED:	DTE GAS DISTRIBUTION 4/8/21
ELEC: RECEIVED:	DETROIT EDISON N/A
PHONE/CABLE: RECEIVED:	AT&T ~ COMCAST N/A ~ N/A

**STRUCTURE SCHEDULE**

STRUCTURE	RIM ELEV.	PIPES
(25045) CBR	96.30	NO VISIBLE PIPES BOTTOM= 90.45
(25072) CBS	96.30	NO VISIBLE PIPES BOTTOM= 91.98
(25104) CBR	96.66	6" SE IE= 92.98
(25162) CBS	95.86	NO VISIBLE PIPES BOTTOM= 91.09
(25305) COMB	97.15	24" NW IE= 81.09 24" E IE= 81.23
(25315) COMB	96.55	HINGED COVER UNABLE TO ACCESS
(25316) COMB	96.65	12" SE IE= 92.04
(25357) CBR	98.08	24" W IE= 81.09 24" SE IE= 81.82 12" E IE= 81.75
(25363) COMB	97.14	12" W IE= 82.48 6" NW IE= 89.38 12" E IE= 91.26 12" SE IE= 94.16

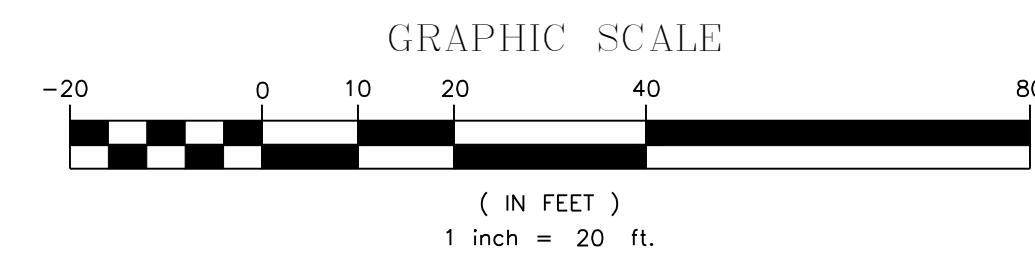
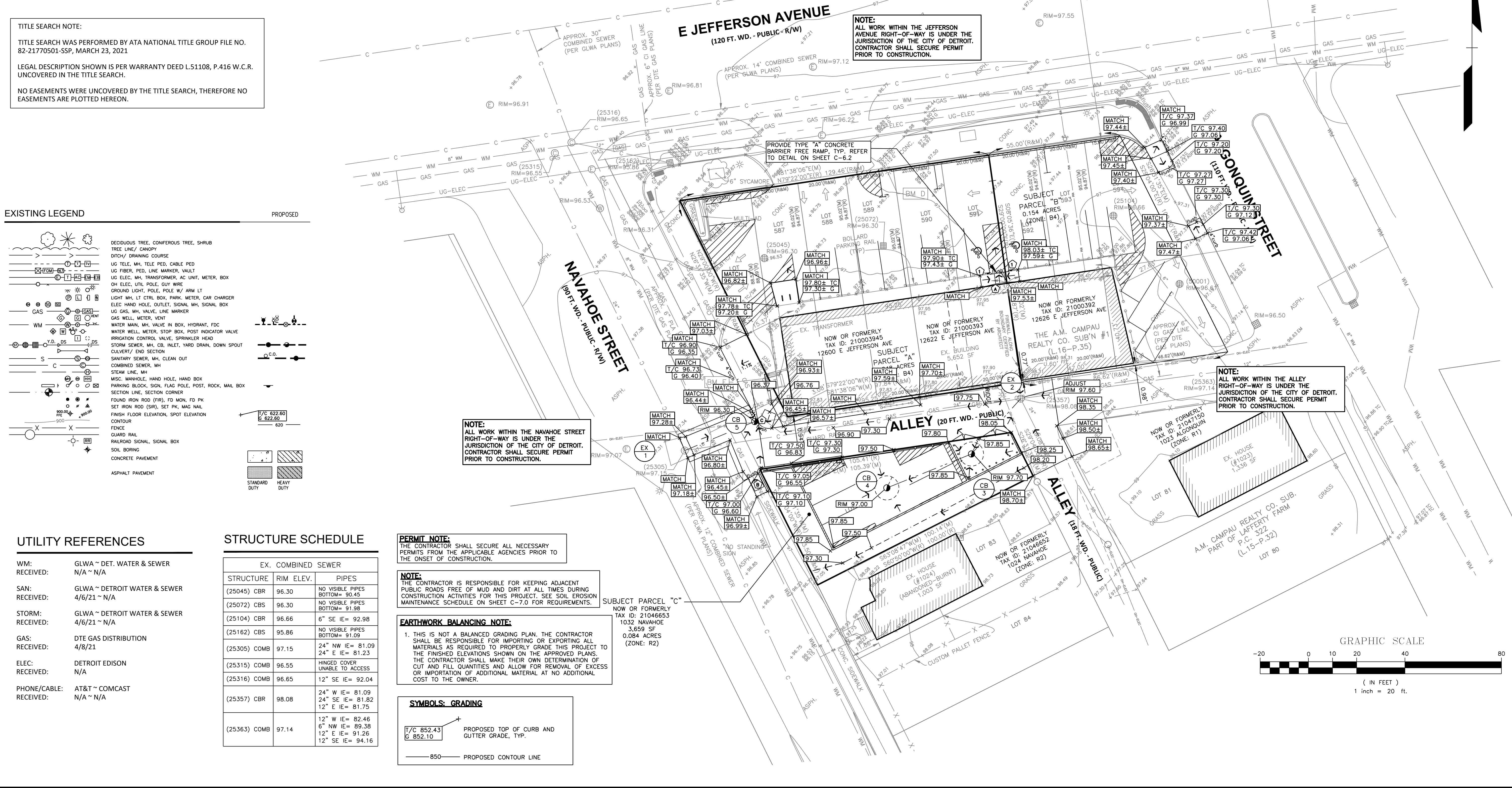
**PERMIT NOTE:**  
THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FROM THE APPLICABLE AGENCIES PRIOR TO THE ONSET OF CONSTRUCTION.

**NOTE:**  
THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ADJACENT PUBLIC ROADS FREE OF MUD AND DIRT AT ALL TIMES DURING CONSTRUCTION ACTIVITIES FOR THIS PROJECT. SEE SOIL EROSION MAINTENANCE SCHEDULE ON SHEET C-7.0 FOR REQUIREMENTS.

**EARTHWORK BALANCING NOTE:**  
1. THIS IS NOT A BALANCED GRADING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**SYMBOLS: GRADING**  
T/C 852.43  
G 852.10  
PROPOSED TOP OF CURB AND GUTTER GRADE, TYP.  
850 PROPOSED CONTOUR LINE

SUBJECT PARCEL "C"  
NOW OR FORMERLY  
TAX ID: 21046653  
1032 NAVAHOE  
3,659 SQ  
0.084 ACRES  
(ZONE: R2)



**LEGAL DESCRIPTION (AS PROVIDED)**

**PARCEL "A"**

(Per Warranty Deed as recorded in Liber 51108, Page 416 of Wayne County Records)

Lots 586 through 591, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

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**PARCEL "B"**

(PER: QUIT CLAIM DEED AS RECORDED IN LIBER 49563, PAGE 221 WAYNE COUNTY RECORDS)

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**LEGAL DESCRIPTION "B" (AS PROVIDED)**

**PARCEL "C"**

(PER: TAX DESCRIPTION AS PROVIDED BY WAYNE COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

TAX ID: 2104653

E NAVAHOE 82 A M CAMPAU REALTY CO SUB L32 P87 PLATS, W C R.

**TITLE SEARCH NOTE:**

TITLE SEARCH WAS PERFORMED BY ATA NATIONAL TITLE GROUP FILE NO. 82-21770501-5SP, MARCH 23, 2021.

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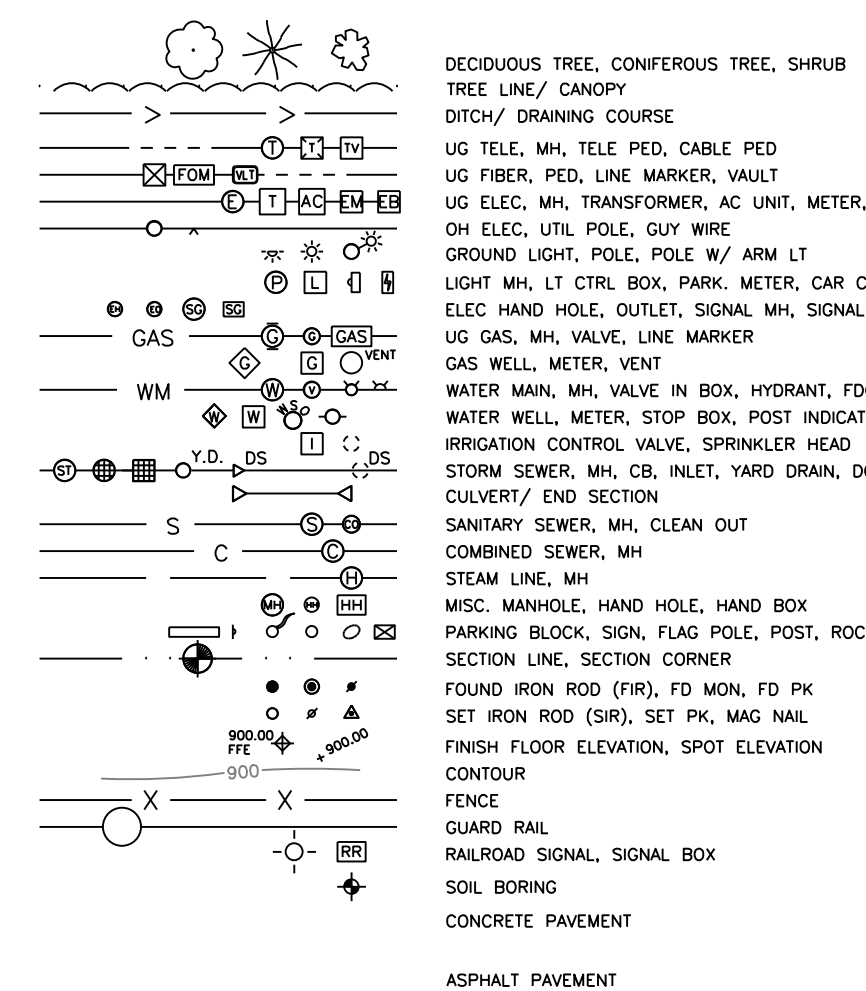
**BEARING REFERENCE**

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°22'11.58" N; LON: 82°57'26.81" W, ELEV: 572, SCALE FACTOR: 1.00008026).

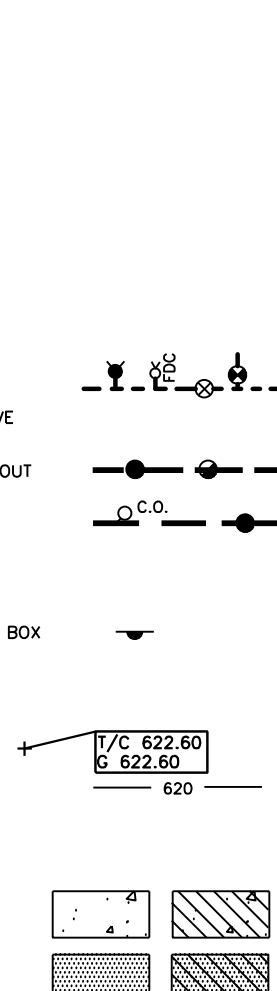
**UTILITY NOTES**

- ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOWN ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**EXISTING LEGEND**

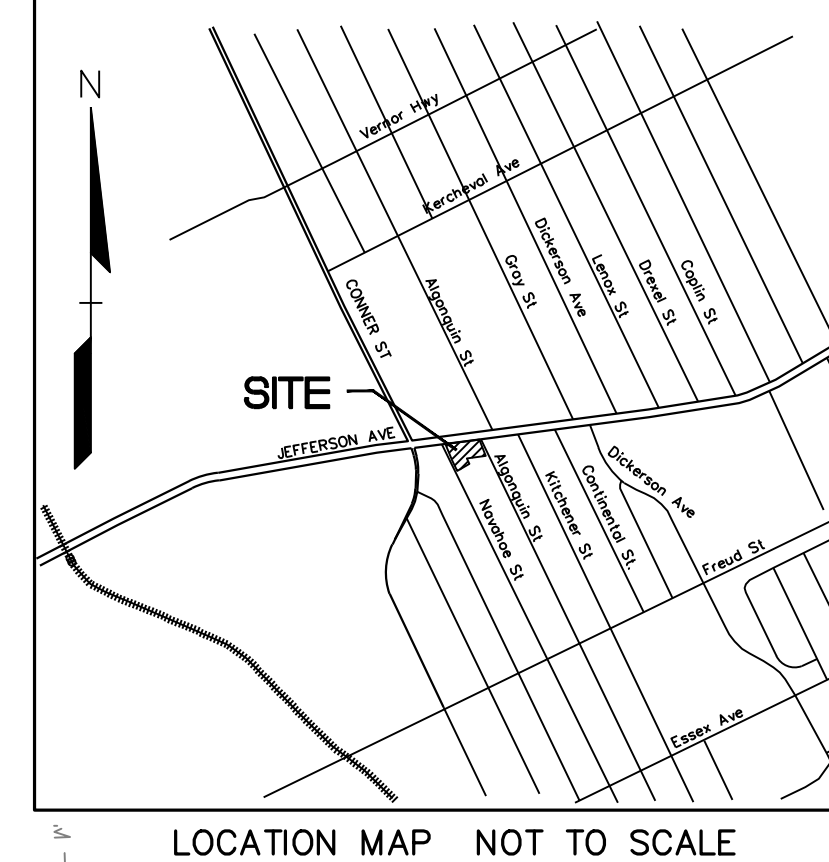


**PROPOSED**



**BENCHMARKS**

DATUM: CITY OF DETROIT  
 TO ACHIEVE NAVD88 ELEVATIONS ADD 479.27.  
 CITY BM NO.: 62-255  
 ELEV = 94.52  
 SITE BM D:  
 "X" SCRIBED IN SQUARE ON TOP CONCRETE LIGHT POLE BASE, 29'± EAST FROM CENTERLINE OF NORTH ENTRANCE TO SITE & 53'± NORTH FROM FRONT BUILDING FACE.  
 ELEV = 99.07  
 SITE BM E:  
 "X" SCRIBED IN SQUARE ON NW CORNER TRANSFORMER PAD, 39'± SOUTH FROM CENTERLINE OF WEST ENTRANCE TO SITE & 8'± WEST FROM WEST BUILDING FACE.  
 ELEV = 97.66



NO.	DATE	BY	REVISION
1	1-20-22	TSS	REVISED PER CITY COMMENTS RECEIVED 1-2-22



**CAUTION!!**  
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO OBTAIN SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO BEING INDEMNIFIED AND HOLD DESIGN PROFESSIONAL ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL ENGINEER.

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 48264 MANCHESTER MACOMB, MI 48044  
 (586) 216-1043  
 www.storeyengineering.com

**MPM COMPANIES, LLC**  
 11900 17 MILE ROAD WARREN, MI 48090  
**UTILITY PLAN**  
 COMMON CITIZEN - DETROIT  
 12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN  
 DES. TSS DN. TSS SUR. AMP P.M. TSS  
 ORIGINAL ISSUE DATE: November 8, 2021  
 PROJ. No. 2017-013.D2  
 SCALE: 1" = 20'  
 DRAWING NUMBER:  
**C-5.0**

- GENERAL CONSTRUCTION NOTES:**
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
  - ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
  - WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT OR USE A HOLE SAW TO CORE A CLEAN HOLE. CONTRACTOR IS RESPONSIBLE FOR ENSURING A WATER TIGHT JOINT.
  - EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.

- GENERAL UTILITY NOTES:**
- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF DETROIT.
  - REFER TO DETAIL SHEETS C-6.1 AND C-6.2 FOR ADDITIONAL INFORMATION.
  - THE CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWER DEPARTMENT AT (313) 833-4682 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION ON THE SEWER AND WATER SYSTEMS.
  - ALL SANITARY SEWER & STORM LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3034 UNLESS OTHERWISE NOTED. MINIMUM PIPE SLOPE IS 1.04%.
  - ANY NECESSARY CLEANOUTS SHALL BE PROVIDED WITHIN METAL BOXES (EJWB #1565 OR EQUAL). REFER TO SHEET C-6.1 FOR SEWER CLEANOUT DETAIL.
  - PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE CITY OF DETROIT. CONTRACTOR SHALL ALLOW FOR SUBMITTING PLANS TO ENGINEERING/DPW/RIGHT OF WAY/DSWD/PARKING DEPARTMENTS FOR FINAL APPROVAL AND ISSUANCE OF PERMITS.

**UTILITY REFERENCES**

WM:	GLWA ~ DET. WATER & SEWER
RECEIVED:	N/A ~ N/A
SAN:	GLWA ~ DETROIT WATER & SEWER
RECEIVED:	4/6/21 ~ N/A
STORM:	GLWA ~ DETROIT WATER & SEWER
RECEIVED:	4/6/21 ~ N/A
GAS:	DTE GAS DISTRIBUTION
RECEIVED:	4/8/21
ELEC:	DETROIT EDISON
RECEIVED:	N/A
PHONE/CABLE:	AT&T ~ COMCAST
RECEIVED:	N/A ~ N/A

**STRUCTURE SCHEDULE**

STRUCTURE	RIM ELEV.	PIPES
(25045) CBR	96.30	NO VISIBLE PIPES BOTTOM= 90.45
(25072) CBS	96.30	NO VISIBLE PIPES BOTTOM= 91.98
(25104) CBR	96.66	6" SE IE= 92.98
(25162) CBS	95.86	NO VISIBLE PIPES BOTTOM= 91.09
(25305) COMB	97.15	24" NW IE= 81.09 24" E IE= 81.23
(25315) COMB	96.55	HINGED COVER UNABLE TO ACCESS
(25316) COMB	96.65	12" SE IE= 92.04
(25357) CBR	98.08	24" W IE= 81.09 24" SE IE= 81.82 12" E IE= 81.75
(25363) COMB	97.14	12" W IE= 82.46 6" NW IE= 89.38 12" E IE= 91.26 12" SE IE= 94.16

**TAP EXISTING COMBINED SEWER MANHOLE WITH NEW 12" SEWER LINE PER CITY STANDARDS.**  
 EX. TRANSFORMER  
 NOW OR FORMERLY TAX ID: 210003945  
 12600 E JEFFERSON AVE  
 SUBJECT PARCEL "A" (ZONE: B4)  
 0.248 ACRES (L.16-P.35)  
 EX. BUILDING 5,652 SF  
 EX. HOUSE (ABANDONED) 1,023 SF (ZONE: R2)  
 RIM 96.30  
 12" x 92.78

**EXISTING COMBINED SEWER MANHOLE EXISTING RIM 97.15**  
 EX. 24" NW INV 81.09  
 EX. 24" E INV 81.23  
 EX. 12" S INACCESSIBLE PR. 12" E 92.66

**NOTE:**  
 ALL WORK WITHIN THE NAVAHOE STREET RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE CITY OF DETROIT. CONTRACTOR SHALL SECURE PERMIT PRIOR TO CONSTRUCTION.

**CAUTION!! UTILITY CROSSING!!**  
 PR 12" ST B/P=92.50  
 EX. 8" WM T/P=92.00  
 CLEARANCE=0.50'  
 (ENCASE CROSSING IN CONCRETE PER CITY STANDARDS)  
 FIELD VERIFY DEPTH PRIOR TO CONSTRUCTION.

**CAUTION!! UTILITY CROSSING!!**  
 PR 12" ST T/P=93.90  
 EX. GAS MAIN B/P=94.70  
 CLEARANCE=1.0'  
 FIELD VERIFY DEPTH OF GAS MAIN PRIOR TO CONSTRUCTION

**SAND BACKFILL NOTE:**  
 ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DENSITY (ASTM D-1557).

**NOTE:**  
 CONTRACTOR TO VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF STOREY ENGINEERING GROUP FOR VERIFICATION, PRIOR TO BIDDING.

