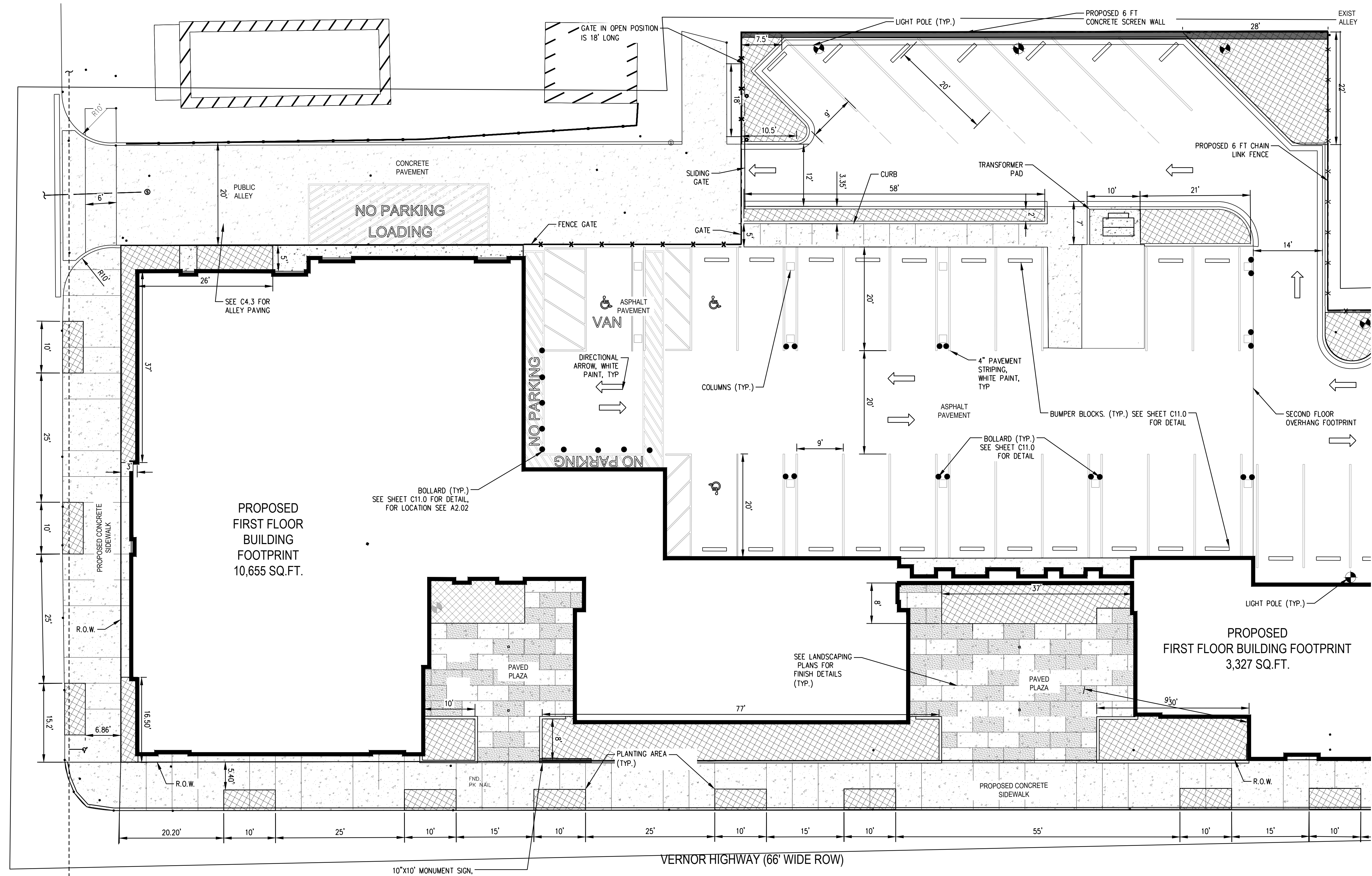


March 9th, 2021

The tree grates and bike racks will require an approved encroachment. In order to petition for an encroachment, the city of Detroit will require:

