



CITY OF DETROIT  
DEPARTMENT OF PUBLIC WORKS  
CITY ENGINEERING DIVISION

COLEMAN A. YOUNG MUNICIPAL CENTER  
2 WOODWARD AVE. SUITE 601  
DETROIT, MICHIGAN 48226  
PHONE: (313) 224-3949 TTY: 711  
WWW.DETROITMI.GOV

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To: Clerk's Office  
From: The Department of Public Works  
City Engineering Division  
MapsandRecordsBureau@DetroitMI.Gov  
(313) 224-3970

Petitioner:  
Hubbard Vernor Limited Dividend Housing Association, LLC  
7752 W Vernor Hwy.  
Detroit, MI, 48209

On behalf of the above-mentioned petitioner the Department of Public Works: City Engineering Division is submitting a petition request for the below mentioned action. The petitioner has received a project consultation from the Department of Public Works: City Engineering Division and has been advised the following:

Type of action recommended:

Petition for streetscape encroachments (bike racks, landscaping boxes) along Vernor Hwy, Palms Avenue, and Hubbard Street adjacent to 4000 West Vernor Hwy.

Reviewed by:

Jered Dean  
Manager II  
Department of Public Works  
City Engineering Division  
313-224-3985



Mr. Jared Dean  
City of Detroit – City Engineering Survey Bureau  
2 Woodward Avenue CAYMC  
Detroit, MI 48226

March 19, 2021

RE: La Joya Gardens Project - BLD2020-05067

Dear Mr. Dean,

The following information is a formal encroachment petition for La Joya Gardens Project located at 4000 W Vernor, Detroit MI. The project site is owned partly by IDRE2, LLC, a subsidiary of Invest Detroit with the remainder owned by the City of Detroit. I represent the project and am the applicant related to this right of way encroachment. Once all parcels are transferred, ownership will reside with Hubbard Vernor Limited Dividend Housing Association, LLC.

Our site plan has bike racks and street level tree pits as part of the improvements along the Vernor frontage. The bike racks have been shown along the curb since the inception of the project. We are providing 30 bike racks for residents within the building, but the racks along the street are provided for visitors to come and secure their bikes during public events. Locating the bike racks in the plazas reduces the usable area for events, which we intend to keep as open and flexible as possible. Locating them along the street next to the trees and planters also establishes a street edge while delineating the sidewalk from the street. Hopefully, this increases public awareness of the bike racks as a convenient transportation option, while also keeping the plazas free for events and outdoor seating for the retail tenants.

I can be reach at [epotas@cinnaire.com](mailto:epotas@cinnaire.com) or 313.515.6224 as needed.