**NOTE:**  
 CONTRACTOR MUST VERIFY DEPTH OF EXISTING COMBINED SEWER, WATER MAIN, GAS MAIN, PHONE LINES, AND ELECTRICAL LINES PRIOR TO CONSTRUCTION IN ORDER TO ENSURE ALL CROSSINGS AND CONNECTIONS CAN BE MADE PER PLAN. CONTACT DESIGN ENGINEER IMMEDIATELY IF FIELD CONDITIONS DO NOT PERMIT CONNECTIONS AS SHOWN.

**INSTALL STANDARD 18"x12" SPECIAL 7" CATCH BASIN PER CITY OF DETROIT STANDARD DETAIL C-4398**  
 RIM 96.30  
 12" x 92.78

**INSTALL 31"-12" C-76 CL-IV RCP AT 0.40% SLOPE, BEDDED & BACKFILLED WITH MDOT CLASS II SAND OR APPROVED GRANULAR MATERIAL AS DIRECTED BY CITY INSPECTOR. COMPACTED TO MIN 95% OF MAX DENSITY PER ASTM D-1557**

**CAUTION!! UTILITY CROSSING!!**  
 PR 12" ST B/P=92.50  
 EX. 8" WM T/P=92.00  
 CLEARANCE=0.50'  
 (ENCASE CROSSING IN CONCRETE PER CITY STANDARDS)  
 FIELD VERIFY DEPTH PRIOR TO CONSTRUCTION.

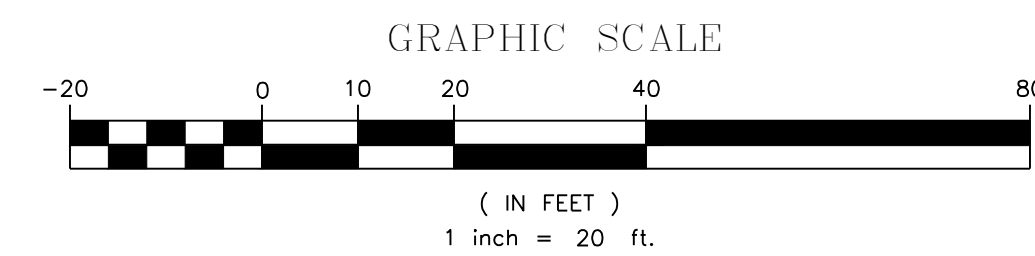
**INSTALL 24" DIA. CATCH BASIN RIM 97.00 (2' SUMP) EJWB #1040 WITH M1 FLAT GRATE 4" x 93.00 DRAINAGE AREA = 1,827 SF.**

**INSTALL 25'-6" PERFORATED UNDERDRAIN IN CIRCULAR PATTERN AT ALL CATCH BASINS & INLETS, TYP. REFER TO DETAIL ON THIS SHEET.**

**INSTALL 38'-4" PERFORATED PVC SCH. 40 W/SOCK AT 1.04% SLOPE BACKFILL TRENCH WITH MDOT 6AA OPEN GRADED AGGREGATE TO ENCOURAGE STORAGE AND INFILTRATION OF STORM WATER.**

**INSTALL 24" DIA. TRAPPED CATCH BASIN (REFER TO DETAIL ON SHEET C-6.1) RIM 97.70 (2' SUMP) EJWB #1040 WITH M1 FLAT GRATE 4" x 92.30 DRAINAGE AREA = 356 SF.**

**NOTE:**  
 CONTRACTOR SHALL VERIFY DEPTH OF EXISTING COMBINED SEWER, WATER MAIN, GAS MAIN, PHONE LINES, AND ELECTRICAL LINES PRIOR TO CONSTRUCTION IN ORDER TO ENSURE ALL CROSSINGS AND CONNECTIONS CAN BE MADE PER PLAN. CONTACT DESIGN ENGINEER IMMEDIATELY IF FIELD CONDITIONS DO NOT PERMIT CONNECTIONS AS SHOWN.



**GENERAL NOTES**

- All construction and materials shall be in accordance with the current standards and specifications of the City of Detroit.
- The contractor shall be responsible for dust control during the periods of construction.
- Prior to any excavation, the Contractor shall contact MISS DIG (1-800-482-7171) to verify the location of any existing underground utilities and shall notify representatives of other utilities in the vicinity of the work.
- All properties or facilities in the surrounding areas, public or private, destroyed or otherwise disturbed due to construction, shall be replaced and/or restored to the original condition by the Contractor.
- All necessary permits, bonds, insurances, etc., shall be paid by the Contractor. The Owner shall pay for all inspection fees.
- All pavement elevations are for finish pavement grade, unless otherwise noted.
- Manhole, catch basin, gate well rims and hydrant finish grade elevations must be checked closely and approved by the Engineer before the Contractor's work is considered complete.
- Contractor shall remove and dispose of off-site any trees, brush, stumps, trash or other unwanted debris, at the Owner's direction, including old building foundations and floors. Burning of trash, stumps or other debris will not be allowed.
- The Contractor shall provide all necessary barricades, lights and traffic control devices to protect the work and safely maintain traffic in accordance with "MMUTCD".
- All excavations shall be sloped, shored or braced in accordance with M-OSH requirements. The contractor shall provide an adequately constructed and braced shoring system for employees working in any excavation that may expose employees to the danger of moving ground.
- All references to M.D.O.T. Specifications are to be in accordance with the 1990 Standard Specifications for Construction.

**UNDERDRAN NOTES**

- Allowable materials for underdrain are as follows:
  - P.V.C. Plastic Pipe (Polyvinyl Chloride)(perforated w/sock)
  - A.B.S. Plastic Pipe (Acrylonitrile Butadiene Styrene)(perforated w/sock)
  - A.B.S. Truss Pipe (Acrylonitrile Butadiene Styrene)(perforated w/sock)
  - H.D.P.E. corrugated & perforated w/sock
- Perforated pipe shall be provided within a sock or geotextile fabric wrap.
- Underdrain shall be installed as shown on the plan.

**PAVEMENT NOTES**

- All workmanship and materials shall be in accordance with the current standards and specifications of the City of Detroit.
- In areas where new pavements are being constructed, the topsoil and soil containing organic matter shall be removed prior to pavement construction.
- Subgrade undercutting, including backfilling, shall be performed to replace material susceptible to frost heaving and unstable soil conditions. Any excavation that may be required below the topsoil in fill sections or below subgrade in cut sections, will be classified as subgrade undercutting.
- Subgrade undercutting shall be performed where necessary and the excavated material shall become the property of the contractor. Any subgrade undercutting shall be backfilled with sand or other similar approved material. Backfill shall be compacted to 95% of the maximum unit weight, unless otherwise specified.
- Backfill under paved areas shall be as specified on details.

**EROSION CONTROL STANDARDS**

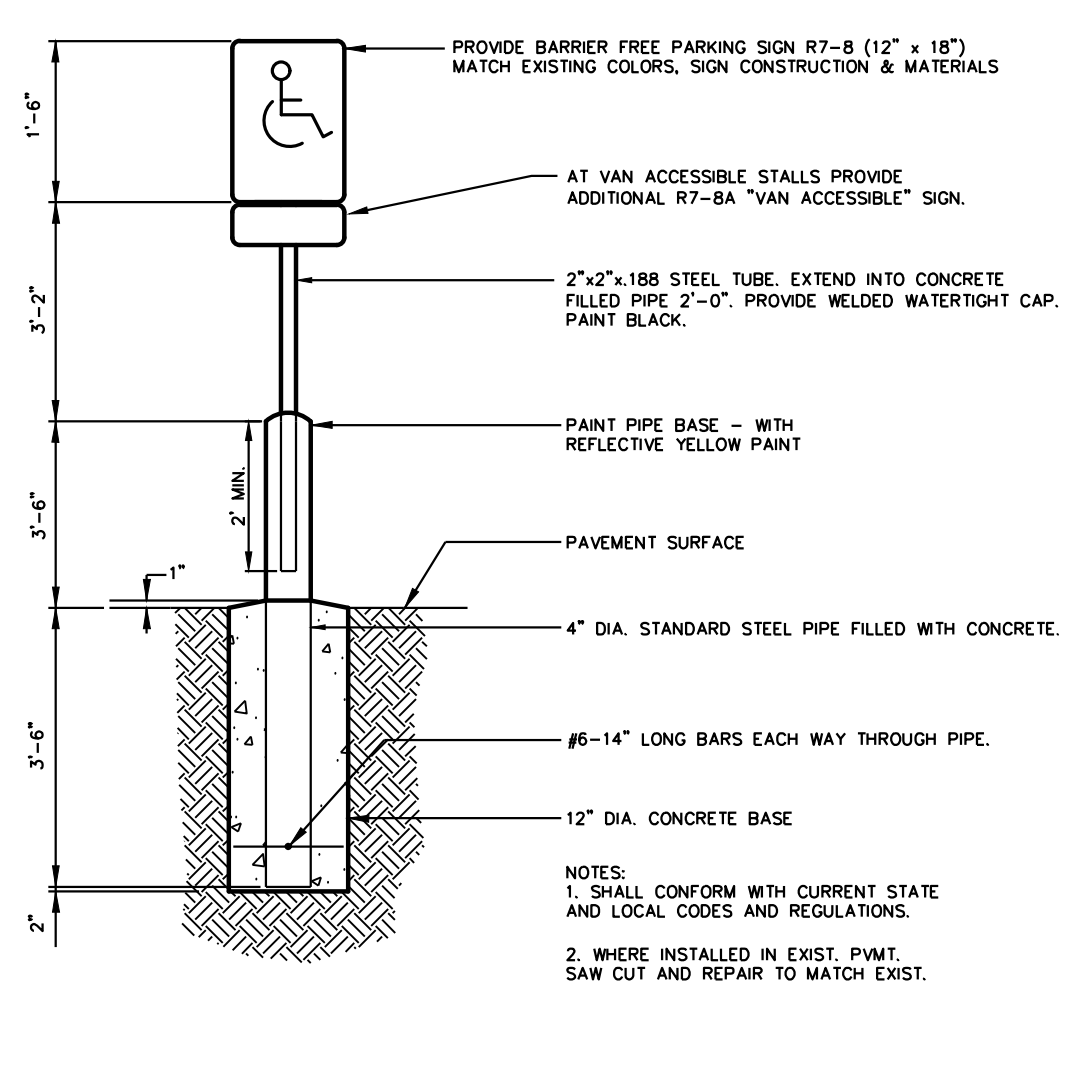
- All erosion and sediment control work shall conform to standards and specifications of the Wayne County Department of Environment and the City of Detroit.
- Daily inspections shall be made by the contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, and ponds.
- Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. He shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other changes have been accomplished.
- Staging the work will be done by the contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- Soil erosion control practices will be established in early stages of construction by the Contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.

**STORM SEWER NOTES**

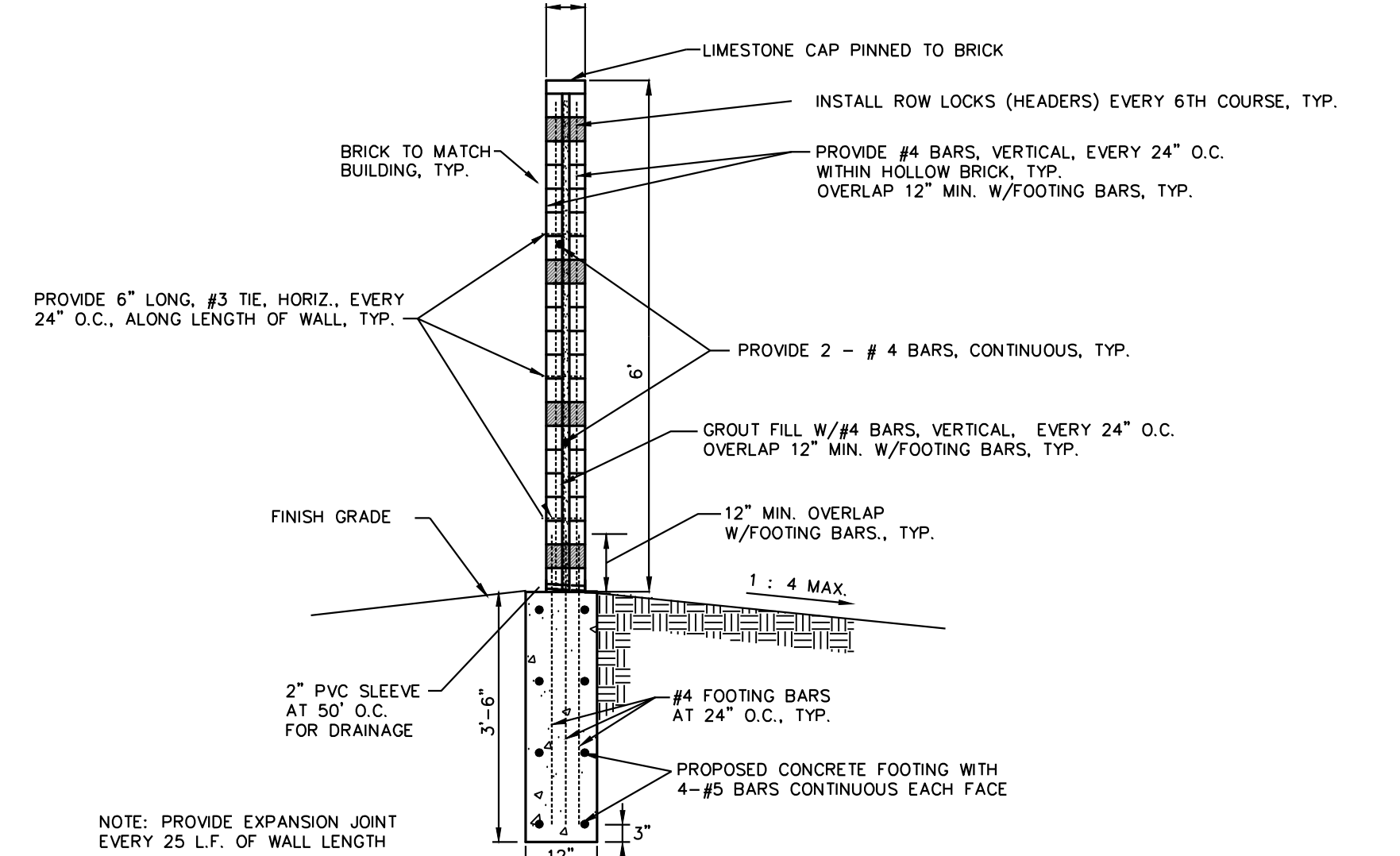
- All workmanship and materials shall be in accordance with the current standards and specifications of the City of Detroit.
- It shall be the Contractor's responsibility to verify the existence and location of all underground utilities.
- All sewer trenches under or within three (3) feet of the 45' zone of influence line of existing or proposed pavement or gravel shall be backfilled with sand compacted to at least 95% of maximum unit weight.
- All storm sewers shall be installed on a minimum of 6" MDOT 21AA aggregate placed to the top of the pipe, compacted to 95% of maximum density (ASTM D-1557).
- All storm sewers shall be PVC Schedule 40 unless otherwise noted.
- Joints for PVC storm sewers shall be glued and meet ASTM D-2564 unless specified otherwise.
- Whenever existing manholes or sewer pipe are to be tapped, drill holes 4" center to center, around the periphery of openings to create a plane of weakness joint before breaking the section out.

**WATER MAIN NOTES:**

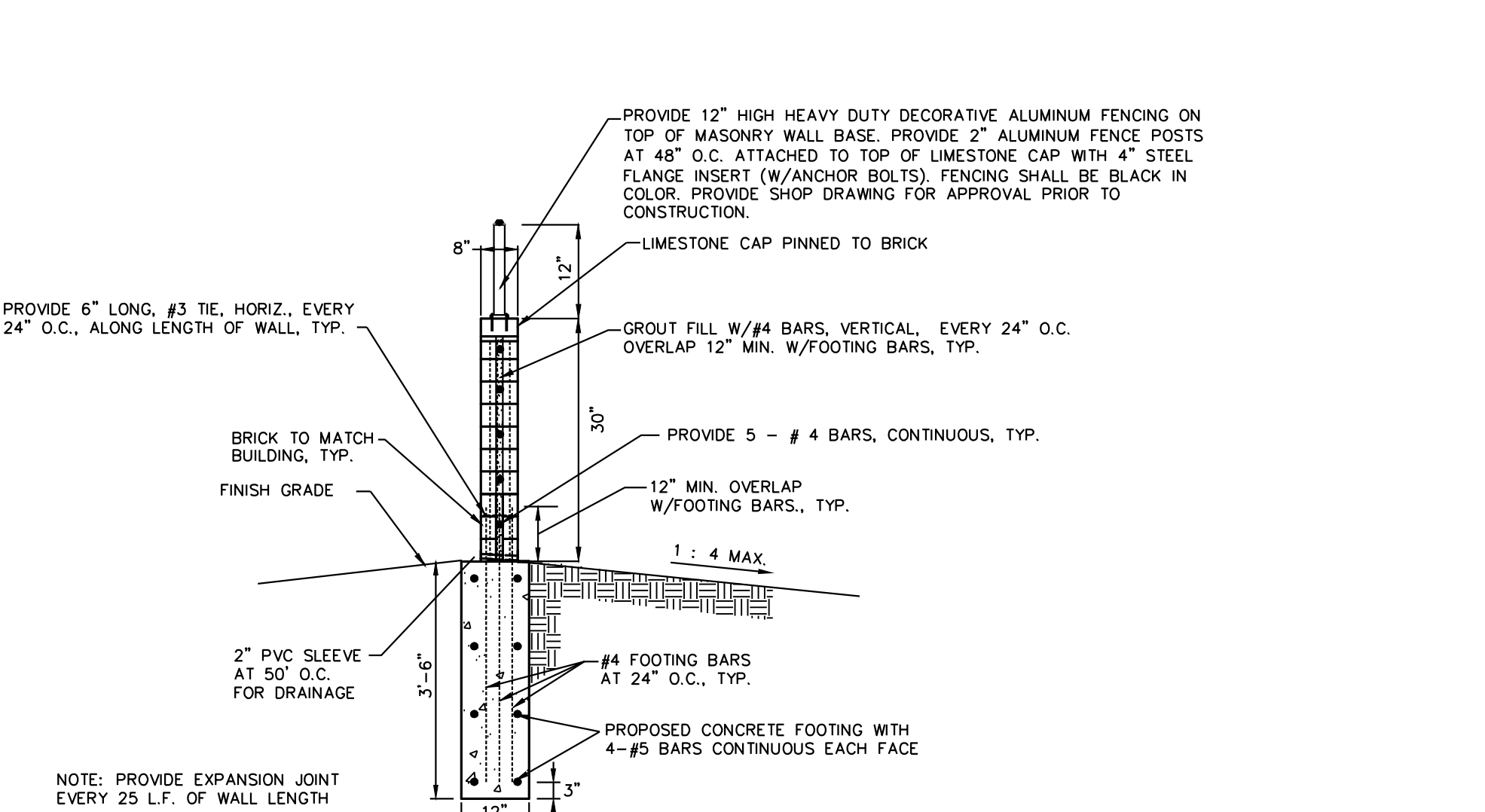
- ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
- PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
- MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY/COMBINED SEWER OR STRUCTURE.
- ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
- ALL STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF DETROIT STANDARDS. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR PRIOR TO CONSTRUCTION TO CONFIRM THAT ALL MATERIALS ARE IN ACCORDANCE WITH CITY REQUIREMENTS.