- 1. Site plan specific to the public space, which will highlight the dimensions of the grates and how far they are from the property line.**
  - Dimensions of the tree pits are on C4.1 and C4.2. Note that these are not tree *grates*. They are landscaped planting beds. The planting plan on L-800 indicates the planting schedule and locations.
- 2. Details about the design of the bike racks.**
  - Bike racks are located on L-110 Layout Plan, and a section detail is provided on 3/L-700.
  - The bike rack is specified as The VROOM Bicycle rack from the same manufacturer as the outdoor furnishings. Here is a link to the product: <https://vestre.com/us/products/cycle-parking/vroom-bicycle-rack>. It is a stainless steel “U” cast into the concrete.
- 3. The sidewalks there are approx. 9 ft. wide and a bike rack will require at least 6 ft. of space.**
  - The bike racks are oriented parallel to the sidewalk between the street tree beds, which encourages cyclists to lock their bikes up parallel to the street.
- 4. The bike racks will need to be positioned in a way to allow a minimum of 6 ft. of clearance for pedestrians on the sidewalk.**
  - Due to the parallel orientation of the bike racks, locked bikes will not encroach into the clear space for pedestrian circulation between the street tree beds and the building.
- 5. They will also need measurements telling them where the bike racks will be located relative to the property line.**
  - Per note above, bike racks are located on L-110.
- 6. According with last comments received on March 03,2021.**
  - See new sheets modified, L-110 includes all requested dimensions
  - L-105 indicates the boundary between public improvements and our property line.
  - Sheets C4.1 and C4.2 were modified with measurements originating from the property line.

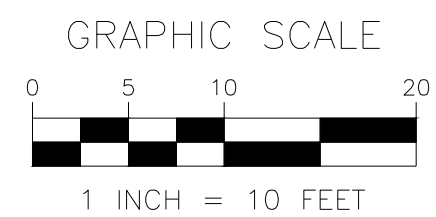
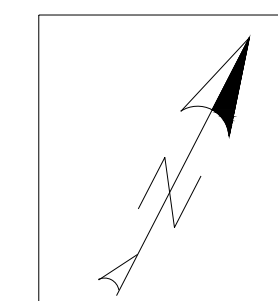
PALMS STREET (50' WIDE ROW)



**NOTE:**

1. SEE ARCHITECTURAL SIGNAGE SHEET A9.53 FOR DETAILS FOR MONUMENT SIGN
2. SEE LANDSCAPING PLAN FOR FINISH DETAILS OF PLAZA AREAS.