Sincerely,

Ed Potas  
Manager, Real Estate Development

**Lansing | Corporate Headquarters**  
1118 South Washington Avenue  
Lansing, Michigan 48910  
517 482 8555

**Detroit**  
2111 Woodward Avenue, Suite 600  
Detroit, Michigan 48201  
313 841 3751

**Grand Rapids**  
100 Grandville Avenue SW, Suite 202  
Grand Rapids, Michigan 49503  
616 272 7880

**Chicago**  
225 West Washington Street, Suite 1350  
Chicago, Illinois 60606  
312 957 7283

**Indianapolis**  
320 North Meridian, Suite 516  
Indianapolis, Indiana 46204  
317 423 8880

**Madison**  
10 East Doty Street, Suite 445  
Madison, Wisconsin 53703  
608 234 5291

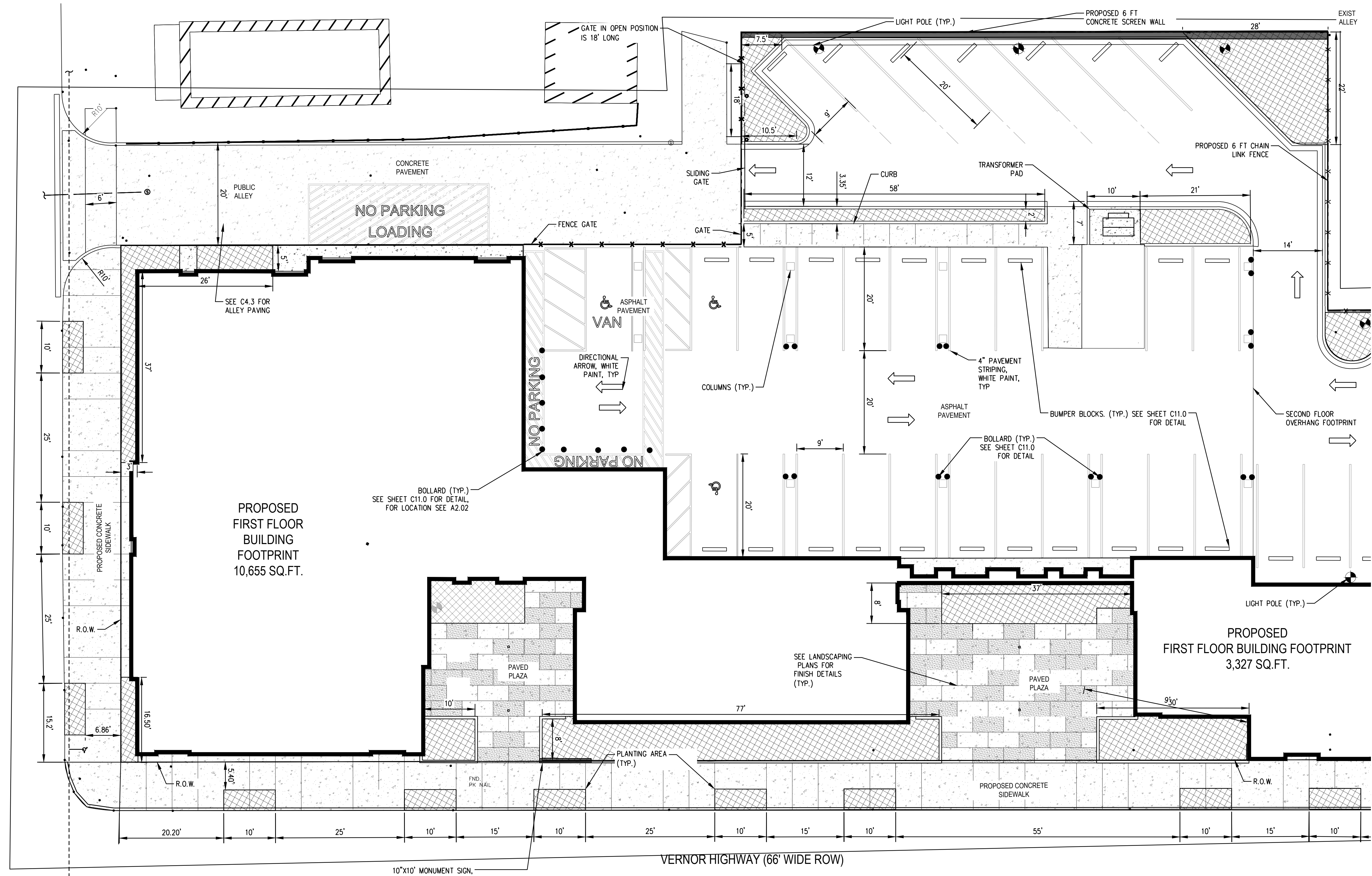
**Wilmington**  
100 West 10th Street, Suite 502  
Wilmington, Delaware 19801  
302 655 1420

March 9th, 2021

The tree grates and bike racks will require an approved encroachment. In order to petition for an encroachment, the city of Detroit will require:

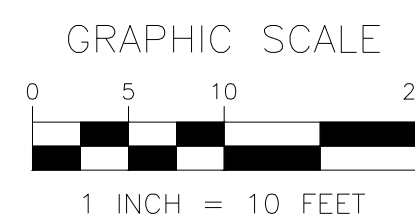
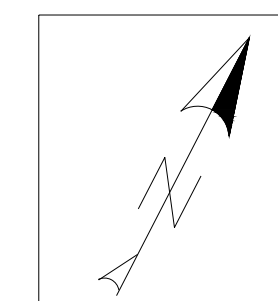
- 1. Site plan specific to the public space, which will highlight the dimensions of the grates and how far they are from the property line.**
  - Dimensions of the tree pits are on C4.1 and C4.2. Note that these are not tree *grates*. They are landscaped planting beds. The planting plan on L-800 indicates the planting schedule and locations.
- 2. Details about the design of the bike racks.**
  - Bike racks are located on L-110 Layout Plan, and a section detail is provided on 3/L-700.
  - The bike rack is specified as The VROOM Bicycle rack from the same manufacturer as the outdoor furnishings. Here is a link to the product: <https://vestre.com/us/products/cycle-parking/vroom-bicycle-rack>. It is a stainless steel “U” cast into the concrete.
- 3. The sidewalks there are approx. 9 ft. wide and a bike rack will require at least 6 ft. of space.**
  - The bike racks are oriented parallel to the sidewalk between the street tree beds, which encourages cyclists to lock their bikes up parallel to the street.
- 4. The bike racks will need to be positioned in a way to allow a minimum of 6 ft. of clearance for pedestrians on the sidewalk.**
  - Due to the parallel orientation of the bike racks, locked bikes will not encroach into the clear space for pedestrian circulation between the street tree beds and the building.
- 5. They will also need measurements telling them where the bike racks will be located relative to the property line.**
  - Per note above, bike racks are located on L-110.
- 6. According with last comments received on March 03,2021.**
  - See new sheets modified, L-110 includes all requested dimensions
  - L-105 indicates the boundary between public improvements and our property line.
  - Sheets C4.1 and C4.2 were modified with measurements originating from the property line.

PALMS STREET (50' WIDE ROW)



**NOTE:**

1. SEE ARCHITECTURAL SIGNAGE SHEET A9.53 FOR DETAILS FOR MONUMENT SIGN
2. SEE LANDSCAPING PLAN FOR FINISH DETAILS OF PLAZA AREAS.