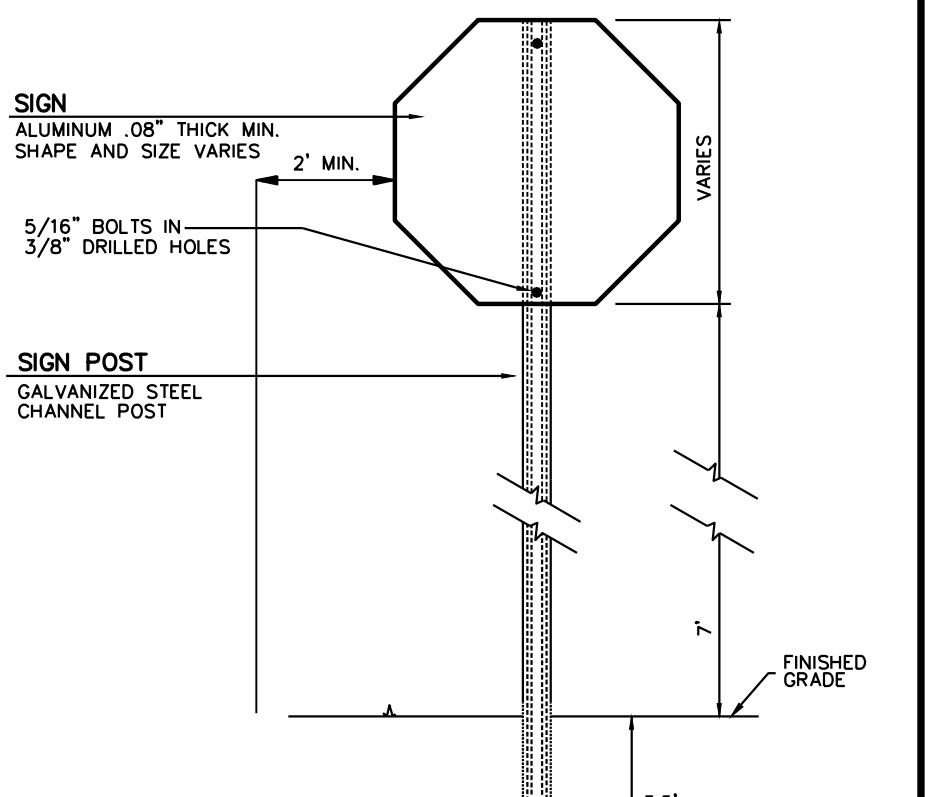
**SIGN AND POST INSTALLATION IN PAVED AREAS**  
N.T.S.



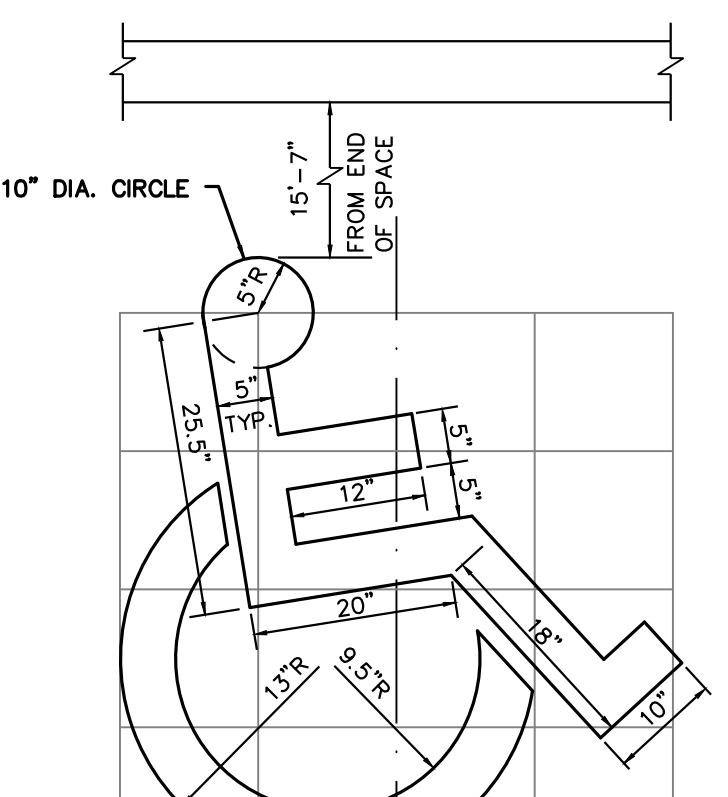
**6' MASONRY SCREEN WALL DETAIL**  
NOT TO SCALE



**42\"/>**



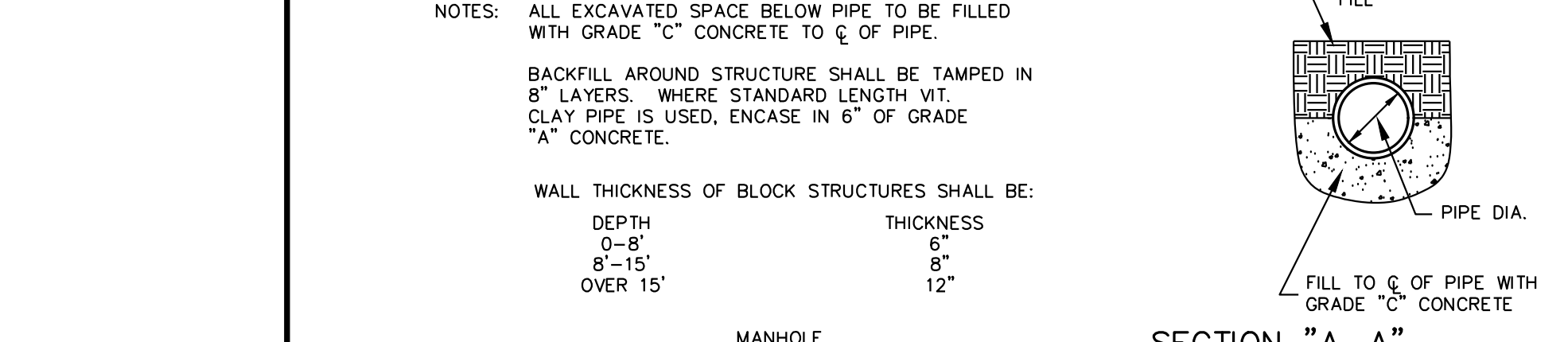
**SIGN AND POST INSTALLATION (IN GREENBELT AREAS)**  
N.T.S.



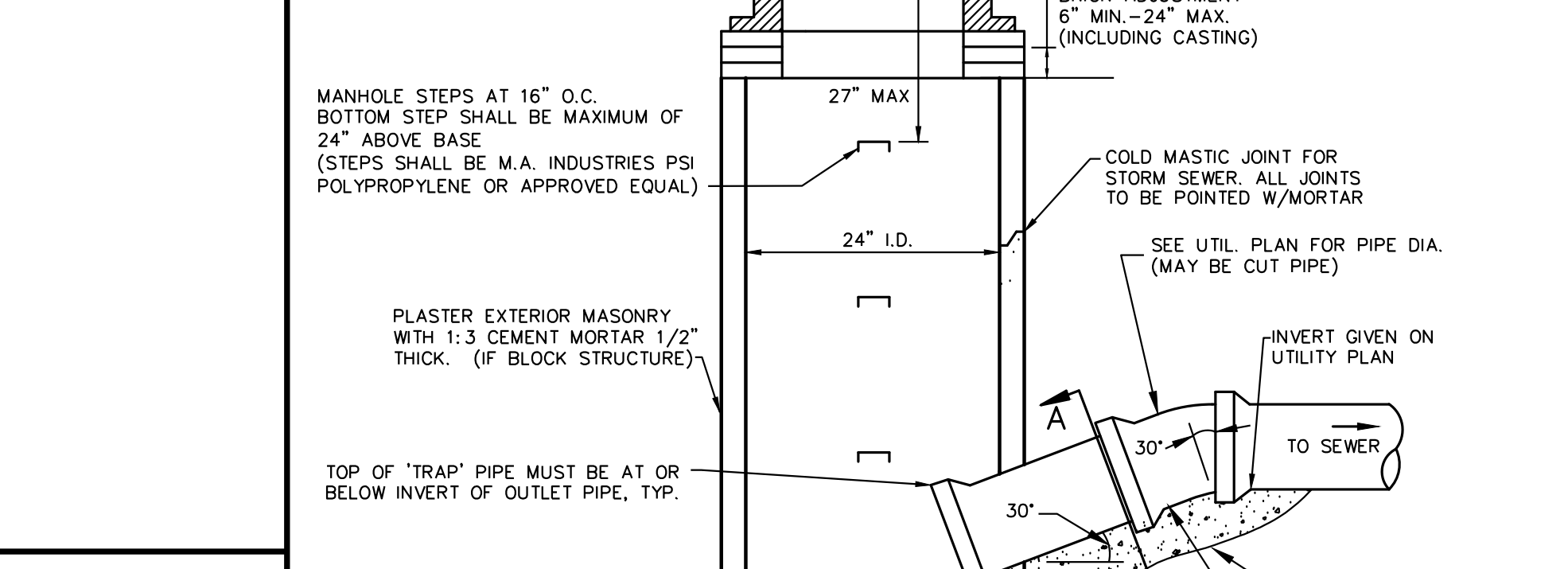
**STANDARD BARRIER FREE SYMBOL FOR PARKING SPACE**  
N.T.S.



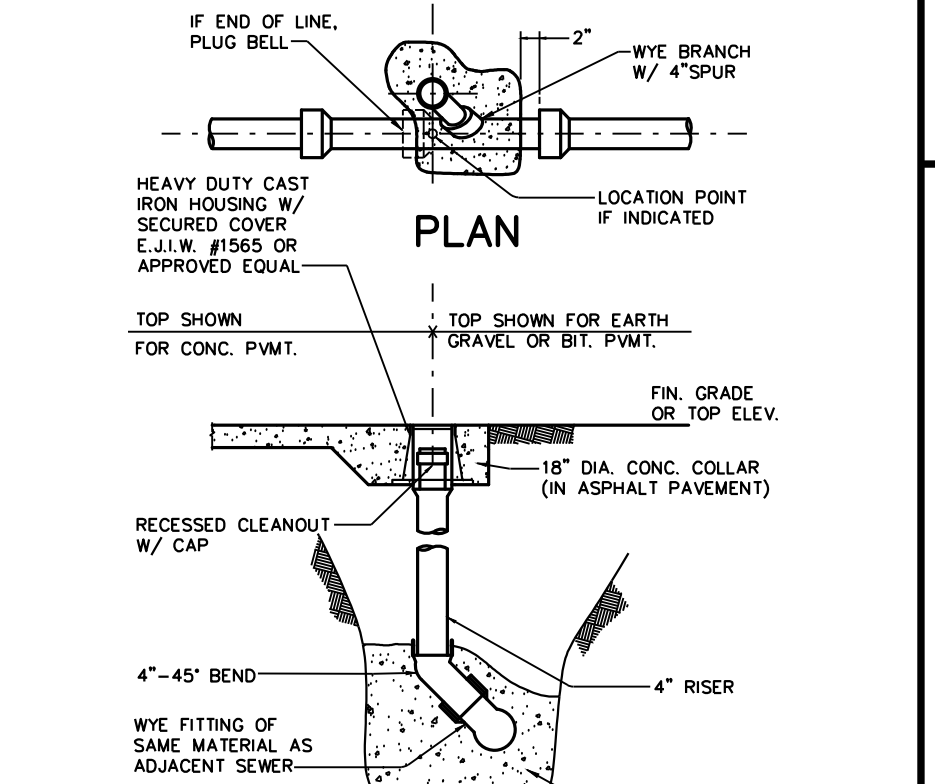
**BARRIER FREE PARKING SIGN DETAIL**  
N.T.S.



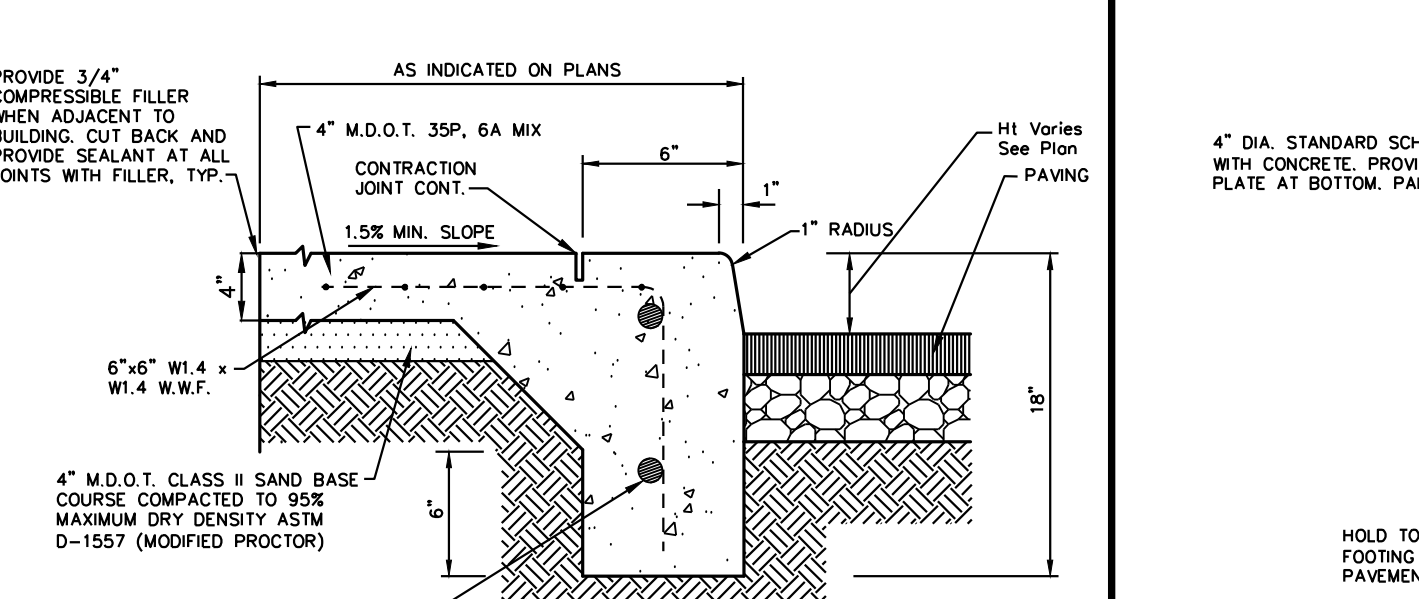
**MANHOLE FRAME & COVER E.I.I.W. NO. 1040 WITH 'M' GRATE**  
SECTION "A-A"



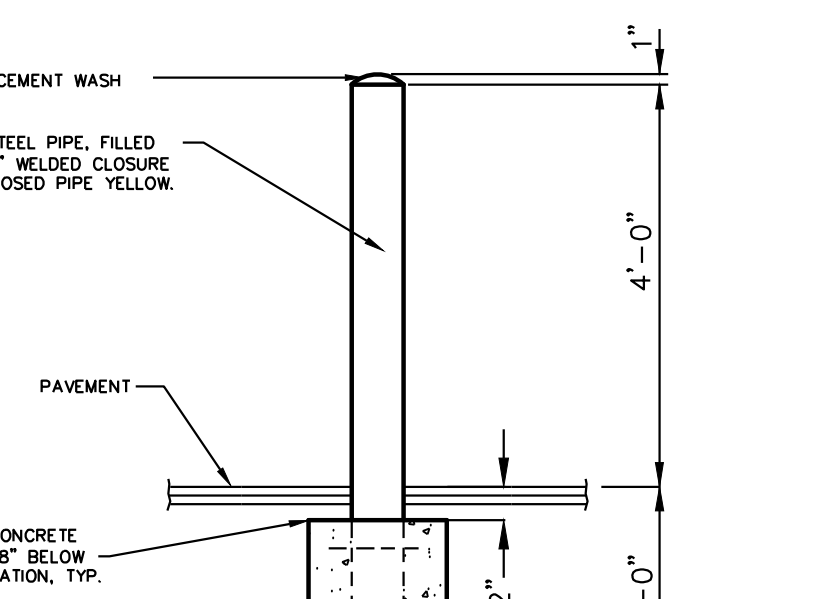
**TRAPPED CATCH BASIN DETAIL**  
N.T.S.



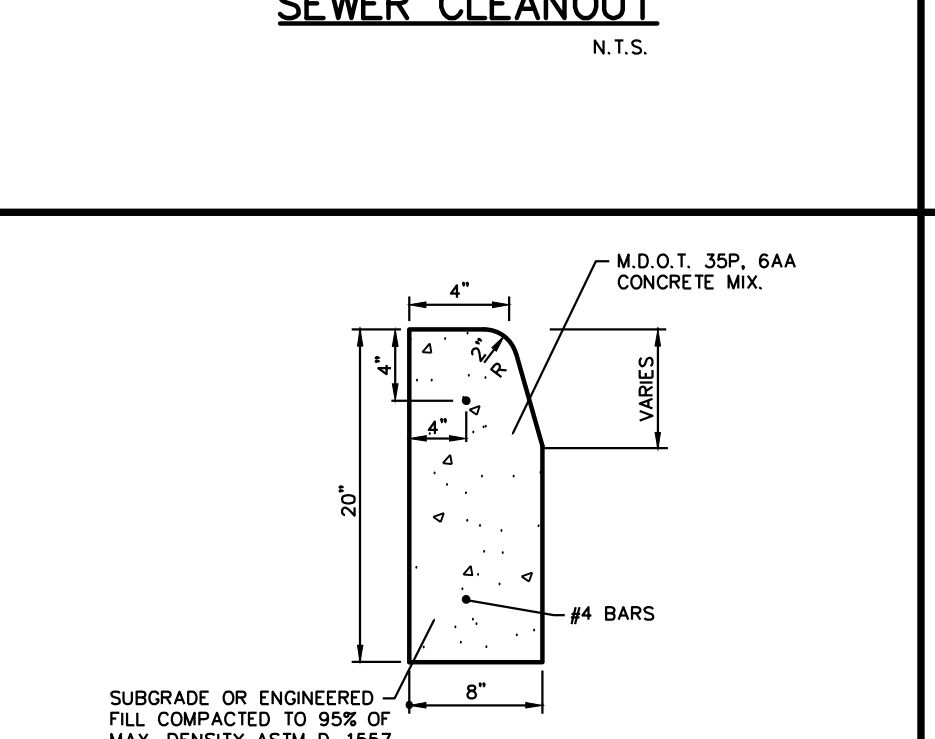
**SEWER CLEANOUT**  
N.T.S.



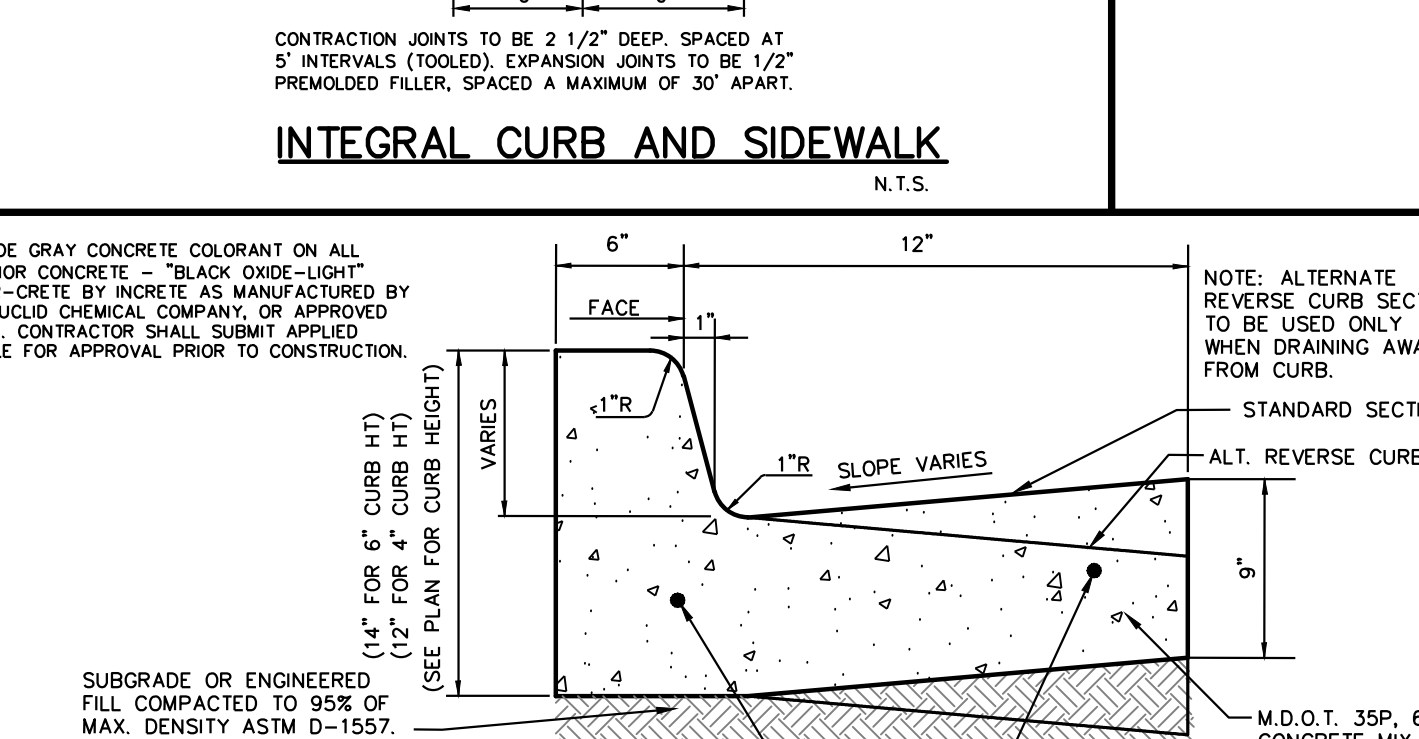
**INTEGRAL CURB AND SIDEWALK**  
N.T.S.