10'x10' MONUMENT SIGN, PLEASE SEE LANDSCAPE DETAIL A9.53



**TOTAL PARKING SPACES FOR SITE:**

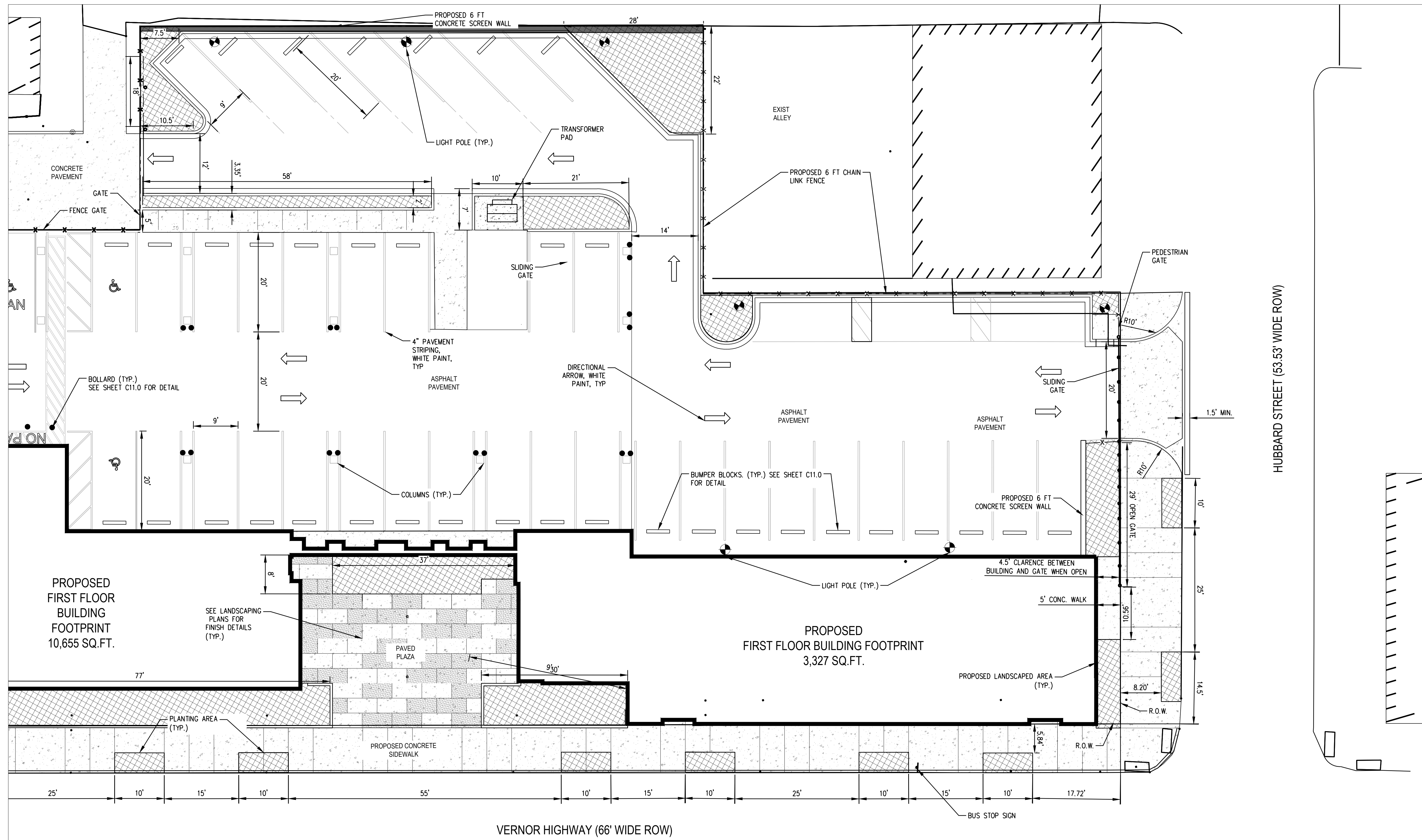
PARKING = 37 SPACES  
ADA PARKING = 2 SPACES  
TOTAL PARKING = 39 SPACES

ALTERNATIVE  
ENGINEERING DESIGN

**SITE PLAN LEGEND**

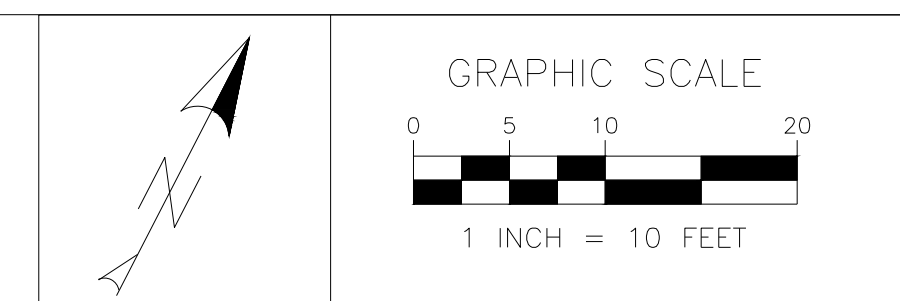
- PROPOSED BUILDING OUTLINE
- MINIMUM SETBACK FROM PROPERTY LINE
- PROPERTY LINE
- PROPOSED CONCRETE CURB & CUTTER
- PROPOSED PAVED PLAZA
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK/PAVEMENT
- PROPOSED LANDSCAPED AREAS
- MATCH LINE