**TOTAL PARKING SPACES FOR SITE:**

PARKING = 37 SPACES  
 ADA PARKING = 2 SPACES  
 TOTAL PARKING = 39 SPACES

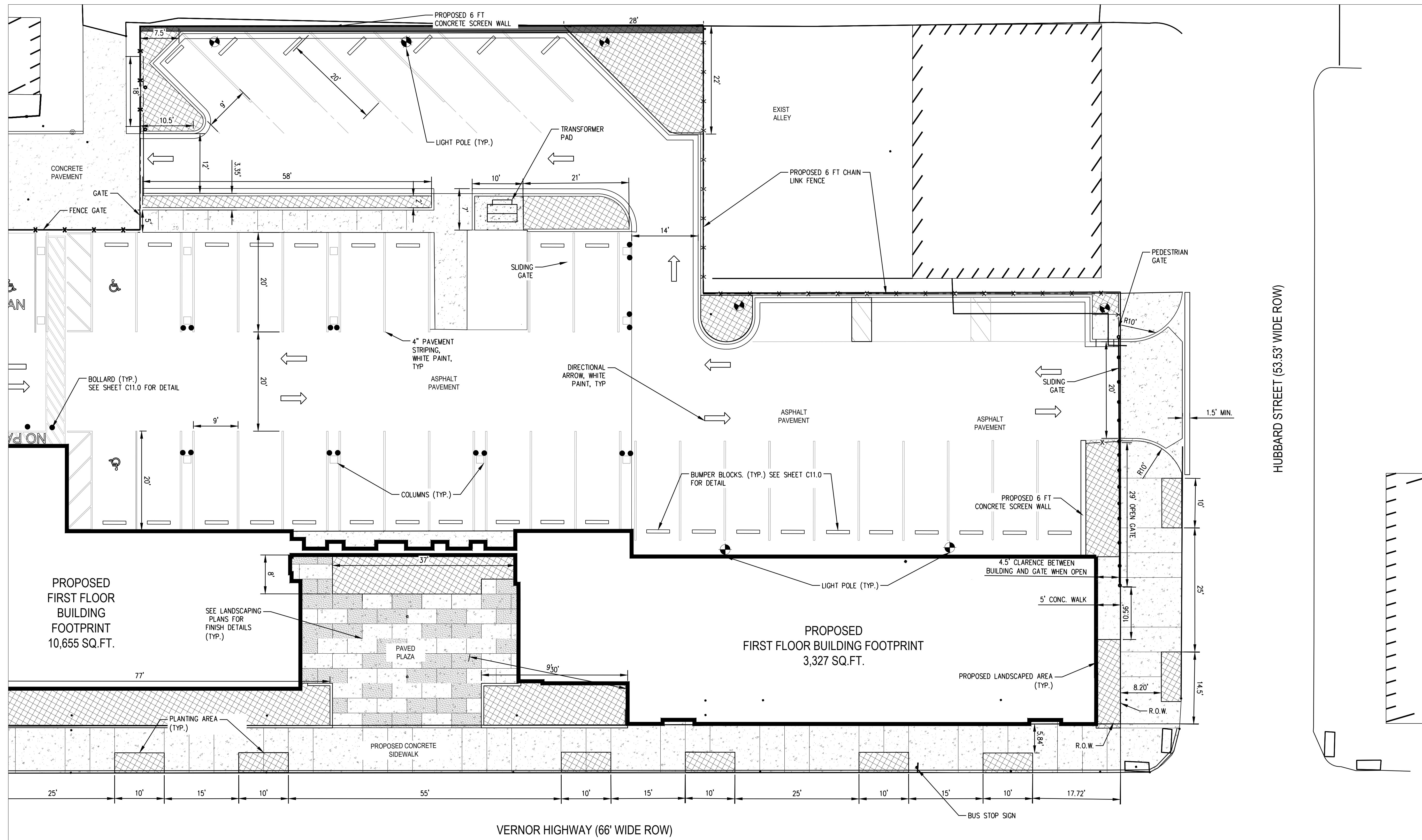
ALTERNATIVE  
 ENGINEERING DESIGN

**SITE PLAN LEGEND**

- PROPOSED BUILDING OUTLINE
- MINIMUM SETBACK FROM PROPERTY LINE
- PROPERTY LINE
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED PAVED PLAZA
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK/PAVEMENT
- PROPOSED LANDSCAPED AREAS
- MATCH LINE

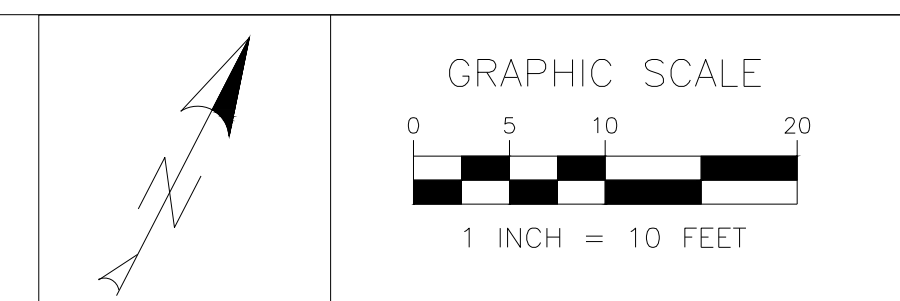
DESCRIPTION	CITY PERMIT
BY	KCC
DATE	10-19-2020
NO.	1
65 CADILLAC SQUARE	DETROIT, MI 48226
TELEPHONE	313.961.9500
FAX	313.961.9509
PROJECT DATE	5/12/2020
PROJECT NO.	C6030001
DRAWN BY	KHW
CHECKED BY	DAR
TECHNICAL SKILL:	CREATIVE SPIRIT:
<b>Mannik Smith GROUP</b> www.MannikSmithGroup.com	
PREPARED FOR:	CINNAIRE SOLUTIONS
LA JOYA GARDENS	4000 WEST VERNOR, DETROIT, MI
SITE PLAN WEST	
C4.1	





**NOTE:**

1. SEE ARCHITECTURAL SIGNAGE SHEET A9.53 FOR DETAILS FOR MONUMENT SIGN.
2. SEE LANDSCAPING PLANS FOR FINISH DETAILS OF PLAZA AREAS.