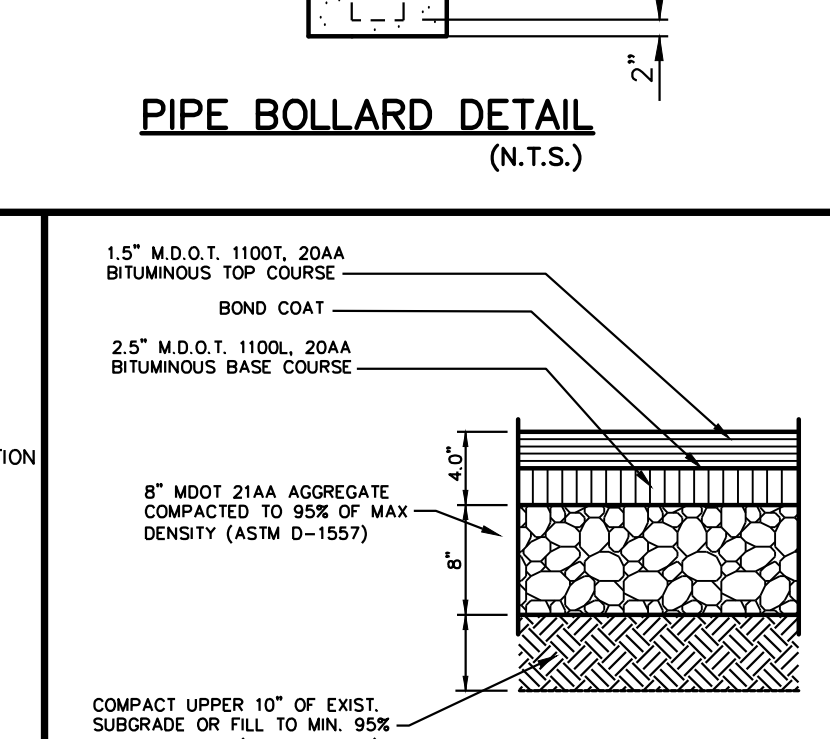
**PIPE BOLLARD DETAIL**  
N.T.S.



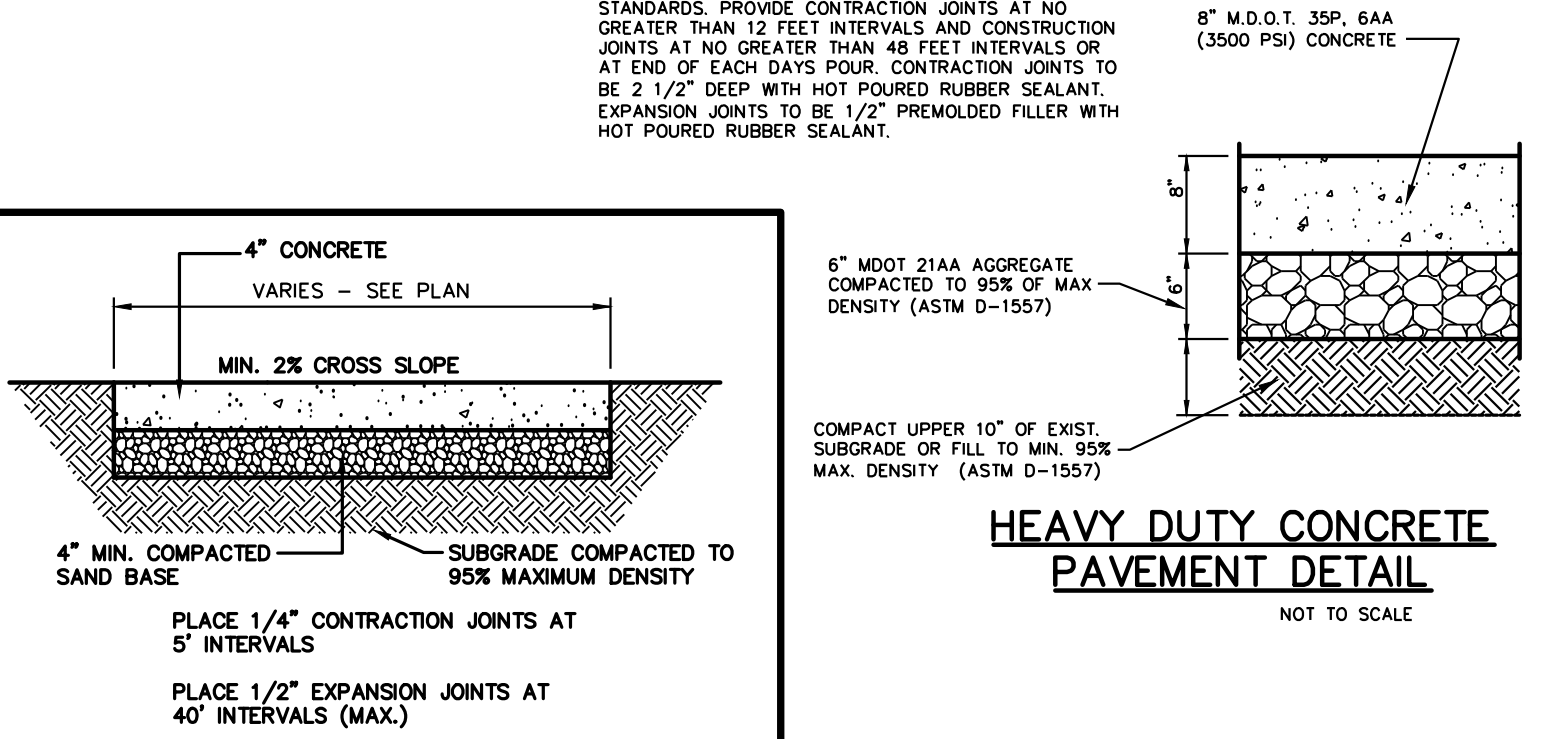
**CONCRETE STRAIGHT CURB**  
NOT TO SCALE



**18\"/>**

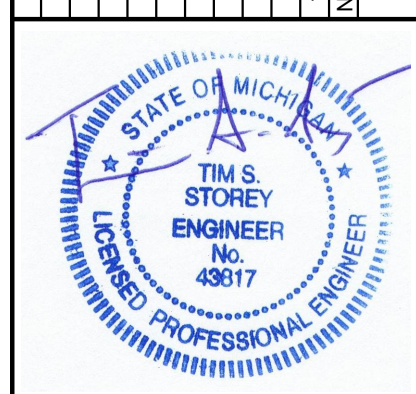


**STANDARD DUTY ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE



**HEAVY DUTY CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE

NO.	DATE	BY	REVISIONS
1-20-22	TSS		REVISED PER CITY COMMENTS RECEIVED 1-2-22



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**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

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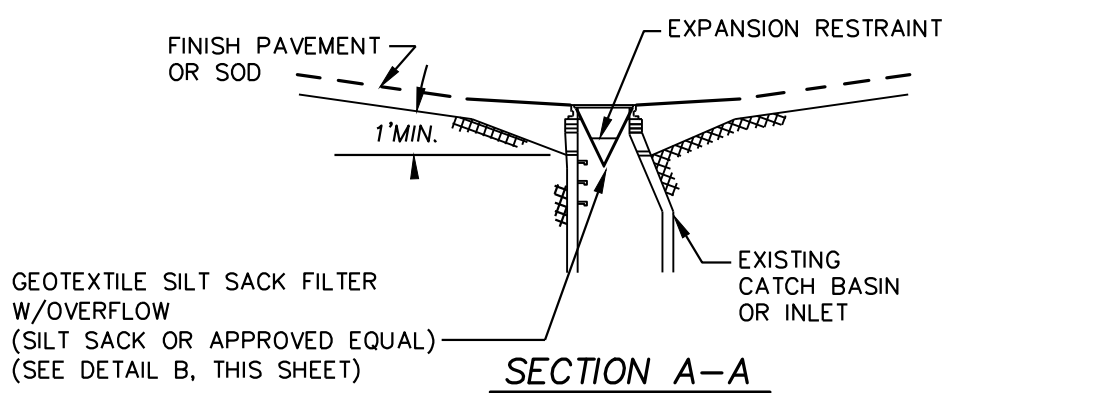
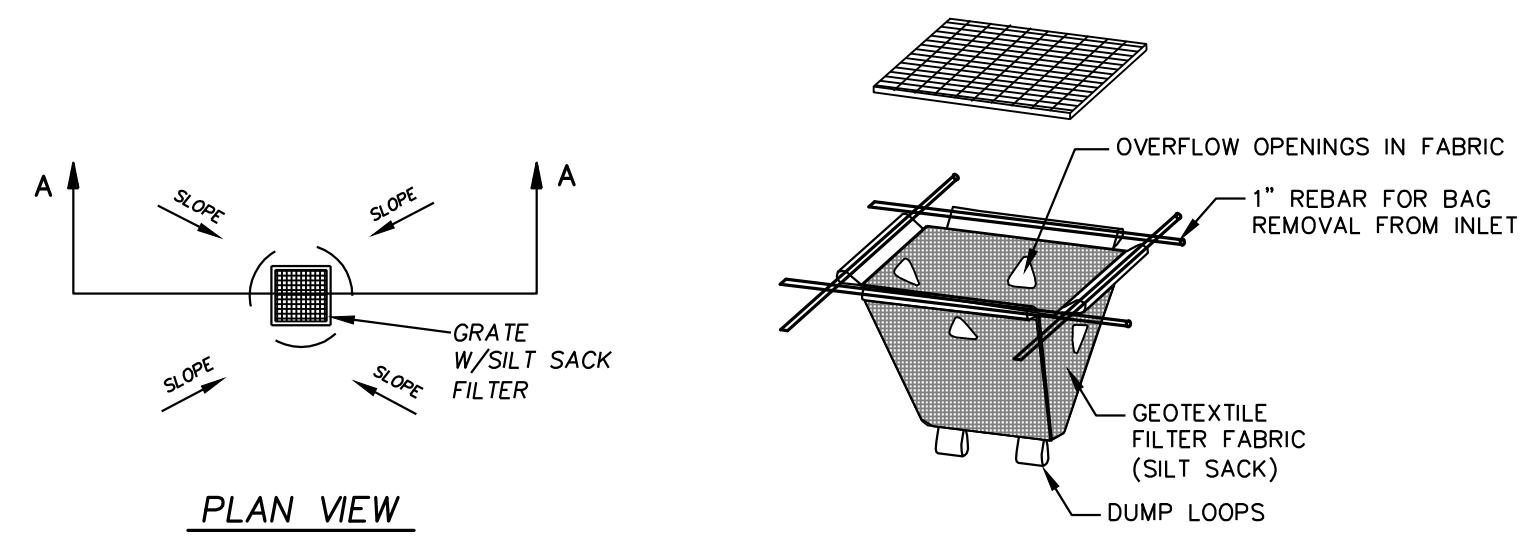
**MPM COMPANIES, LLC**  
11300 17 MILE ROAD WARREN, MI 48090  
**NOTES + DETAILS**  
**COMMON CITIZEN - DETROIT**  
12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN 48202  
DES. TSS DN. TSS SUR. AMP. P.M. TSS  
6/3/2017 PROJECT#2017-013 GREAT LAKES FARMERS' MARKET - DETROIT - JEFFERSON/PARKING CO'S

ORIGINAL ISSUE DATE:  
November 8, 2021

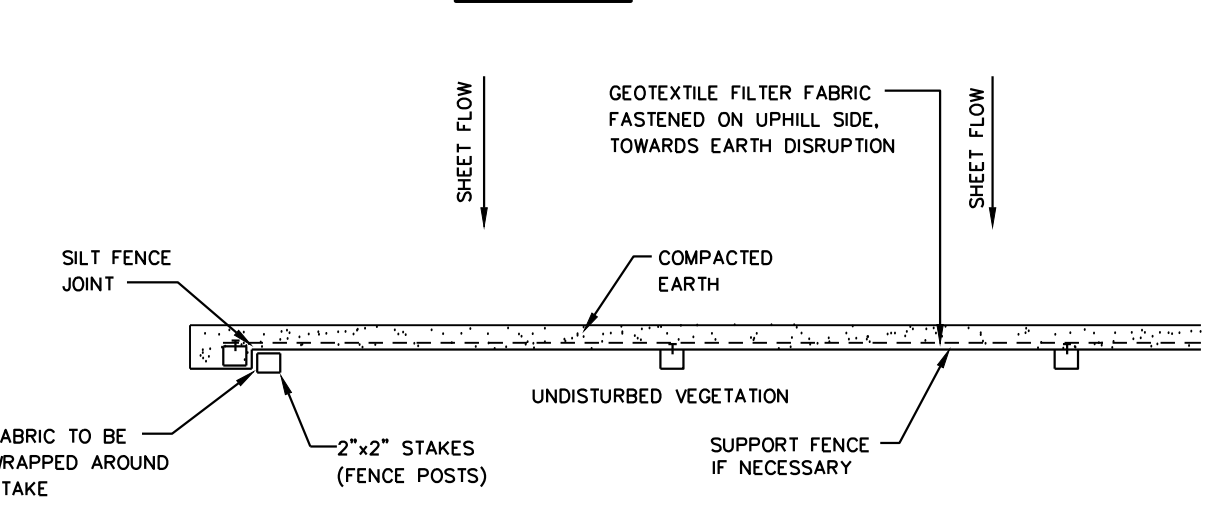
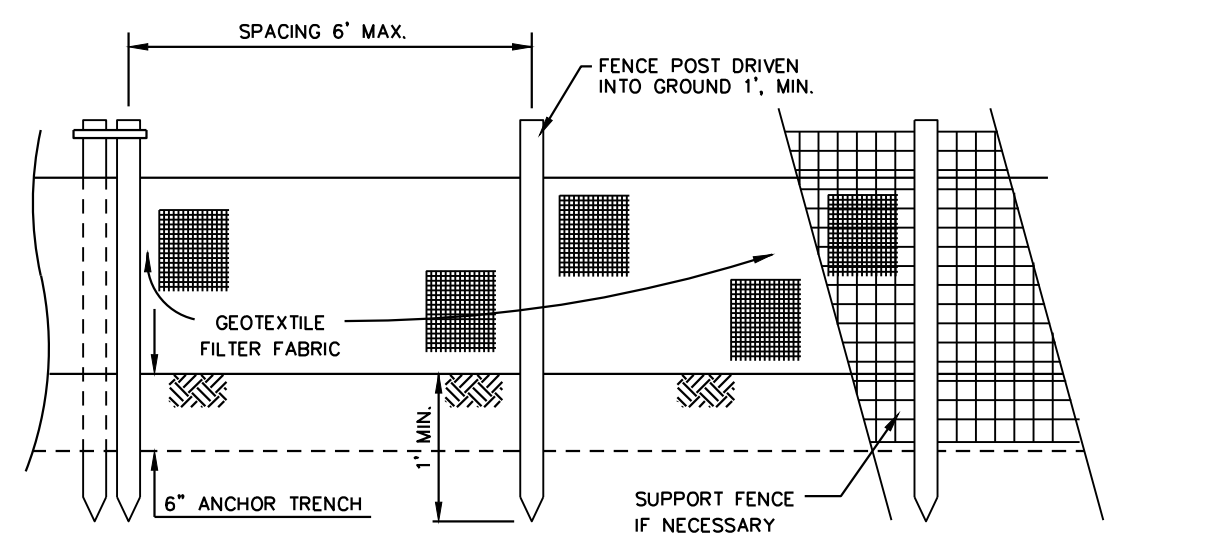
PROJ. No. 2017-013.D2

DRAWING NUMBER:  
**C-6.1**



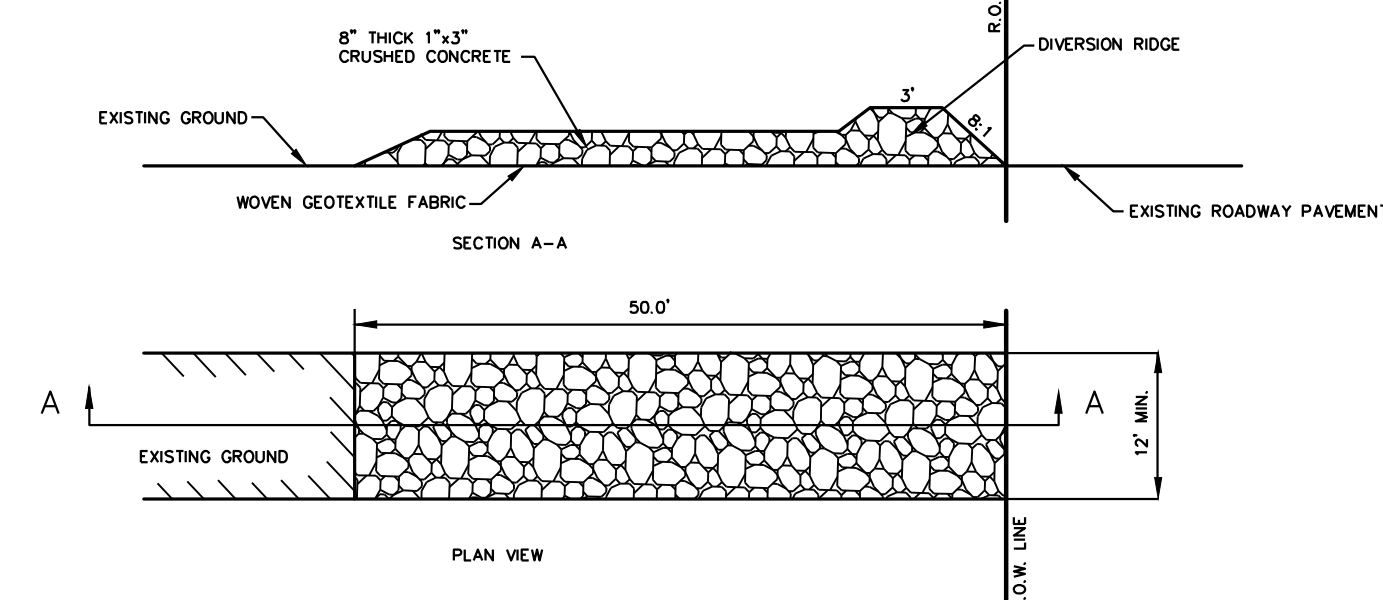


**LOW POINT INLET FILTER (SILT SACK)**  
NOT TO SCALE



**SILT FENCE DETAIL**  
N.T.S.

- MAINTENANCE NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT PACKING OR FLOWING OF SEDIMENTS ONTO THE RIGHT-OF-WAY. THIS MAY REQUIRE CLEANING, TOP DRESSING, REPAIR, ETC. WHEN NECESSARY WHEELS SHALL BE CLEANED BEFORE ENTERING ONTO ROAD. RIGHT-OF-WAY (ROW) WASHING SHALL BE DONE IN AN AREA THAT DRAINS INTO AN APPROVED SEDIMENT TRAP/BASIN.
  2. WHERE ACCESS TO THE CONSTRUCTION SITE IS LIMITED IN LENGTH (AS IN URBAN AREAS), DAILY STREET SWEEPING MAY BE NEEDED TO KEEP SOILS TRACKED ONTO ROADS FROM REACHING THE STREET SEWER SYSTEM AND FACILITIES.
  3. MAINTENANCE MAY INCLUDE ADDING EXTRA LAYERS OF STONE OR BITUMINOUS WHEN THE ORIGINAL LAYERS BECOME COVERED WITH MUD OR PARTIALLY DEGRADED. AFTER EACH STORM EVENT, THE ROADS SHALL BE INSPECTED AND ALL DEBRIS AND SEDIMENTS DROPPED OR ERODED ONTO ROADS SHALL BE REMOVED IMMEDIATELY BY SWEEPING EFFECTIVELY.
  4. TEMPORARY ACCESS, IF NOT CONSTRUCTED WITHIN PROPOSED DRIVE APPROACH, SHALL BE REMOVED AND ROW RESTORED UPON PROJECT COMPLETION OR AS SPECIFIED ON THE PLAN OR PERMIT.