DESCRIPTION	CITY PERMIT
BY	KCC
DATE	10-19-2020
NO.	1
65 CADILLAC SQUARE	DETROIT, MI 48226
TELEPHONE	313.961.9500
FAX	313.961.9509
PROJECT DATE	5/12/2020
PROJECT NO.	C6030001
DRAWN BY	KHW
CHECKED BY	DAR
TECHNICAL SKILL:	CREATIVE SPIRIT:
<b>Mannik Smith GROUP</b> www.MannikSmithGroup.com	
PREPARED FOR:	CINNAIRE SOLUTIONS
LA JOYA GARDENS	4000 WEST VERNOR, DETROIT, MI
<b>SITE PLAN WEST</b>	
C4.1	



**NOTE:**

1. SEE ARCHITECTURAL SIGNAGE SHEET A9.53 FOR DETAILS FOR MONUMENT SIGN.
2. SEE LANDSCAPING PLANS FOR FINISH DETAILS OF PLAZA AREAS.



**PARKING SPACES:**

PARKING = 37 SPACES  
 ADA PARKING = 2 SPACES  
 TOTAL PARKING = 39 SPACES

ALTERNATIVE  
 ENGINEERING DESIGN

**SITE PLAN LEGEND**

- PROPOSED BUILDING OUTLINE
- MINIMUM SETBACK FROM PROPERTY LINE
- PROPERTY LINE
- PROPOSED CONCRETE CURB & CUTTER
- PROPOSED PAVED PLAZA
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK/PAVEMENT
- PROPOSED LANDSCAPED AREAS
- MATCH LINE

65 CADILLAC SQUARE DETROIT, MI 48226 TEL: 313.961.9500 FAX: 313.961.9509	NO. 1	DATE 10-19-2020	BY KCC	DESCRIPTION CITY PERMIT
	NO. 2	DATE 12/01/2020	BY KCC	DESCRIPTION MSHDA SUBMITTAL
	NO. 3	DATE 01/28/2021	BY MBM	DESCRIPTION MSHDA AND CITY PERMIT REVISIONS
	NO. 4	DATE 02/05/2021	BY KCC	DESCRIPTION MSHDA REVISIONS
	NO. 5	DATE 02/17/2021	BY MBM	DESCRIPTION IPC
PROJECT NO. C6030001	PROJECT DATE: 5/12/2020	PROJECT NO. C6030001	DRAWN BY: KHW	DAR
		CHECKED BY:		
<b>TECHNICAL SKILL:</b> <b>CREATIVE SPIRIT:</b>  www.MannikSmithGroup.com				
PREPARED FOR: CINNAIRE SOLUTIONS				
LA JOYA GARDENS 4000 WEST VERNOR, DETROIT, MI				
SITE PLAN EAST				
C4.2				











# LA JOYA GARDENS

LOCATION:  
DETROIT, MI  
MSHDA DEVELOPMENT #3934  
OWNER:  
**CINNAIRE**  
2111 WOODWARD AVENUE, SUITE 600  
DETROIT, MI 48201

# SITIO

architecture + urbanism  
2001 MARKET ST, SUITE 2500  
PHILADELPHIA, PA 19103  
215.268.3820

ASSOCIATED ARCHITECT  
**511 DESIGN**  
511 BURROUGHS STREET, SUITE 122  
DETROIT MI  
(313) 405-9035

STRUCTURAL ENGINEERING  
**O'DONNELL & NACCARATO, INC.**  
1 WEST BROAD STREET, SUITE 1006  
BETHLEHEM, PA 18018  
(610) 807-9833

MECHANICAL, ELECTRICAL, PLUMBING & FIRE  
**ALDERSON ENGINEERING, INC.**  
407 LAKESIDE DRIVE  
SOUTHAMPTON, PA 18966  
(215) 384-5635

LANDSCAPE  
**STUDIO | BRYAN HANES**  
340 N 12TH ST  
PHILADELPHIA, PA 19107  
(215) 923-2858

ACOUSTICS  
**METROPOLITAN ACOUSTICS**  
1628 JFK BLVD, SUITE 1902  
PHILADELPHIA, PA 19103  
(215) 248-4352

CIVIL ENGINEERING  
**MANNIK SMITH GROUP**  
65 CADILLAC SQUARE, SUITE 3311  
DETROIT, MI 48226  
(313) 961-9500

SPONSOR:

NAME: \_\_\_\_\_

ARCHITECT:

NAME: \_\_\_\_\_

SURETY:

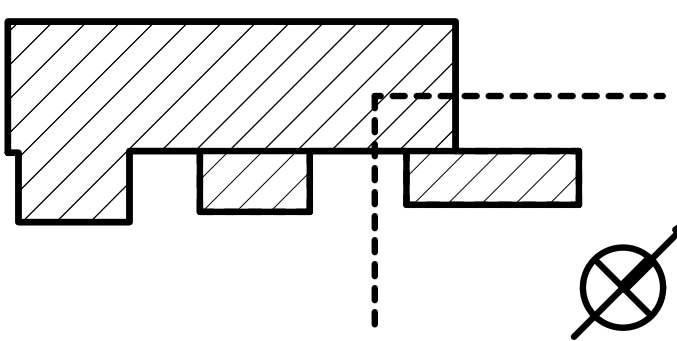
NAME: \_\_\_\_\_

MSHDA:

NAME: \_\_\_\_\_

18-006

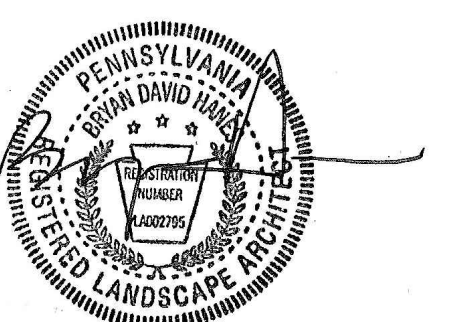
KEYPLAN



PROJECT ISSUE DATE

REV #	DATE	DESCRIPTION
	10.19.2020	PERMIT SUBMISSION
	12.01.2020	MSHDA CD SUBMISSION
	02.17.2021	ISSUE FOR CONSTRUCTION

SEALS



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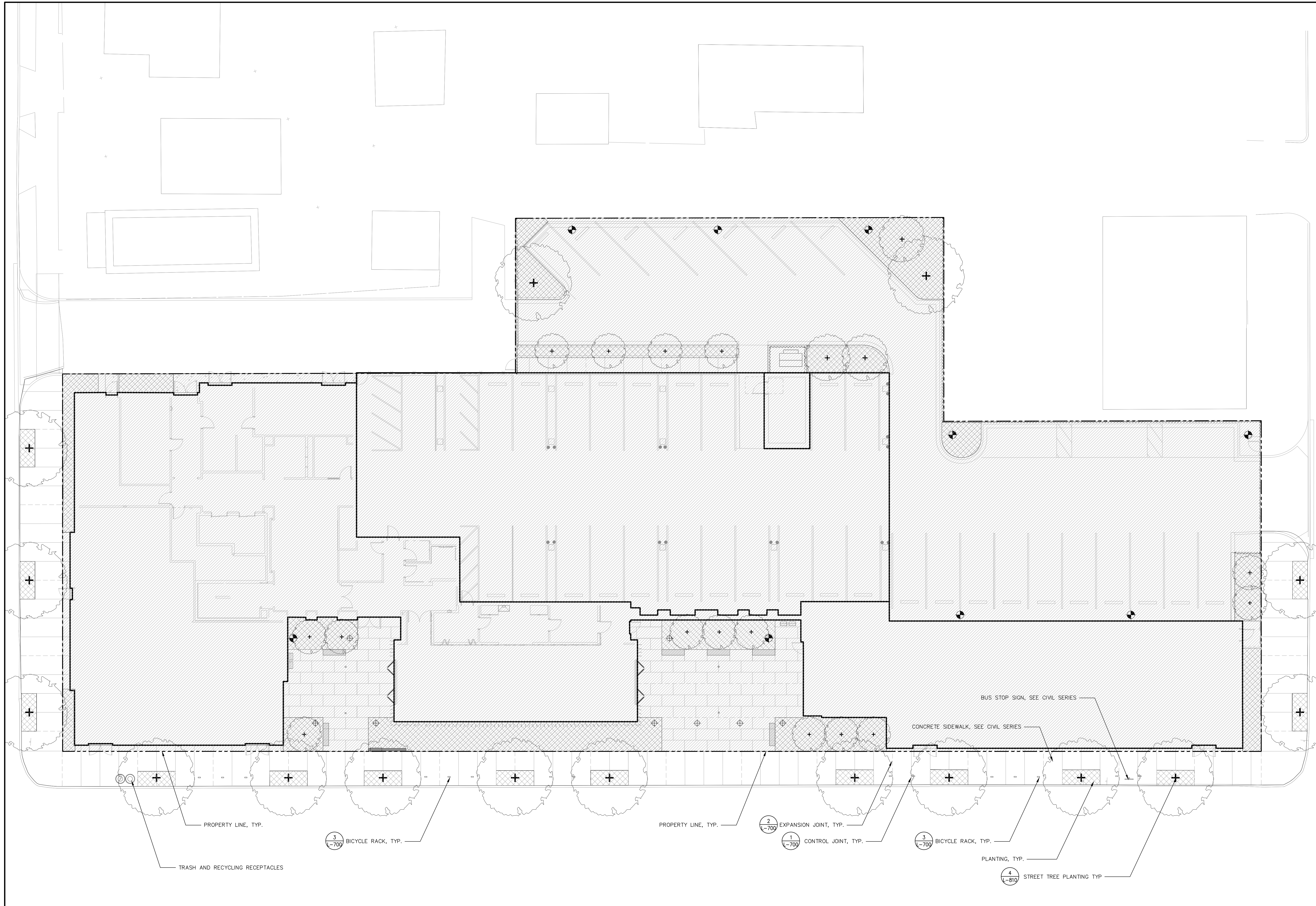
PERMIT SUBMISSION