**PARKING SPACES:**

PARKING = 37 SPACES  
 ADA PARKING = 2 SPACES  
 TOTAL PARKING = 39 SPACES

ALTERNATIVE  
 ENGINEERING DESIGN

**SITE PLAN LEGEND**

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- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK/PAVEMENT
- PROPOSED LANDSCAPED AREAS
- MATCH LINE

PREPARED FOR:  <b>CINNAIRE SOLUTIONS</b>  LA JOYA GARDENS  4000 WEST VERNOR, DETROIT, MI	DESCRIPTION CITY PERMIT MSHDA SUBMITTAL MSHDA AND CITY PERMIT REVISIONS MSHDA REVISIONS IPC
	BY KCC KCC MBM KCC MBM
	DATE 10/19/2020 12/01/2020 01/28/2021 02/05/2021 02/17/2021
	NO. 1 2 3 4 5
	PROJECT NO.: C6030001 DRAWN BY: KHW CHECKED BY: DAR
65 CADILLAC SQUARE DETROIT, MI 48226 TEL: 313.961.9500 FAX: 313.961.9509 PROJECT DATE: 5/12/2020	TECHNICAL SKILL: CREATIVE SPIRIT:  www.MannikSmithGroup.com
SITE PLAN EAST  C4.2	











# LA JOYA GARDENS

LOCATION:  
DETROIT, MI  
MSHDA DEVELOPMENT #39934  
OWNER:  
**CINNAIRE**  
2111 WOODWARD AVENUE, SUITE 600  
DETROIT, MI 48201

# SITIO

architecture + urbanism  
2001 MARKET ST, SUITE 2500  
PHILADELPHIA, PA 19103  
215.268.3820

ASSOCIATED ARCHITECT  
**511 DESIGN**  
511 BURROUGHS STREET, SUITE 122  
DETROIT MI  
(313) 405-9035

STRUCTURAL ENGINEERING  
**O'DONNELL & NACCARATO, INC.**  
1 WEST BROAD STREET, SUITE 1006  
BETHLEHEM, PA 18018  
(610) 807-9833

MECHANICAL, ELECTRICAL, PLUMBING & FIRE  
**ALDERSON ENGINEERING, INC.**  
407 LAKESIDE DRIVE  
SOUTHAMPTON, PA 18966  
(215) 384-5635

LANDSCAPE  
**STUDIO | BRYAN HANES**  
340 N 12TH ST  
PHILADELPHIA, PA 19107  
(215) 923-2858

ACOUSTICS  
**METROPOLITAN ACOUSTICS**  
1628 JFK BLVD, SUITE 1902  
PHILADELPHIA, PA 19103  
(215) 248-4352

CIVIL ENGINEERING  
**MANNIK SMITH GROUP**  
65 CADILLAC SQUARE, SUITE 3311  
DETROIT, MI 48226  
(313) 961-9500

SPONSOR:

NAME: \_\_\_\_\_

ARCHITECT:

NAME: \_\_\_\_\_

SURETY:

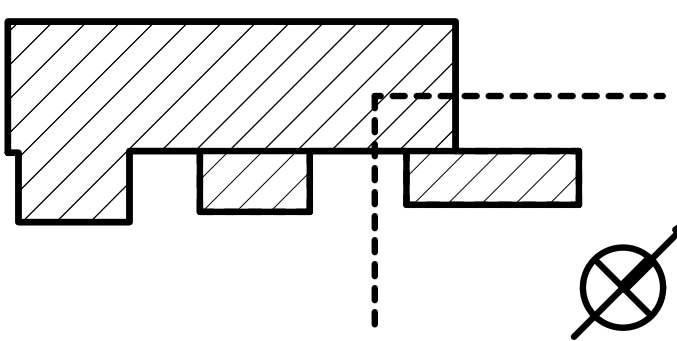
NAME: \_\_\_\_\_

MSHDA:

NAME: \_\_\_\_\_

18-006

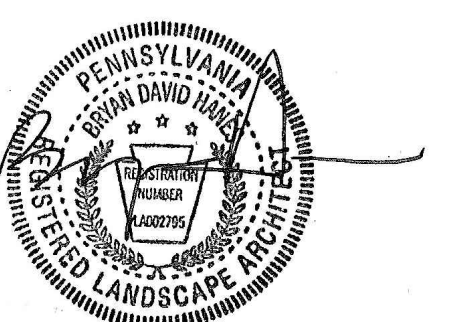
KEYPLAN



PROJECT ISSUE DATE

REV #	DATE	DESCRIPTION
	10.19.2020	PERMIT SUBMISSION
	12.01.2020	MSHDA CD SUBMISSION
	02.17.2021	ISSUE FOR CONSTRUCTION

SEALS



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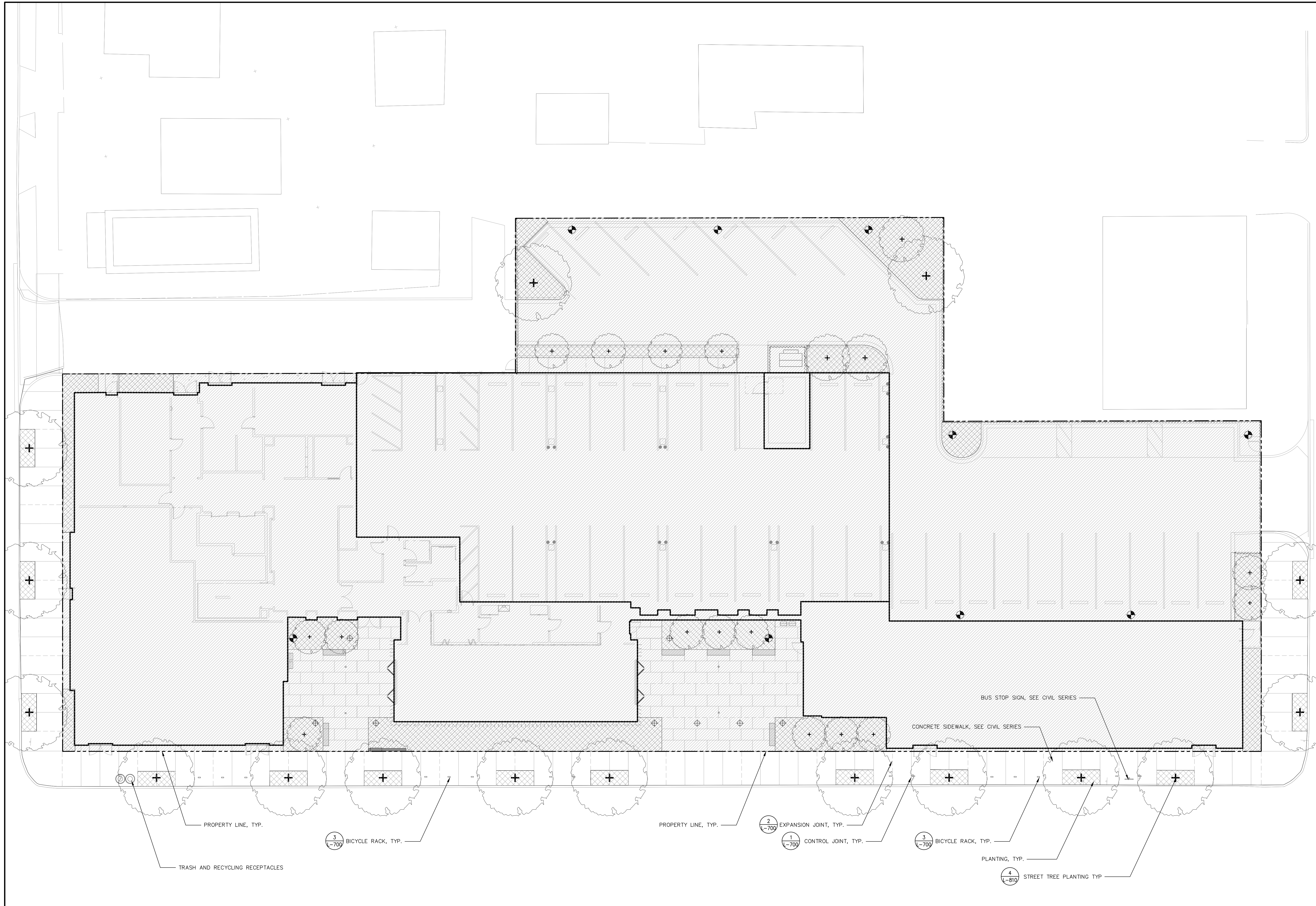
PERMIT SUBMISSION