**TEMPORARY CONSTRUCTION ACCESS DETAIL**  
NOT TO SCALE



**CAUTION!**  
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING, BUT NOT LIMITED TO, NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HANDBLES FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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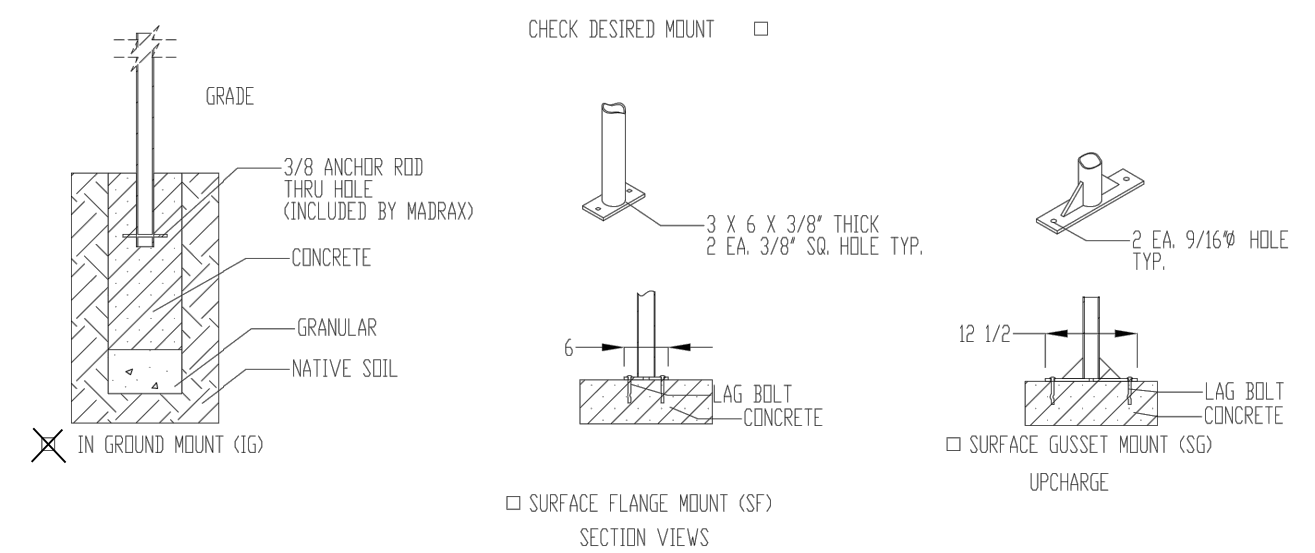
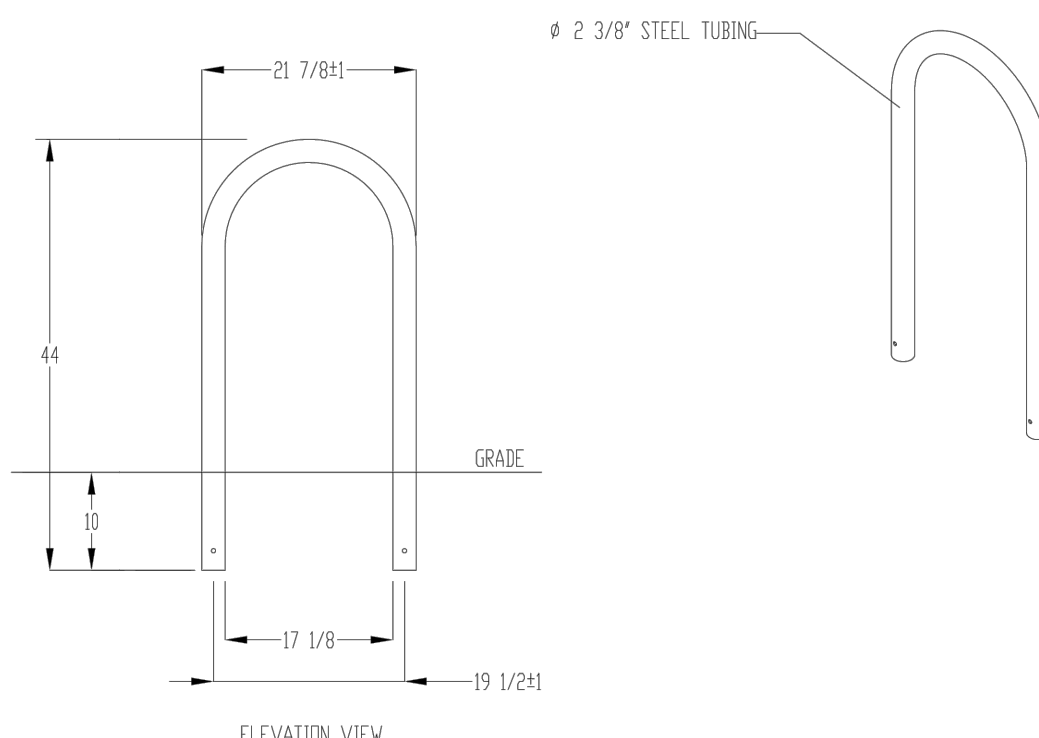


**STOREY ENGINEERING GROUP, LLC**  
48264 MANCHESTER MACOMB, MI 48044  
(586) 216-1043  
www.storeyengineering.com

<b>MPM COMPANIES, LLC</b>		<b>DETAILS - DETROIT</b>	
11800 E. MILE ROAD MARSHFIELD, MI 48068		COMMON CITIZEN - DETROIT	
DES.	TSS	SUR.	P.M.
DN.	TSS	AMP	TSS
12600 E. JEFFERSON AVE., CITY OF DETROIT, WAYNE COUNTY, MICHIGAN			
ORIGINAL ISSUE DATE: November 8, 2021			
PROJ. No. 2017-013.D2			
SCALE: 1" = 20'			
DRAWING NUMBER: <b>C-6.2</b>			

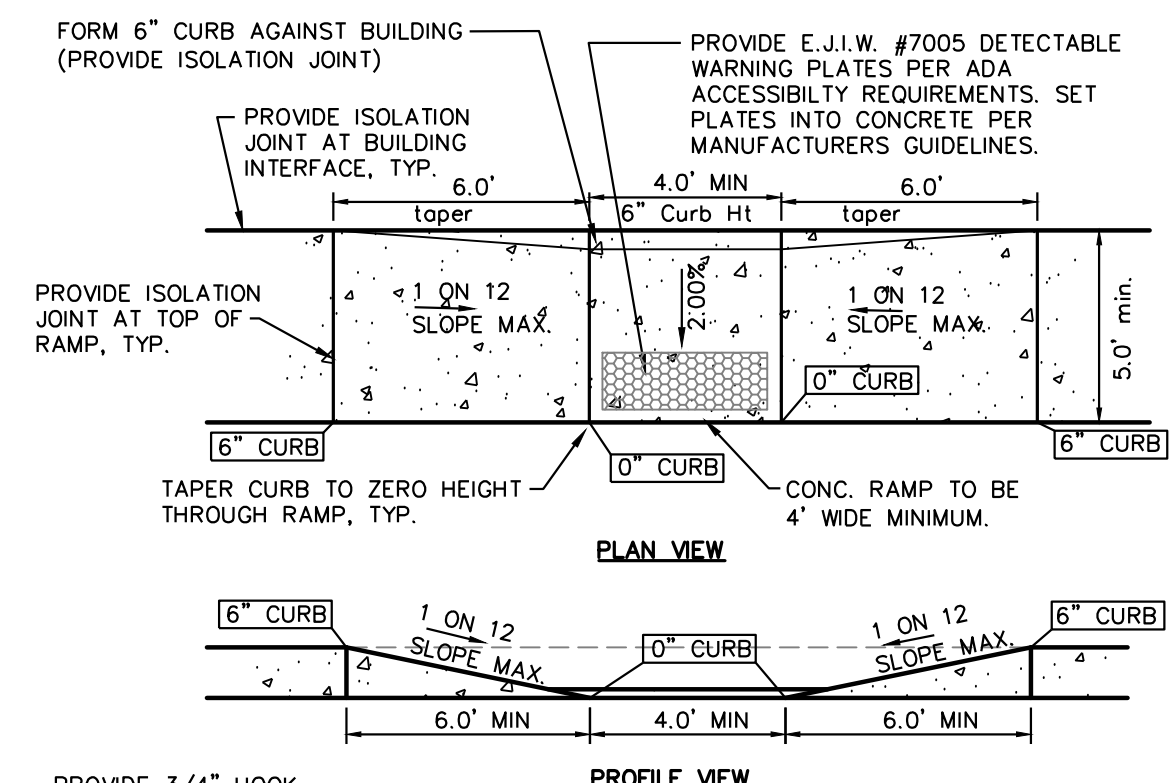


MADRAX DIVISION  
GRABER MANUFACTURING, INC.  
1088 LINEX DRIVE  
MADISON, MI 48220  
PHONE: 448-7931, 313-880-8491, 313-880-8492, 313-880-8493  
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

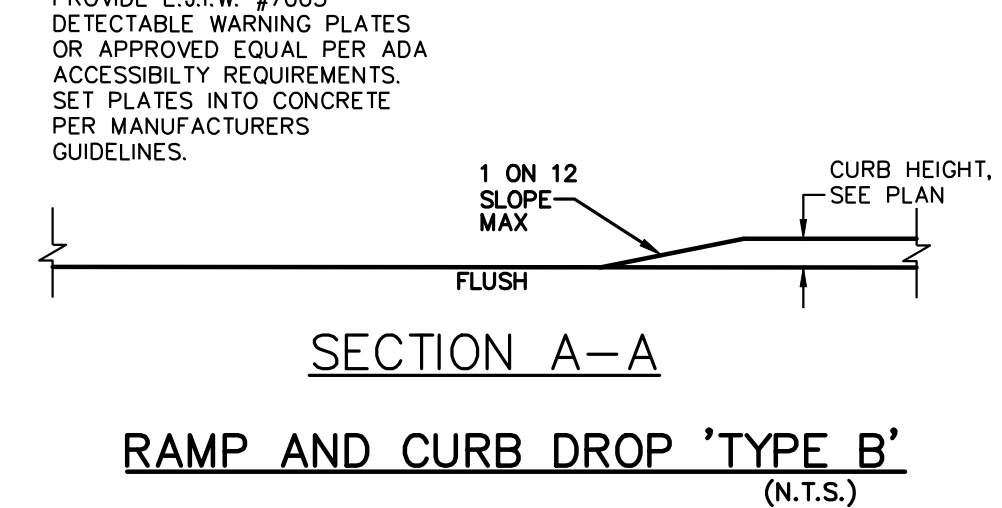
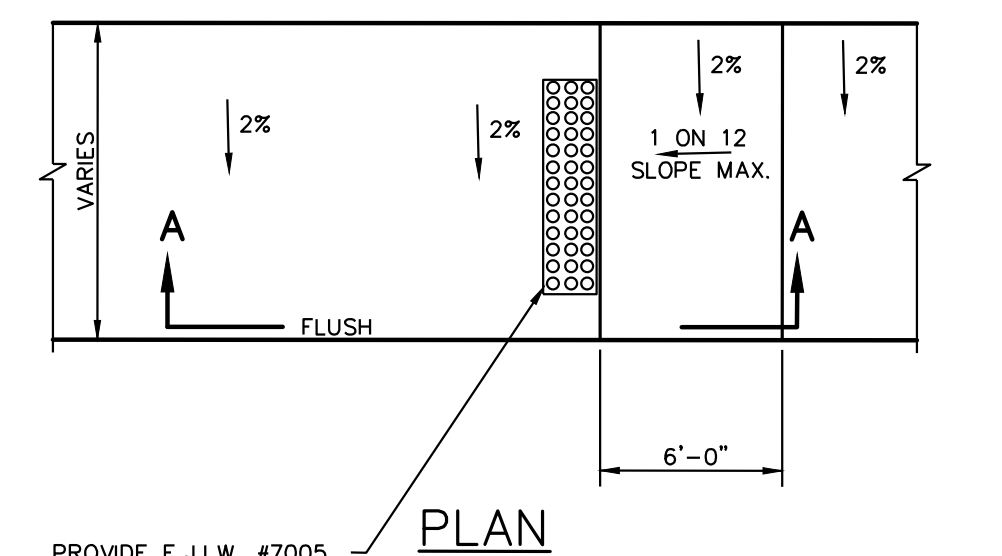


PRODUCT: L238-1053F SD  
DESCRIPTION: BIKE RACK  
DATE: 8-8-14  
ENG: SNC  
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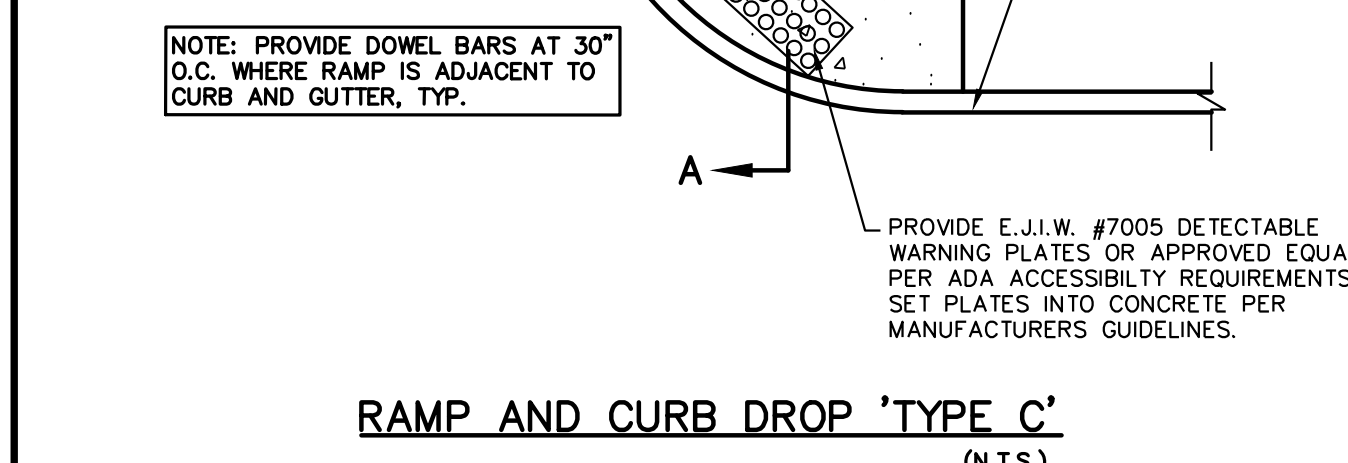
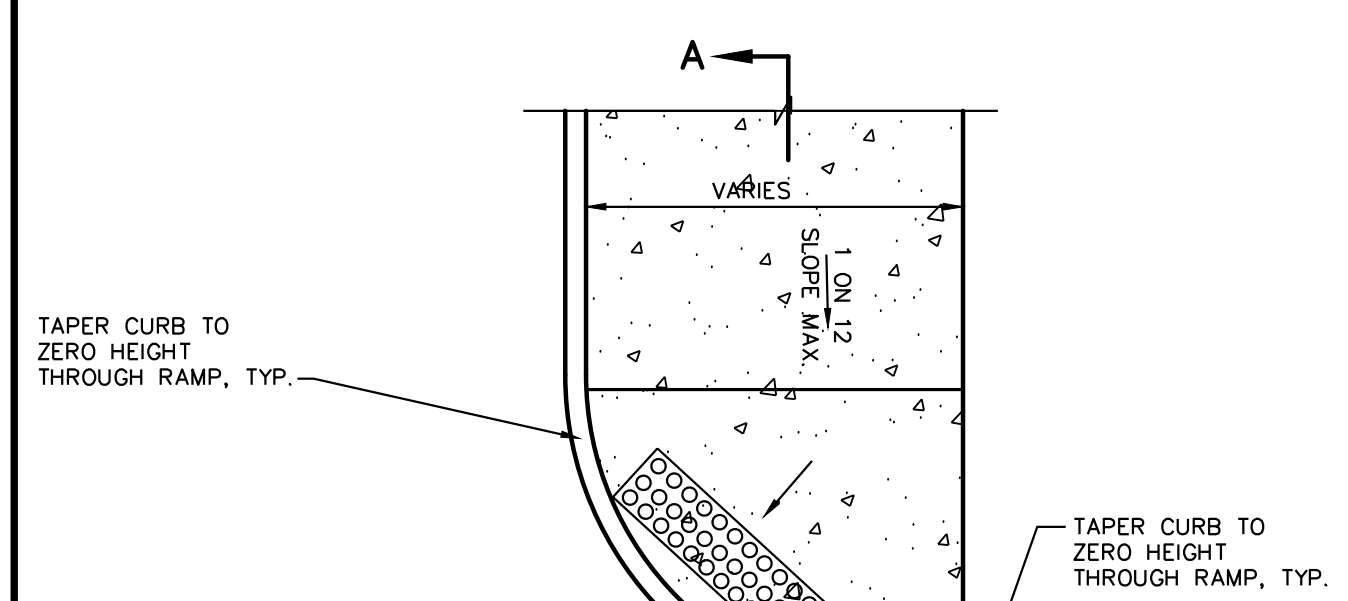
**BIKE RACK DETAIL**  
NOT TO SCALE



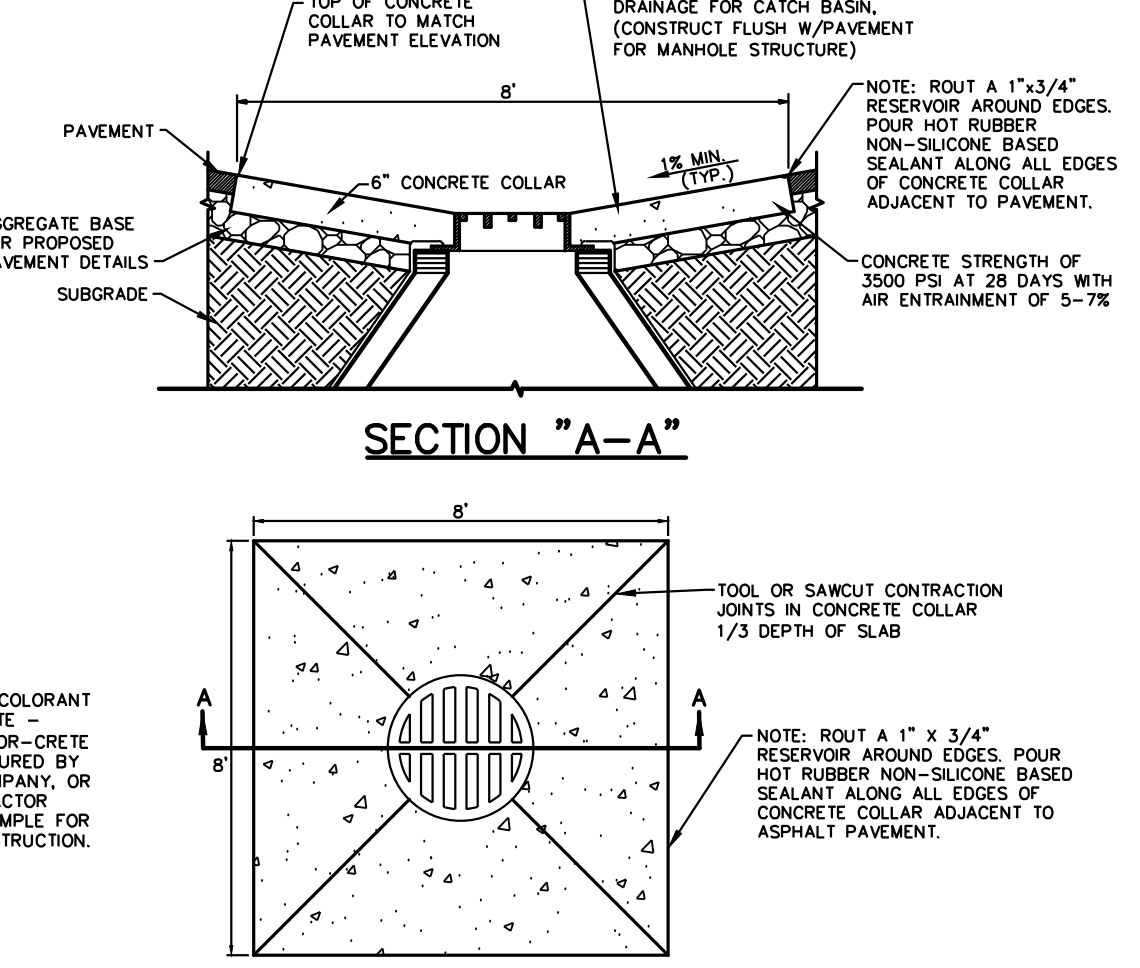
**SIDEWALK RAMP TYPE "A"**  
(N.T.S.)