Date: 10/19/2020

Scale: 1"=10'

**PUBLIC SPACE SITE PLAN**

**L-105**



**MATERIAL LEGEND**

	CONCRETE PAVEMENT SAND BLAST FINISH		BOLLARD LIGHT
	CONCRETE PAVEMENT BROOM FINISH		POLE LIGHT
	PLANTING		FIXED SEATING
	CONTROL JOINT		BICYCLE RACKS
	EXPANSION JOINT		TRASH AND RECYCLE RECEPTACLES
	DECORATIVE FENCE		TREE INSTALLATION

- GENERAL NOTES - LAYOUT**
- EXISTING BOUNDARY LINE, TOPOGRAPHIC AND SITE UTILITY INFORMATION IS BASED UPON SURVEY PLANS PREPARED FOR THE OWNER. ACTUAL CONDITIONS MAY HAVE CHANGED SINCE SURVEY WAS PERFORMED. CONTRACTOR SHALL REVIEW THE SITE AND SURVEY PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF DISCREPANCIES AFFECTING THE WORK.
  - VERIFY EXISTING CONDITIONS OF UTILITIES AS SHOWN ON DRAWINGS AND REPORT ANY DISCREPANCIES ENCOUNTERED TO THE LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING.
  - ALL LINES AND GRADE WORK NOT PRESENTLY ESTABLISHED AT THE SITE SHALL BE LAID OUT BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL CIVIL ENGINEER EMPLOYED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ESTABLISH PERMANENT BENCHMARKS FOR VERTICAL CONTROL AND MAINTAIN ALL ESTABLISHED BENCHMARKS AND BOUNDS AND REPLACE ANY WHICH ARE DESTROYED OR DISTURBED.
  - ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS SHOWN OTHERWISE.
  - PROVIDE A STAKED LAYOUT ON SITE FOR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO COMMENCING WORK.
  - ALL DIMENSIONS SHOWN ARE TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
  - V.I.F. = VERIFY IN FIELD. VERIFY DIMENSIONS FROM FIELD MEASUREMENTS AND PROVIDE WRITTEN VERIFICATION TO THE LANDSCAPE ARCHITECT.