Date: 10/19/2020

Scale: 1"=10'

**PUBLIC SPACE SITE PLAN**

**L-105**



**MATERIAL LEGEND**

	CONCRETE PAVEMENT SAND BLAST FINISH		BOLLARD LIGHT
	CONCRETE PAVEMENT BROOM FINISH		POLE LIGHT
	PLANTING		FIXED SEATING
	CONTROL JOINT		BICYCLE RACKS
	EXPANSION JOINT		TRASH AND RECYCLE RECEPTACLES
	DECORATIVE FENCE		TREE INSTALLATION

- GENERAL NOTES - LAYOUT**
- EXISTING BOUNDARY LINE, TOPOGRAPHIC AND SITE UTILITY INFORMATION IS BASED UPON SURVEY PLANS PREPARED FOR THE OWNER. ACTUAL CONDITIONS MAY HAVE CHANGED SINCE SURVEY WAS PERFORMED. CONTRACTOR SHALL REVIEW THE SITE AND SURVEY PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES AFFECTING THE WORK.
  - VERIFY EXISTING CONDITIONS OF UTILITIES AS SHOWN ON DRAWINGS AND REPORT ANY DISCREPANCIES ENCOUNTERED TO THE LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING.
  - ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ESTABLISH PERMANENT BENCHMARKS FOR VERTICAL CONTROL AND MAINTAIN ALL ESTABLISHED BENCHMARKS AND BOUNDS AND REPLACE ANY WHICH ARE DESTROYED OR DISTURBED.
  - ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
  - PROVIDE A STAKED LAYOUT ON SITE FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
  - ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
  - V.I.F. = VERIFY IN FIELD. VERIFY DIMENSIONS FROM FIELD MEASUREMENTS AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT.