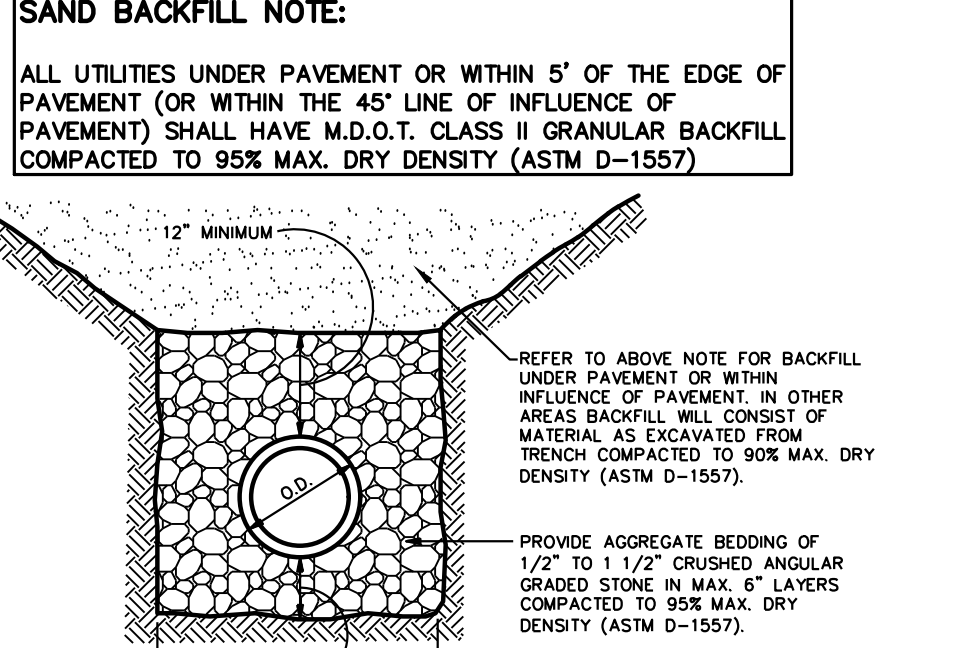
**RAMP AND CURB DROP 'TYPE B'**  
(N.T.S.)



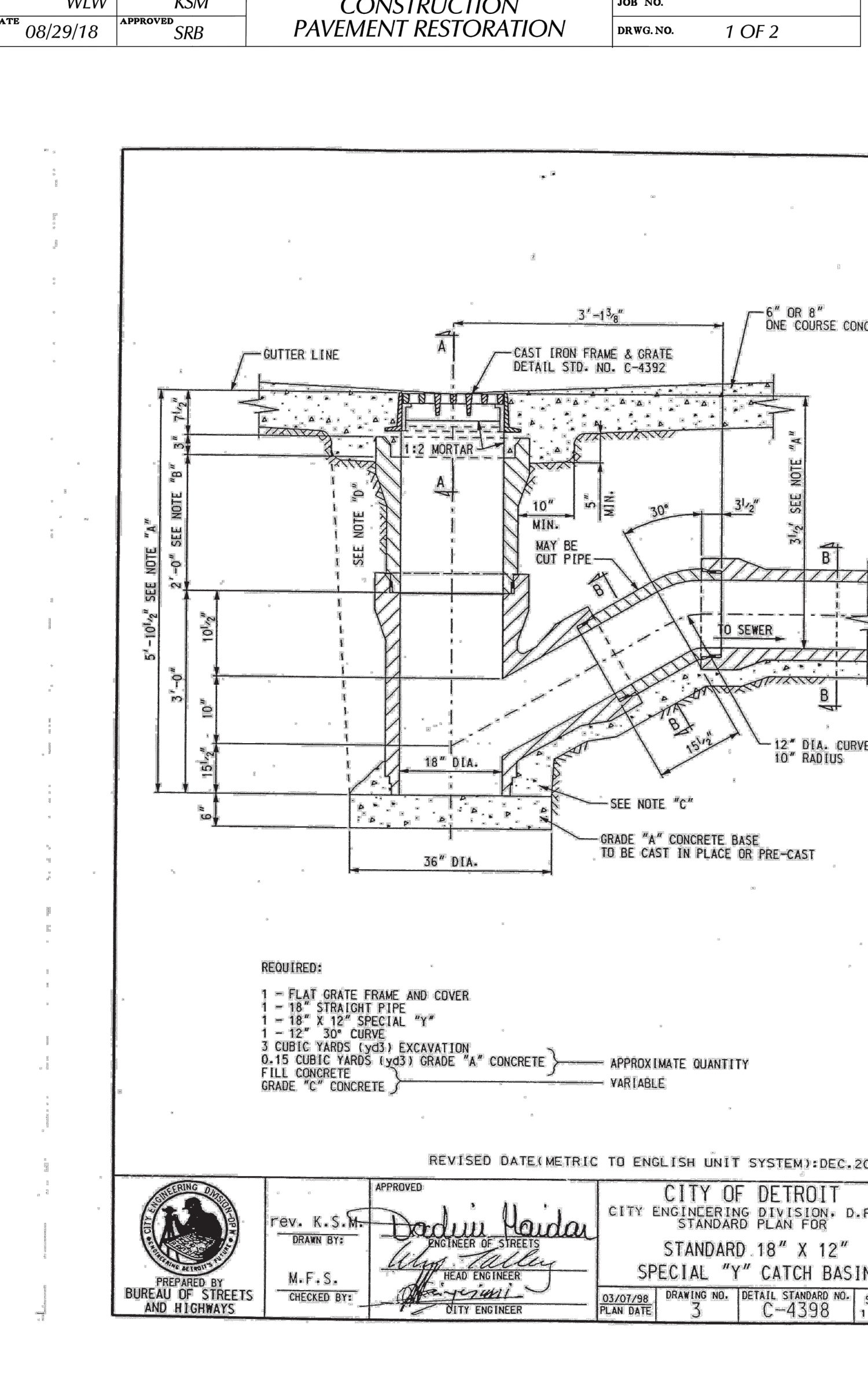
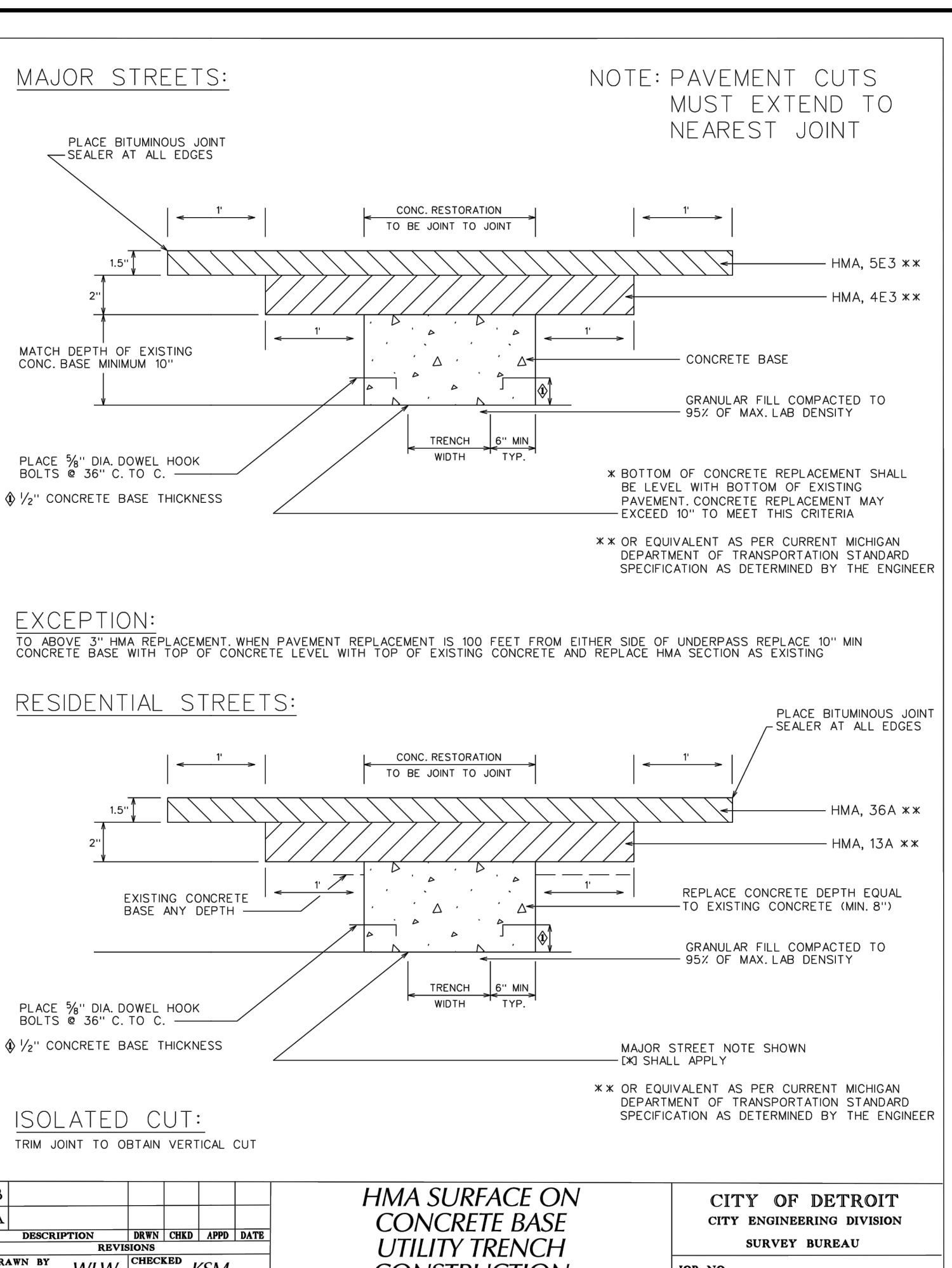
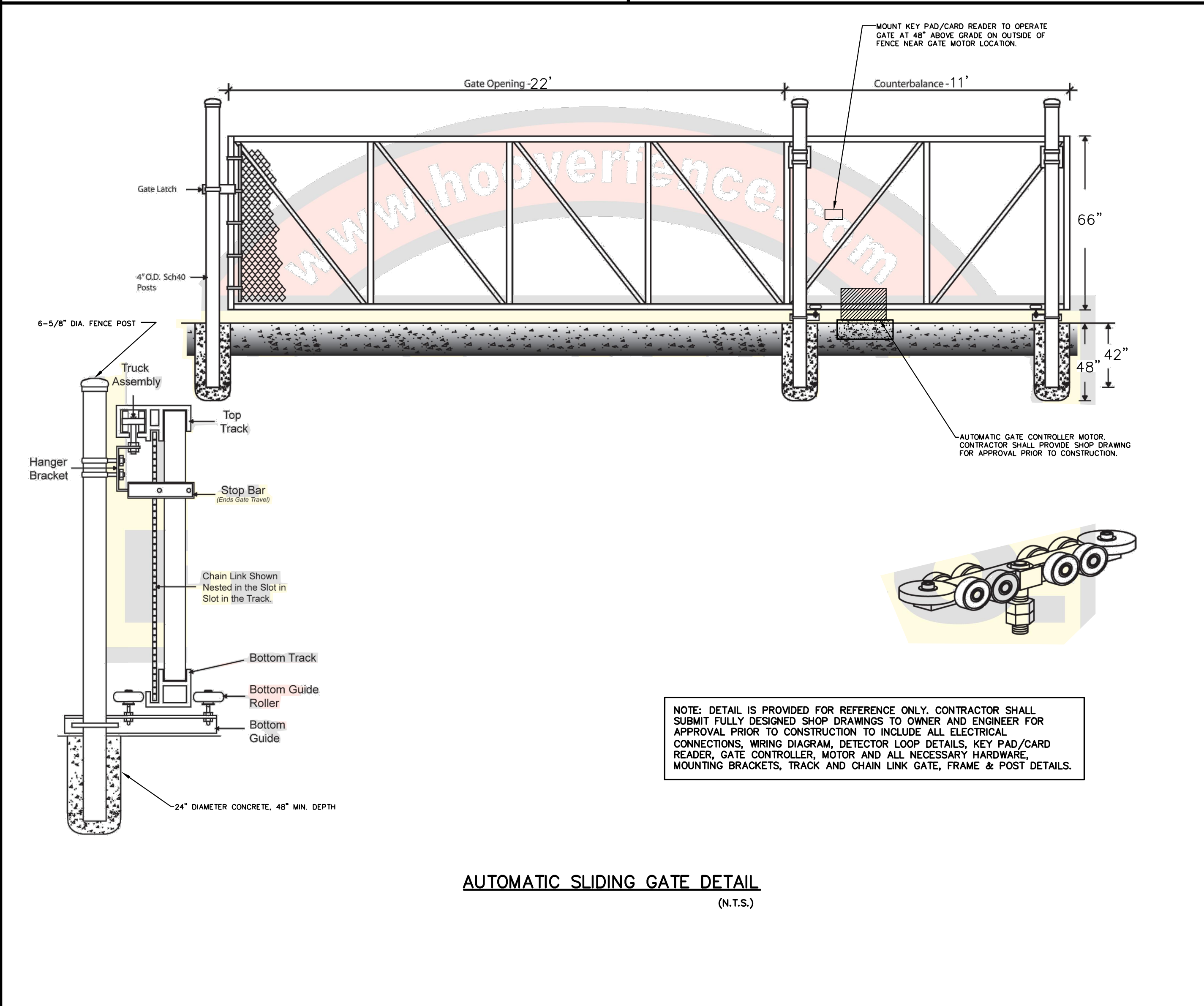
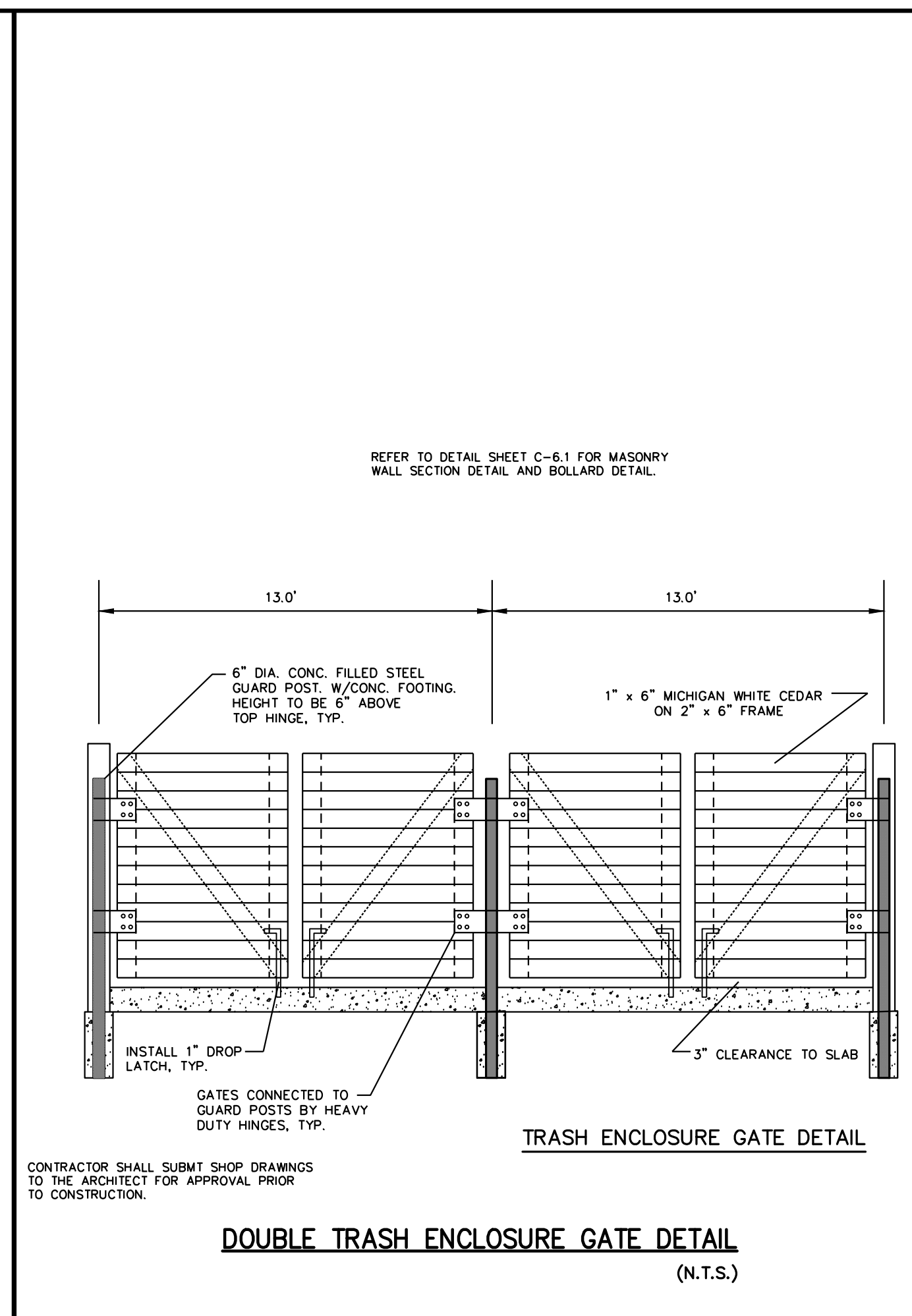
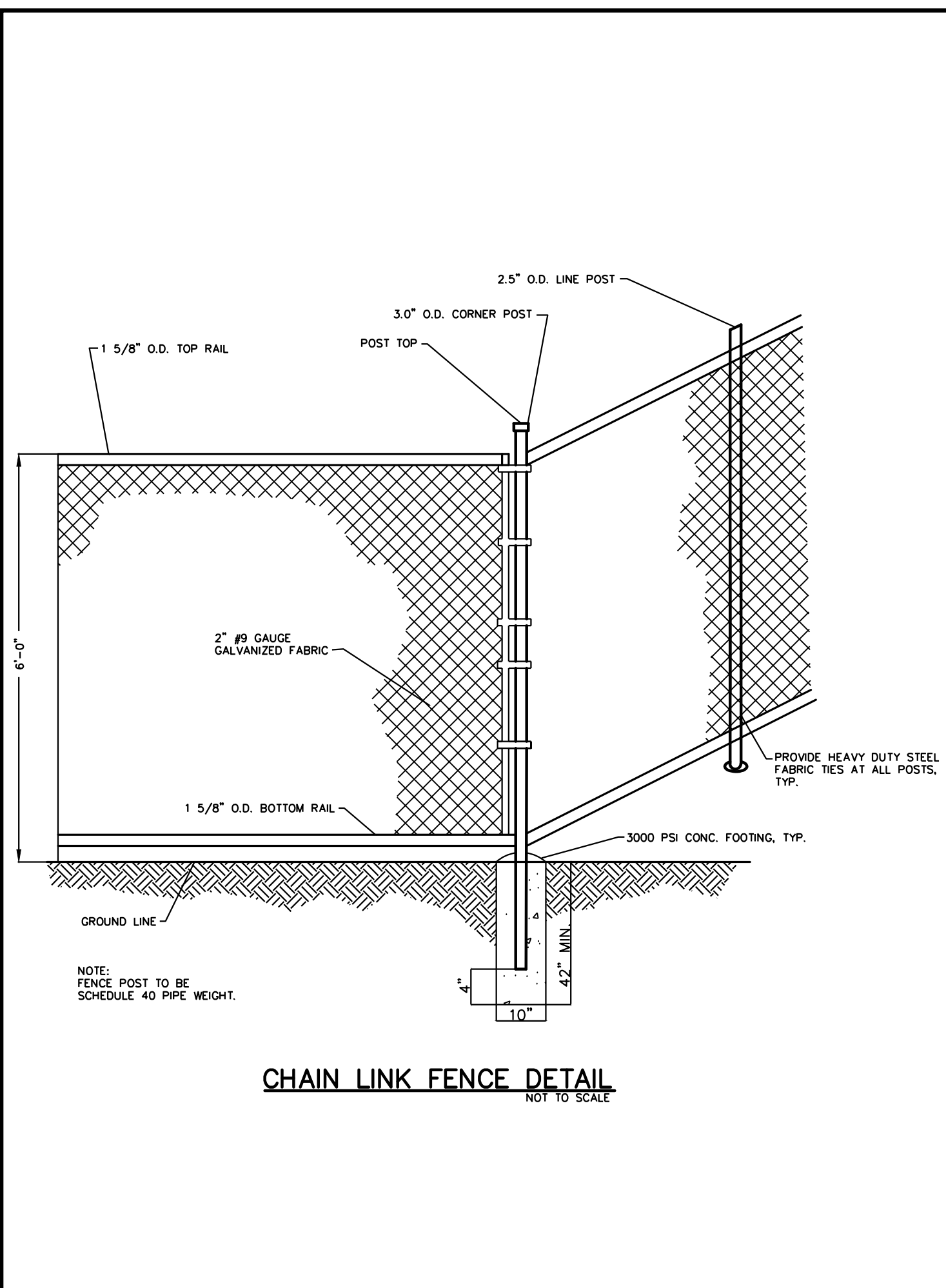
**RAMP AND CURB DROP 'TYPE C'**  
(N.T.S.)



**CONCRETE COLLAR AT CATCH BASIN DETAIL**  
(N.T.S.)

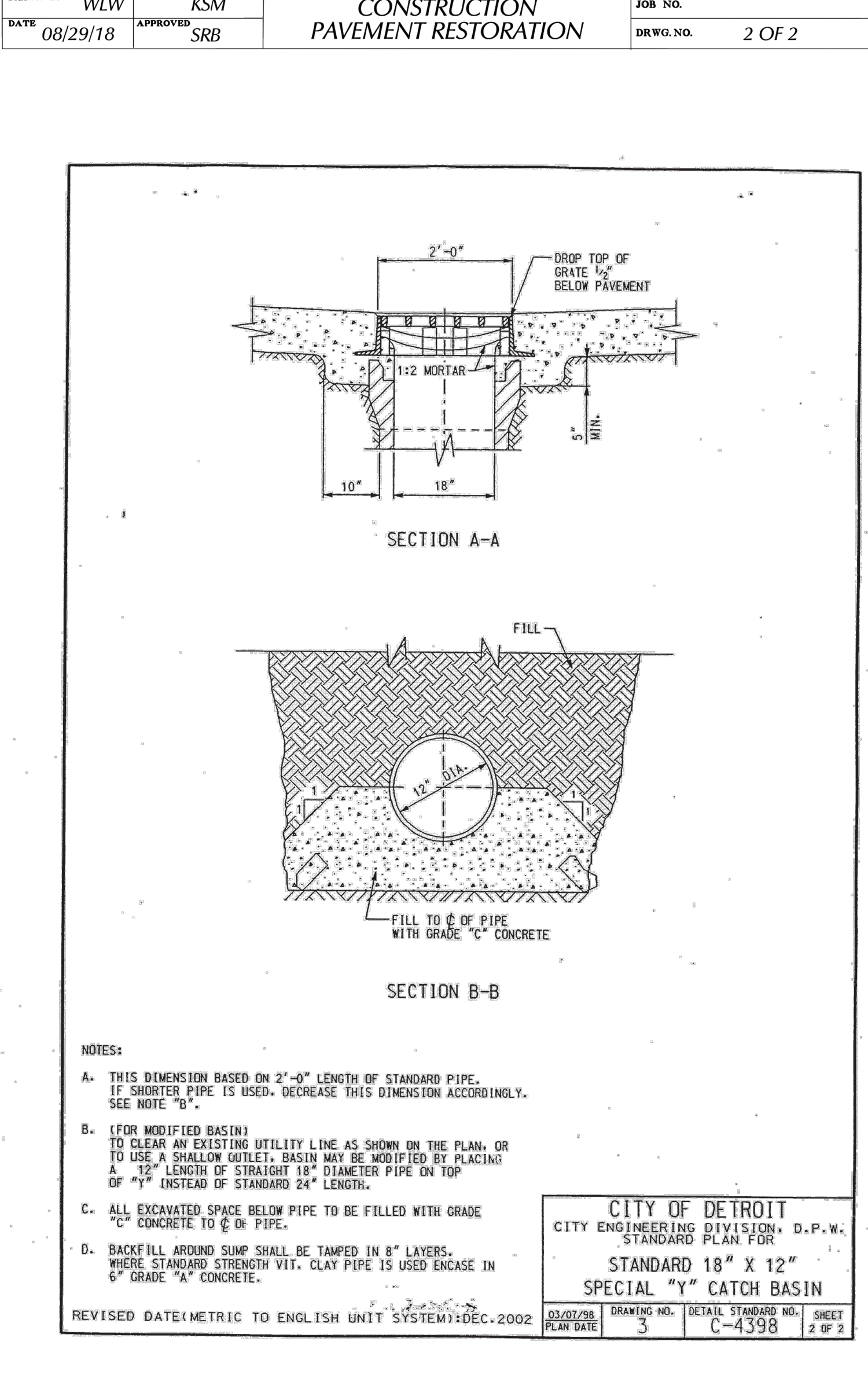


**STANDARD PIPE BEDDING FOR FLEXIBLE & SEMI-RIGID PIPE**  
(N.T.S.)



**CITY OF DETROIT NOTES**

- MILL (REMOVE) HMA PAVEMENT WITHIN AND BEYOND THE AREA OF TRENCH PAVEMENT REMOVAL IN ORDER TO DETERMINE LOCATION OF UNDERLYING CONCRETE BASE PAVEMENT JOINTS. MILL MINIMUM TO 1' BEYOND NEAREST CONCRETE JOINTS.
- EXTEND UTILITY TRENCH CONCRETE PAVEMENT REMOVAL TO ALL CONCRETE PAVEMENT JOINTS AND / OR CURBS ADJACENT TO THE TRENCH AREA. REMOVAL SHALL BE "JOINT TO JOINT".
- CONCRETE PAVEMENT CUTS SHALL BE MINIMUM 3' WIDE.
- ALL PAVEMENT CUTS SHALL BE MINIMUM 1' WIDER THAN TRENCH WIDTH.
- ALL REMOVALS SHALL BE SAWCUT STRAIGHT AND SQUARE (90 DEGREES).
- CONCRETE RESTORATION PAVEMENT SHALL BE MDOT P1 MIX (3,500 PSI).
- RESTORED CONCRETE PAVEMENT SHALL MATCH THICKNESS OF EXISTING CONCRETE PAVEMENT IN CONFORMANCE WITH MDOT STANDARDS DETAIL R-44-F.
- RESTORED CONCRETE SHALL BE ANCHORED TO EXISTING CONCRETE PAVEMENT IN CONFORMANCE WITH MDOT STANDARD DETAIL R-44-F.
- APPLY HMA TACK COAT PER MDOT STANDARD SPECIFICATIONS SECTION 904.
- RESTORE HMA PAVEMENT 3/2" TO MATCH EXISTING, IN 2 LIFTS:
  - 1ST LIFT - 2" MDOT HMA 4E3 (13A RESIDENTIAL), COMPACTED, EXTENDED 1' BEYOND BASE CONCRETE REPAIR.
  - 2ND LIFT - 1/2" MDOT HMA 5E3 (36A RESIDENTIAL), COMPACTED, EXTENDED 1' BEYOND 1ST LIFT.
- BITUMINOUS JOINT SEALER SHALL BE PLACED AT ALL FINISHED HMA JOINTS.
- ALL DISTURBED PAVEMENT MARKINGS AND OTHER ASSETS, INCLUDING BIKE LANE DELINEATORS, WILL HAVE TO BE REPLACED AT THE COST OF THE PERMIT HOLDER, AND SHALL CONFORM TO THE LATEST CED / TED STANDARDS.
- FOR OTHER RELATED SPECIFICATIONS (BACKFILL COMPACTION, MATERIALS, ETC...), REFER TO DIVISION 15 OF THE STANDARD SPECIFICATIONS FOR PAVING AND RELATED CONSTRUCTION.
- NOTIFY THE CITY OF DETROIT ENGINEERING DEPARTMENT 24 HOURS PRIOR TO STARTING CONSTRUCTION.
- ANY OPEN EXCAVATIONS ARE TO BE STEEL PLATED. IF EXCAVATIONS ARE IN THE PAVEMENT, THE PLATES ARE TO BE SPIKED AND RAMPED WITH COLD PATCH. CONTACT THE CITY WITH LOCATION OF THE STEEL PLATE.
- THE CITY OF DETROIT REQUIRES ALL CONCRETE WORK TO BE STAMPED WITH A CONTRACTOR'S IDENTIFICATION STAMP.



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<p><b>STOREY ENGINEERING GROUP, LLC</b> 48264 MANCHESTER MACOMB, MI 48044 (586) 216-1043 www.storeyengineering.com</p>	
<p><b>MPM COMPANIES, LLC</b> 11800 1/2 MILE ROAD MARSHFIELD, MI 48068</p>	<p><b>DETAILS - DETROIT</b> <b>COMMON CITIZEN - DETROIT</b> 12600 E. JEFFERSON AVE., CITY OF DETROIT, WAYNE COUNTY, MICHIGAN DES. TSS DN. TSS SUR. AMP P.M. TSS</p>
<p>ORIGINAL ISSUE DATE: November 8, 2021 PROJ. No. 2017-013.02 SCALE: 1" = 20' DRAWING NUMBER: <b>C-6.3</b></p>	

**LEGAL DESCRIPTION (AS PROVIDED)**

**PARCEL "A"**

(Per Warranty Deed as recorded in Liber 51108, Page 416 of Wayne County Records)

Lots 586 through 591, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

**LEGAL DESCRIPTION "B" (AS PROVIDED)**

**PARCEL "B"**

(PER: QUIT CLAIM DEED AS RECORDED IN LIBER 49563, PAGE 221 WAYNE COUNTY RECORDS)

Lots 592, 593 AND 594, The AM Campau Realty CO. Subdivision No. 1, as recorded in Liber 35, Page 68, of Plats, Wayne County Records.

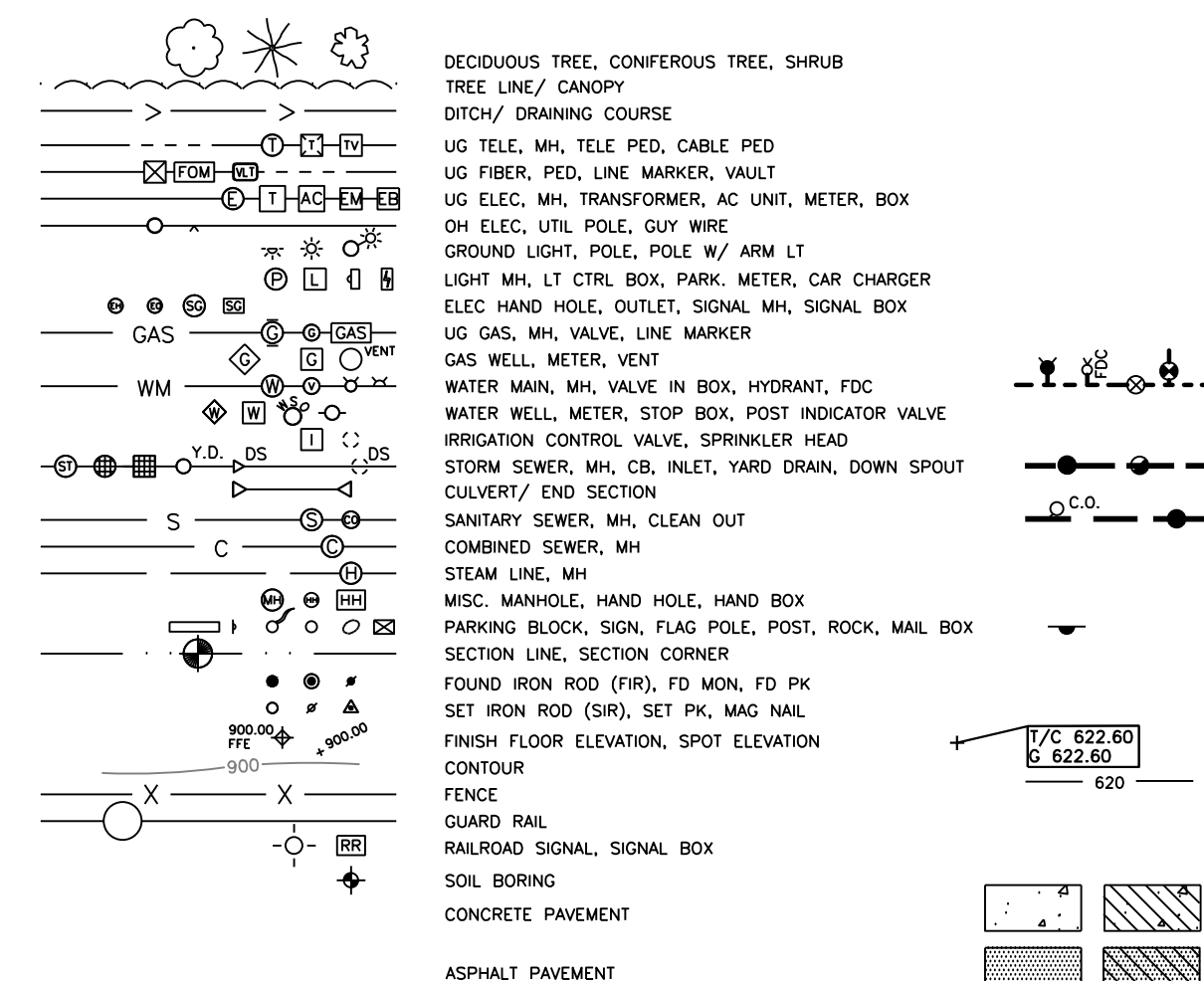
**LEGAL DESCRIPTION "B" (AS PROVIDED)**

**PARCEL "C"**

(PER: TAX DESCRIPTION AS PROVIDED BY WAYNE COUNTY GEOSPATIAL INFORMATION SYSTEM (GIS) MAPPING)

TAX ID: 21046653  
E NAVAHOE 82 A M CAMPANU REALTY CO SUB L32 P87 PLATS, W C R.

**EXISTING LEGEND**



**BENCHMARKS**

DATUM: CITY OF DETROIT

TO ACHIEVE NAVD88 ELEVATIONS ADD 479.27.

CITY BM NO.: 62-255  
ELEV = 94.52

SITE BM D:

"X" SCRIBED IN SQUARE ON TOP CONCRETE LIGHT POLE BASE, 29'± EAST FROM CENTERLINE OF NORTH ENTRANCE TO SITE & 53'± NORTH FROM FRONT BUILDING FACE.  
ELEV = 99.07

SITE BM E:

"X" SCRIBED IN SQUARE ON NW CORNER TRANSFORMER PAD, 39'± SOUTH FROM CENTERLINE OF WEST ENTRANCE TO SITE & 8'± WEST FROM WEST BUILDING FACE.  
ELEV = 97.66

**SEQUENCE OF CONSTRUCTION:**

START DAY	END DAY	DESCRIPTION
FEB 4	JUN 30	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET FILTERS, ETC. AS NECESSARY.
FEB 4	JUN 30	MAINTAIN A 25' BUFFER OF VEGETATION AROUND PERIMETER OF SITE WHERE POSSIBLE.
FEB 6	FEB 12	SAWCUT & REMOVE EXISTING PAVEMENT & OTHER DEMOLITION ITEMS. REMOVE MISCELLANEOUS DEBRIS FROM THE SITE.
FEB 12	FEB 21	INSTALL BIKE RACKS, SIDEWALK RAMP AND SIDEWALK REPLACEMENT ON NORTH SIDE OF BUILDING.
APR 15	APR 28	GRADE PARCEL C PARKING & GREENBELT AREAS, DISPOSE ANY EXCESS MATERIAL OFF-SITE. TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 15 DAYS OR LONGER.
APR 28	MAY 7	INSTALL UTILITIES & PLACE INLET FILTERS AT ALL NEW CATCH BASINS.
APR 28	MAY 7	GRADE PARCEL C SITE TO DRAIN TO STORM SEWER, PREPARE SUBGRADE & PLACE SAND & GRAVEL BASE MATERIAL.
MAY 7	MAY 21	FINISH GRADE AND INSTALL CURB & GUTTER, CONCRETE & WALLS & FENCING & GATES IN ACCORDANCE WITH PROPOSED PAVING AND GRADING PLANS.
MAY 21	MAY 30	INSTALL LANDSCAPING
JUN 1	JUN 15	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
JUN 15	JUN 30	CLEAN PAVEMENT, AND RE-ESTABLISH VEGETATION AS REQUIRED.
JUN 21	JUN 30	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED AND CERTIFICATE OF COMPLETION HAS BEEN ISSUED BY THE CITY OF DETROIT.

**GENERAL SITE CONDITIONS:**

- SOIL TYPE:  
According to the USDA Web Soil Survey, Site Soils are Classified as UrbanB - URBAN LAND - Riverfront Complex, 0 to 4% Slopes, Loamy Sand over Sand + Gravel, Well Drained and ZtsuA - Ziegenfuss - Urban land complex, 0 to 2% Slopes, Loamy Sand over Clay Loam, Poorly Drained.
- The property is currently occupied by a retail building and a parking lot.
- Total Disturbed Area = 0.19 Acres

NOTE:  
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF DETROIT STANDARDS AND SPECIFICATIONS.

NOTE:  
THE ULTIMATE DRAINAGE OUTLET FOR THE SITE IS THE DETROIT RIVER.  
THE NEAREST BODY OF WATER IS A CANAL EXTENDING NORTH FROM THE DETROIT RIVER LOCATED 2,300 FEET SOUTHWEST OF THE SITE.