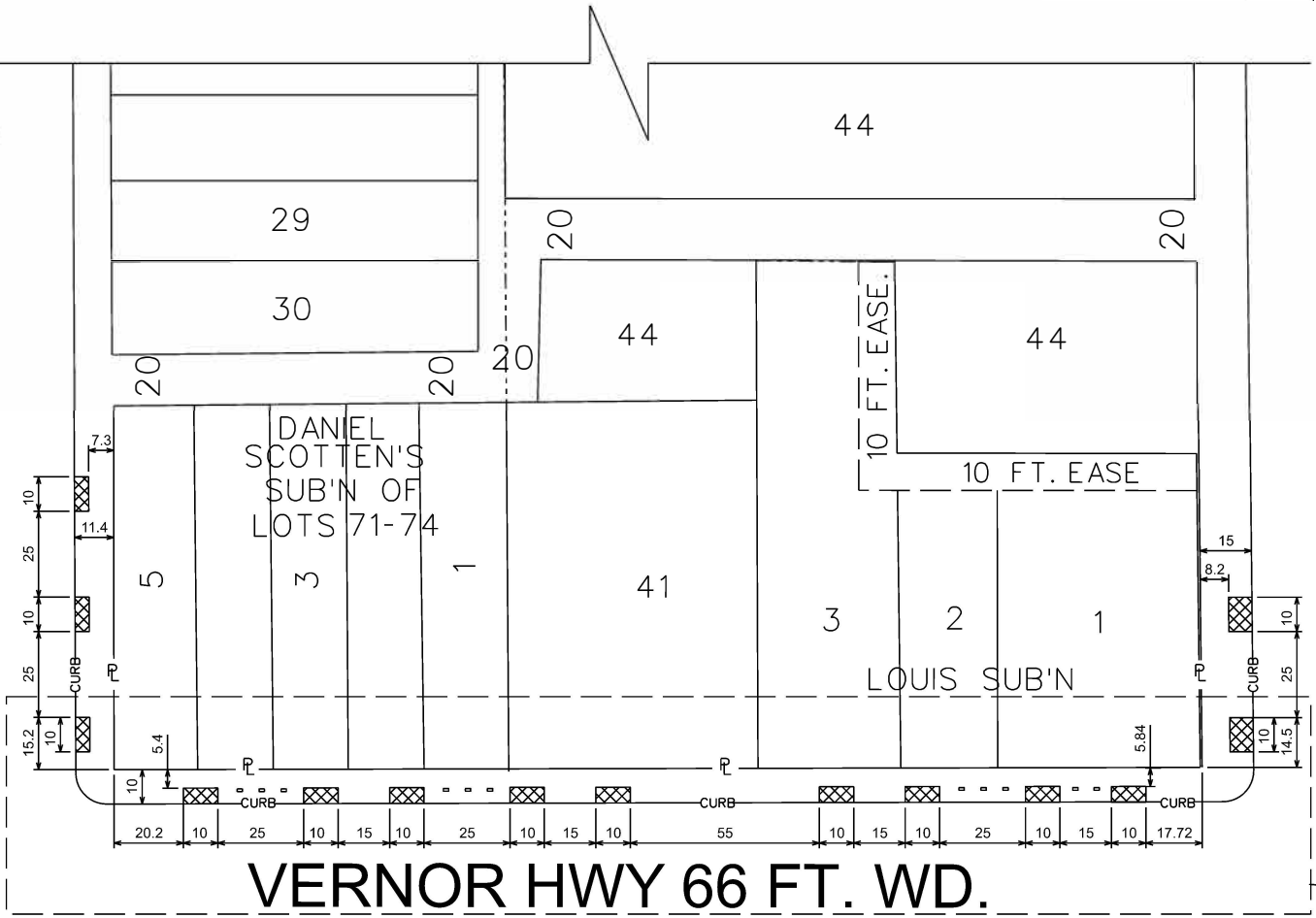




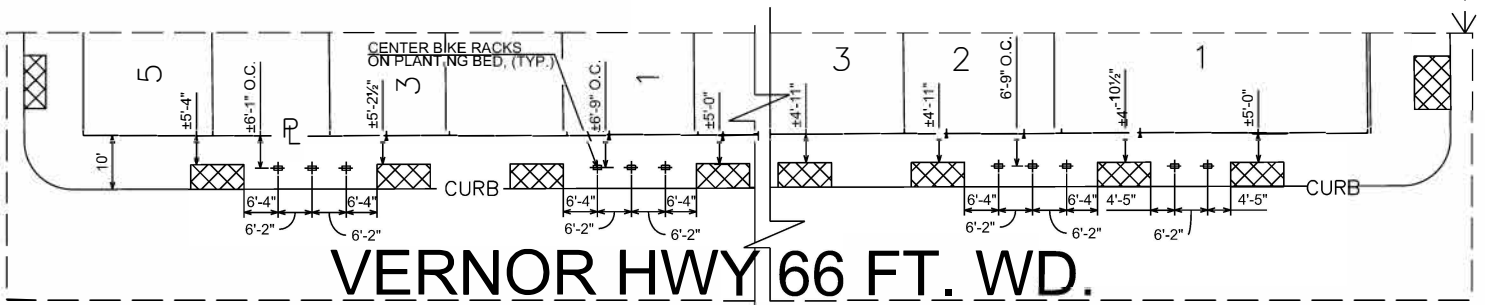


PALMS AVE. 50 FT. WD.

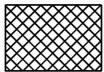
HUBBARD ST. 56 FT. WD.



VERNOR HWY 66 FT. WD.



VERNOR HWY 66 FT. WD.



- REQUEST ENCROACHMENT

With :

- LANDSCAPING BEDS ALONG W VERNOR, PALMS, AND HUBBARD
- BIKE RACKS ON W VERNOR.

(FOR OFFICE USE ONLY)

CARTO 19 D

B					
A					
DESCRIPTION		DRWN	CHKD	APPD	DATE
REVISIONS					
DRAWN BY SA		CHECKED		JD	
DATE 03-30-21		APPROVED			

REQUEST ENCROACHMENT  
 INTO W. VERNOR HWY,  
 PALMS AVE. AND HUBBARD ST.  
 AT 4000 W Vernor

CITY OF DETROIT  
 CITY ENGINEERING DIVISION  
 SURVEY BUREAU

JOB NO. 01-01

DRWG. NO.