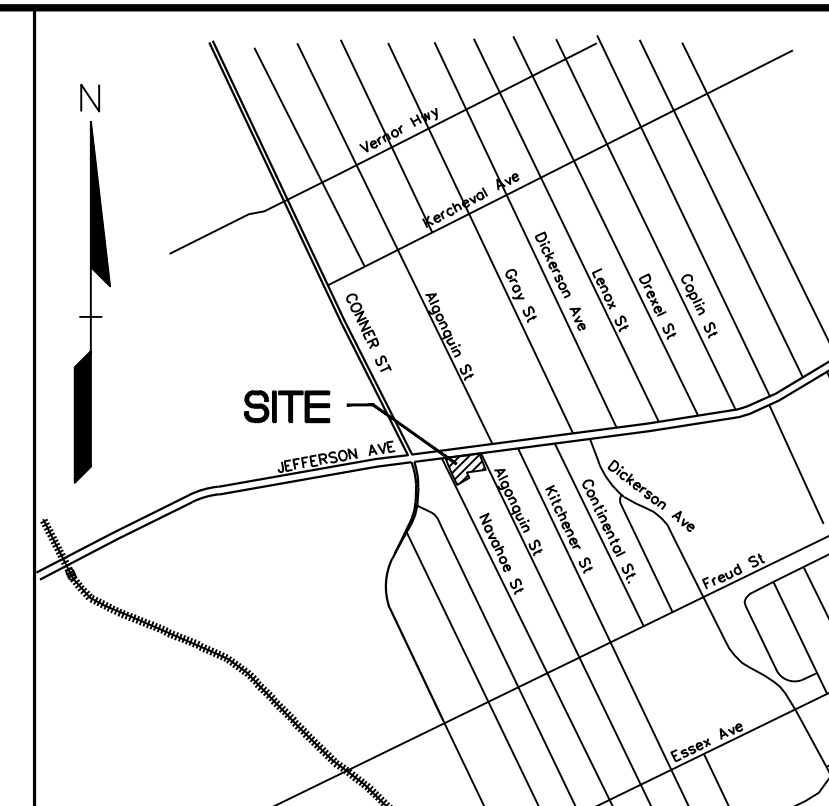
NOTE:  
THIS PLAN OUTLINES THE TEMPORARY SOIL EROSION CONTROL MEASURES TO BE INSTALLED AT THIS SITE. PERMANENT MEASURES INCLUDE PAVEMENT, CURB & GUTTER, STORM CATCH BASINS AND DETENTION/SEDIMENTATION POND.

NOTE:  
THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT STREETS (JEFFERSON, NAVAHOE, ALGONQUIN & PUBLIC ALLEY) FREE OF MUD AND DIRT AT ALL TIMES DURING CONSTRUCTION ACTIVITIES FOR THIS PROJECT. SEE SOIL EROSION MAINTENANCE SCHEDULE ON THIS SHEET FOR REQUIREMENTS.

PERMIT NOTE:  
THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FROM THE CITY OF DETROIT PRIOR TO THE ONSET OF CONSTRUCTION.

NOTE:  
CONTRACTOR TO PROVIDE SOIL EROSION CONTROL INSPECTIONS AS REQUIRED BY THE CITY OF DETROIT.

DE-WATERING NOTE:  
NO DE-WATERING IS ANTICIPATED AS PART OF THIS PROJECT.



NO.	DATE	BY	REVISION
1	1-20-22	TSS	REVISED PER CITY COMMENTS RECEIVED 1-2-22



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(586) 216-1043  
www.storeyengineering.com

DES.	TSS	DN.	TSS	SUR.	AMP	P.M.
M.P.M. COMPANIES, LLC 11300 17 MILE ROAD WARSAW, MI 48090						
<b>SECC PLAN</b>						
COMMON CITIZEN - DETROIT						
12600 E JEFFERSON AVE, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN						

ORIGINAL ISSUE DATE:  
November 8, 2021

PROJ. No. 2017-013.D2

SCALE: 1" = 20'

DRAWING NUMBER:

**C-7.0**

**SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:**

- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS OCCURRED.
- ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROMPT MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.
- ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE REMOVED DAILY BY SCRAPING. STREET SWEEPING IS REQUIRED WEEKLY.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR REBACKFILL THE SITUATION FENCE SHOULD IT FALL OR BE DAMAGED DURING CONSTRUCTION.
- INLET FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED SILT OR OTHER DEBRIS. THE REMOVAL OF SILT SHOULD BE WITH THE USE OF A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTERS CAN NOT BE CLEANED OR ARE DAMAGED, THEN THE FABRIC MUST BE REPLACED.
- A WATER TRUCK SHALL BE AVAILABLE TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.

**STREET CLEANING SCHEDULE**

	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
SCRAPE STREETS		X		X		X	
SWEEP STREETS				X		X	

**SOIL EROSION CONTROL NOTES:**

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE WAYNE COUNTY DEPT OF ENVIRONMENT AND THE CITY OF DETROIT
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKE'S AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND A CERTIFICATE OF COMPLETION HAS BEEN ISSUED BY THE PERMITTING AGENCY.
- STAGING THE WORK SHALL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES SHALL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.

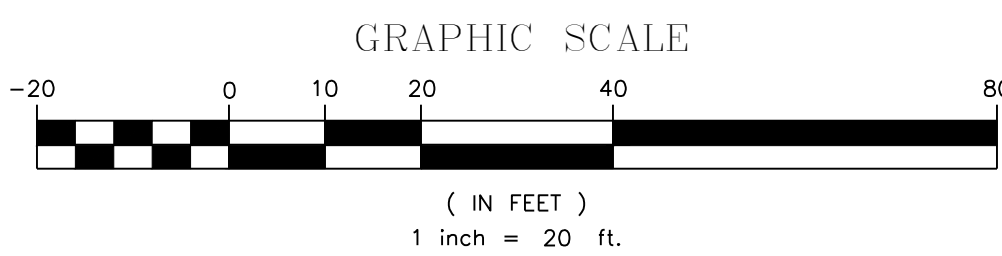
INSTALL 12'x50' TEMPORARY CONSTRUCTION ACCESS ENTRANCE/EXIT. TO CONSIST OF 6" OF 1 1/2" CRUSHED CONCRETE WITH NO FINES OVER ENGINEERING FABRIC. REFER TO SHEET C-6.2 FOR DETAIL.

SUBJECT PARCEL "C"  
NOW OR FORMERLY  
TAX ID: 21046653  
1032 NAVAHOE  
3,659 SF  
0.084 ACRES  
(ZONE: R2)

SILT FENCE, TYP. SEE  
DETAIL ON SHEET C-6.2

**SYMBOLS: STORM, EROSION & GRADING**

- SILT FENCE, TYP. (SEE DETAIL ON SHEET C-6.2)
- LOW POINT INLET FILTER W/SILT SACK (SEE DETAIL ON SHEET C-6.2)
- LIMIT OF DISTURBANCE LINE
- TEMPORARY CONSTRUCTION ACCESS DRIVE. (SEE DETAIL ON SHEET C-6.2)



**EROSION CONTROL QUANTITIES**

FABRIC SILTATION FENCING	157 LF.
INLET FILTER	4 EA.
12' x 50' CONSTRUCTION ENTRANCE	1 EA.

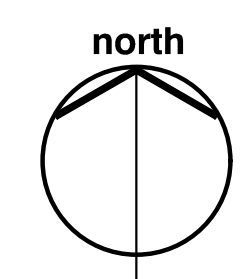
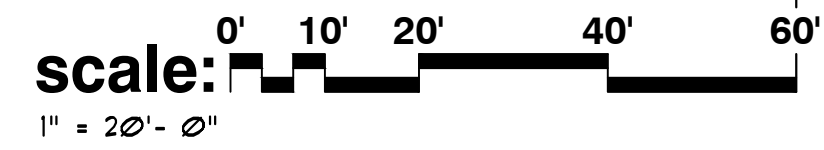
landscape plan for:

# Common Citizen-Detroit

## City of Detroit, Michigan

**note:**

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



**landscape requirements:**

**greenbelt buffer**

	REQUIRED	PROVIDED
TOTAL LN.FT. OF ROAD FRONTAGE	59±	
ONE (1) 3" DECIDUOUS OR EVERGREEN TREE PER 30 LN.FT. (59 LN.FT. / 30 LN.FT. = 1.9 TREES)	2	2
TOTAL LN.FT. OF SCREEN WALL	125.5±	
ONE (1) SHRUB PER 5 LN.FT. (125.5 LN.FT. / 5 LN.FT. = 25 SHRUBS)	25	26

**general landscape notes:**

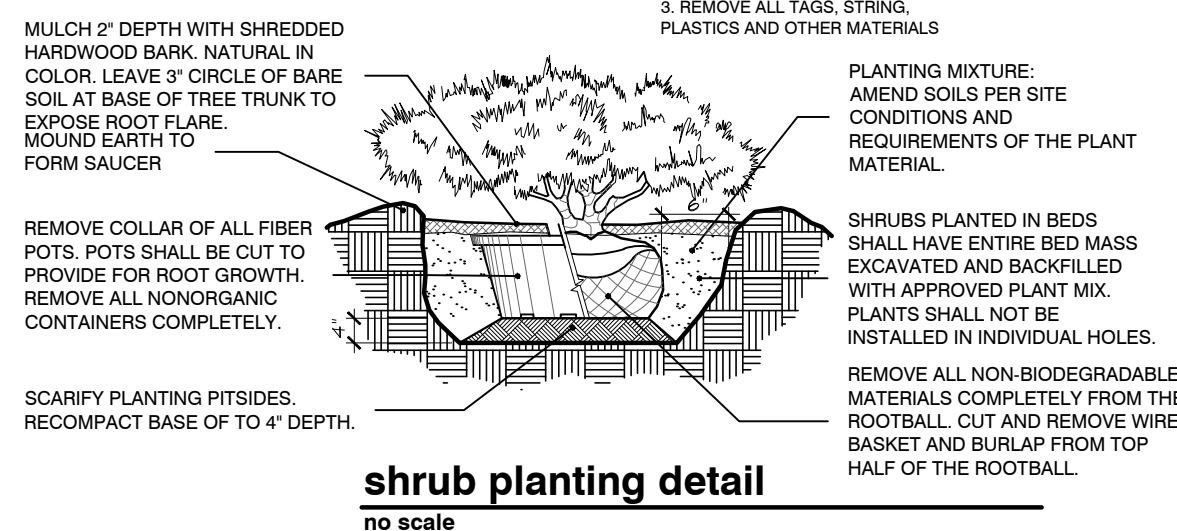
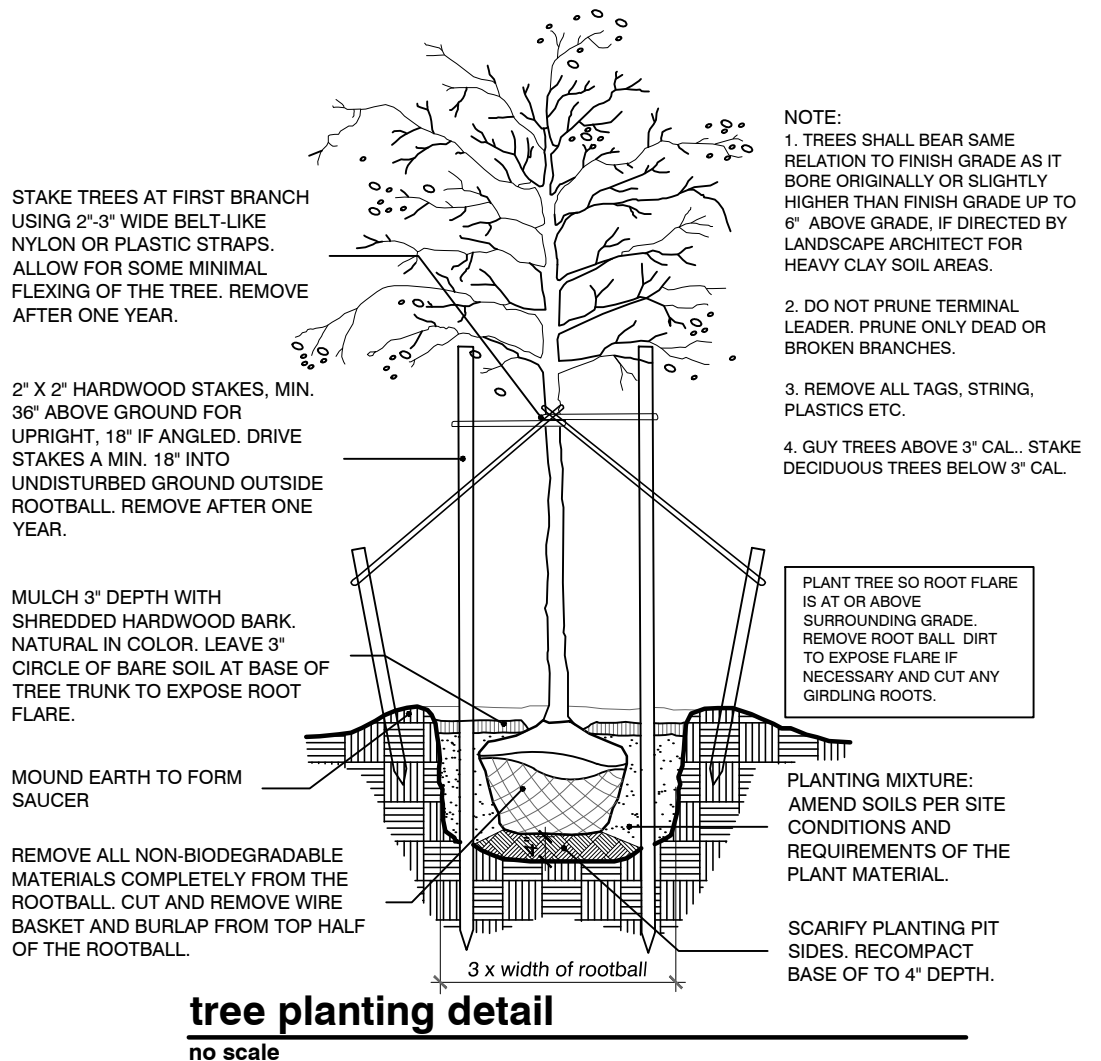
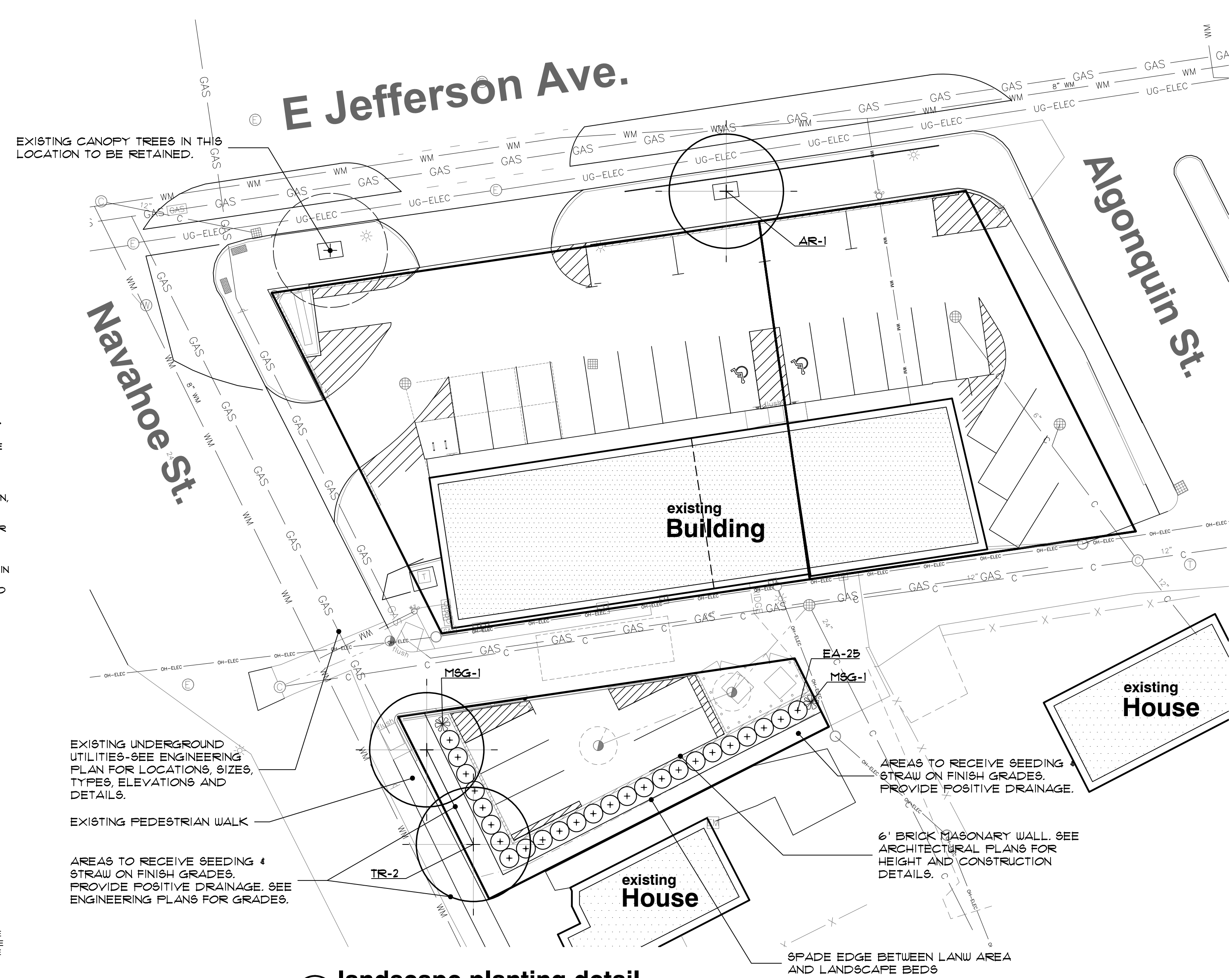
- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF DETROIT AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDBARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4' DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE FEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
  - SHADE TREES 5 FT.
  - ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) 10 FT.
  - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE. APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

**landscape maintenance notes:**

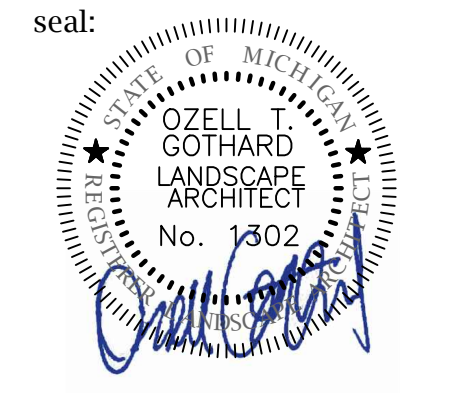
- LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
  - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
  - ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.

**plant material list**

key	quant. L.S.±	botanical name	common name	size	comments
<b>LARGE AND SMALL DECIDUOUS TREES</b>					
TR	2	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" BB	
AR	1	ACER RUBRUM	RED MAPLE	2 1/2" BB	
<b>SHRUBS</b>					
EA	25	EUONYMUS ALATUS COMPACTA	DWARF WINGED BURNING BUSH	2 1/2" BB	60" O.C. SPACING
<b>PERENNIALS AND GRASSES</b>					
M&G	2	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAPANESE SILVER GRASS	3" CONT.	



**1A landscape planting detail**  
SCALE: 1" = 20'-0"



client:  
MPM  
PROPERTIES  
LLC.  
11300 17 Mile  
Road  
Marshall, Michigan

project location:  
City of Detroit ,  
Michigan  
12600 E Jefferson Ave

sheet title:  
**LANDSCAPE PLAN**

job no./issue/revision date:  
LS21.128.11 SPA 11-8-2021

drawn by:  
JP, DK  
checked by:  
FP  
date:  
11-3-2021  
notice:  
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3 WORKING DAYS  
BEFORE YOU DIG  
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1-800-482-7171  
For free location of public utility lines.  
The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:  
LS21.128.11  
sheet no:  
**LS-1**