

City of Detroit

OFFICE OF THE CITY CLERK

Janice M. Winfrey
City Clerk

Caven West
Deputy City Clerk/Chief of Staff

DEPARTMENTAL REFERENCE COMMUNICATION

Wednesday, March 27, 2019

To: *The Department or Commission Listed Below*

From: *Janice M. Winfrey, Detroit City Clerk*

The following petition is herewith referred to you for report and recommendation to the City Council.

In accordance with that body's directive, kindly return the same with your report in duplicate within four (4) weeks.

PLANNING AND DEVELOPMENT DEPARTMENT DPW - CITY ENGINEERING DIVISION
WATER & SEWERAGE DEPARTMENT

774 *Delray Mechanical Corp., request the outright vacation of existing utilities contained within the properties owned by Delray Mechanical between Post Street and Harrington Street.*



DELRAY MECHANICAL CORP.

Mechanical Rebuilds & Prototypes

MACHINING FABRICATIONS
& NON-FERROUS WELDING

P.O. Box 9220 • Detroit, Michigan 48209 • (313) 843-5330
delraymech@ameritech.net

March 25, 2019

To Whom it May Concern,

This letter is being written on behalf of Gordon Ebsch of Delray Mechanical to obtain a petition for the city's Water and Sewerage department showing that the properties owned by Delray Mechanical between Post Street and Harrington Street have been vacated outright so that, upon consolidation and before construction, we might move the existing utility lines so they are in a position that benefits our plans for the site and a new building thereupon.

I have attached multiple diagrams outlining the current positioning and the plans for future use of the site so that you might know in a more exact manner what the petition is being filed for.

Thank you for your time,

Justin Lado

Delray Mechanical

CITY CLERK 25 MAR 2019 11:21:17



Sidock Group
ENGINEERS-ARCHITECTS-CONSULTANTS

Corporate Headquarters
45650 Grand River Avenue
Novi, Michigan 48374
Ph: (248)349-4500 • Fax: (248)349-1429

Wyandotte Office
4242 Skidde Avenue
Wyandotte, Michigan 48192
Ph: (734)285-1924 • Fax: (734)285-2833

Novi • Wyandotte • Muskegon
Lansing • Gaylord • Searle Sta. Marie

www.sidockgroup.com
www.sidockarchitects.com

Key Plan: No Scale

ZONING ORDINANCE TABLE			
DESCRIPTION	REQUIRED	PROVIDED	REMARKS
ZONING	R2 & M2	M2	-
FRONT SET BACK	NONE	NONE	-
REAR SET BACK	NONE	NONE	-
SIDE YARD SET BACK	NONE	NONE	-
LOT COVERAGE	N/A	-	-
BUILDING HEIGHT (STORIES)	3	3	-
PARKING SPACES	31	35	SEE CALCULATIONS
BARRIER FREE PARKING	2	2	-
PARKING SPACE SIZE (SQ FT)	9' x 20'	9' x 20'	-
ABLE WHEEL	20'	20'	-
LOADING ZONE	ONE SPACE	ONE SPACE	-

PARKING REQUIREMENTS		
MANUFACTURING, OFF-STREET PARKING REQUIREMENTS & CALCULATIONS		
OFFICE: ONE PER 400 SF		
MANUFACTURING AND PRODUCTION: ONE PER 800 SF OR ONE PER 3 EMPLOYEES, WHICHEVER IS GREATER		
USE	CALCULATION	SPACES
OFFICE	3000 SF/400 = 7.5 SPACES	8 SPACES
MANUFACTURING/LOADING	10000 SF/800 = 12.5 SPACES	20 SPACES
31 SPACES REQUIRED (INCLUDING 2 BARRIER FREE)		
34 SPACES PROVIDED (INCLUDING 2 BARRIER FREE)		

Client:
DELRAY MECHANICAL

Project:
DELRAY MECHANICAL CONCEPTUAL DESIGN

857 S. POST ST.
DETROIT, MI 48209

Seal:

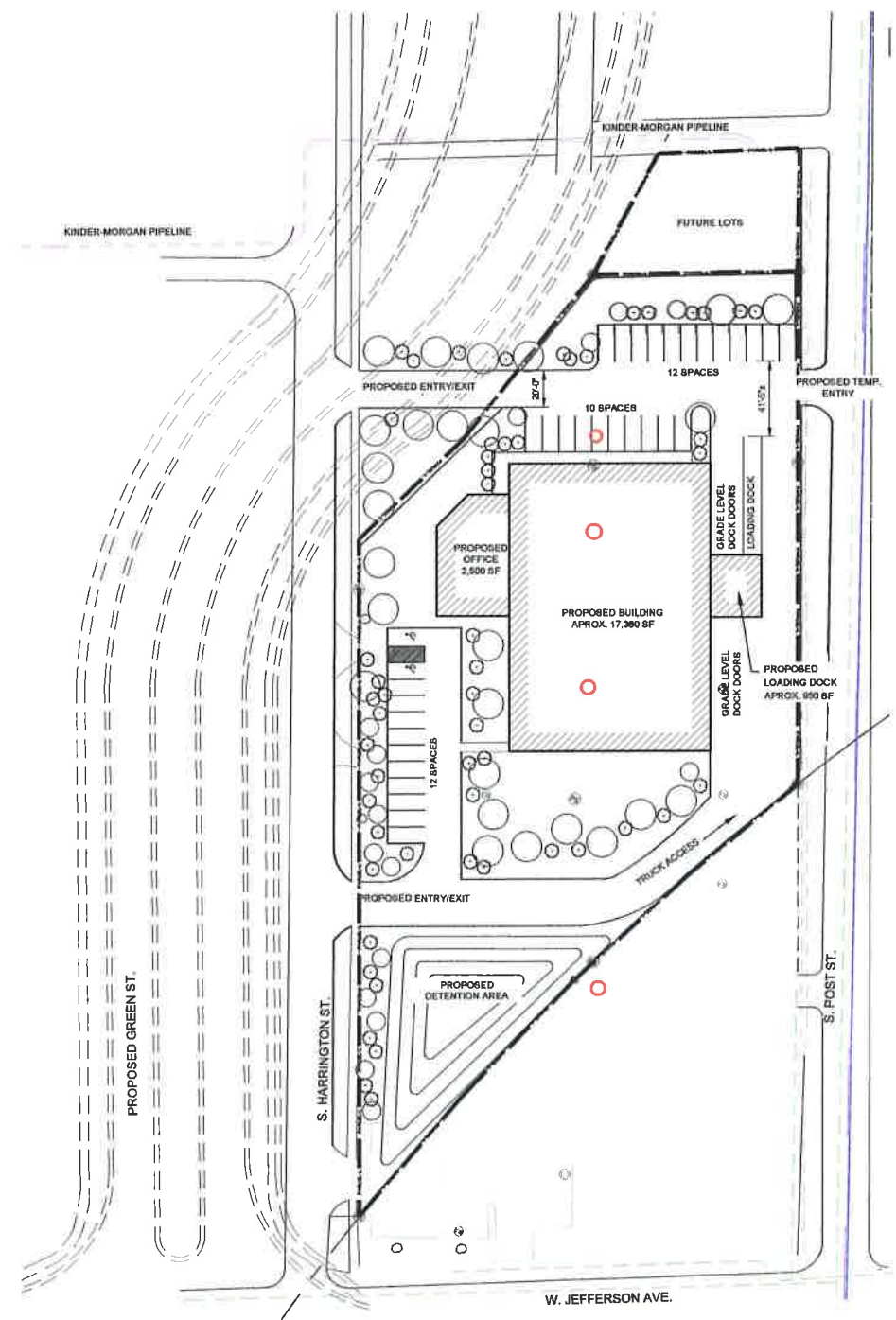
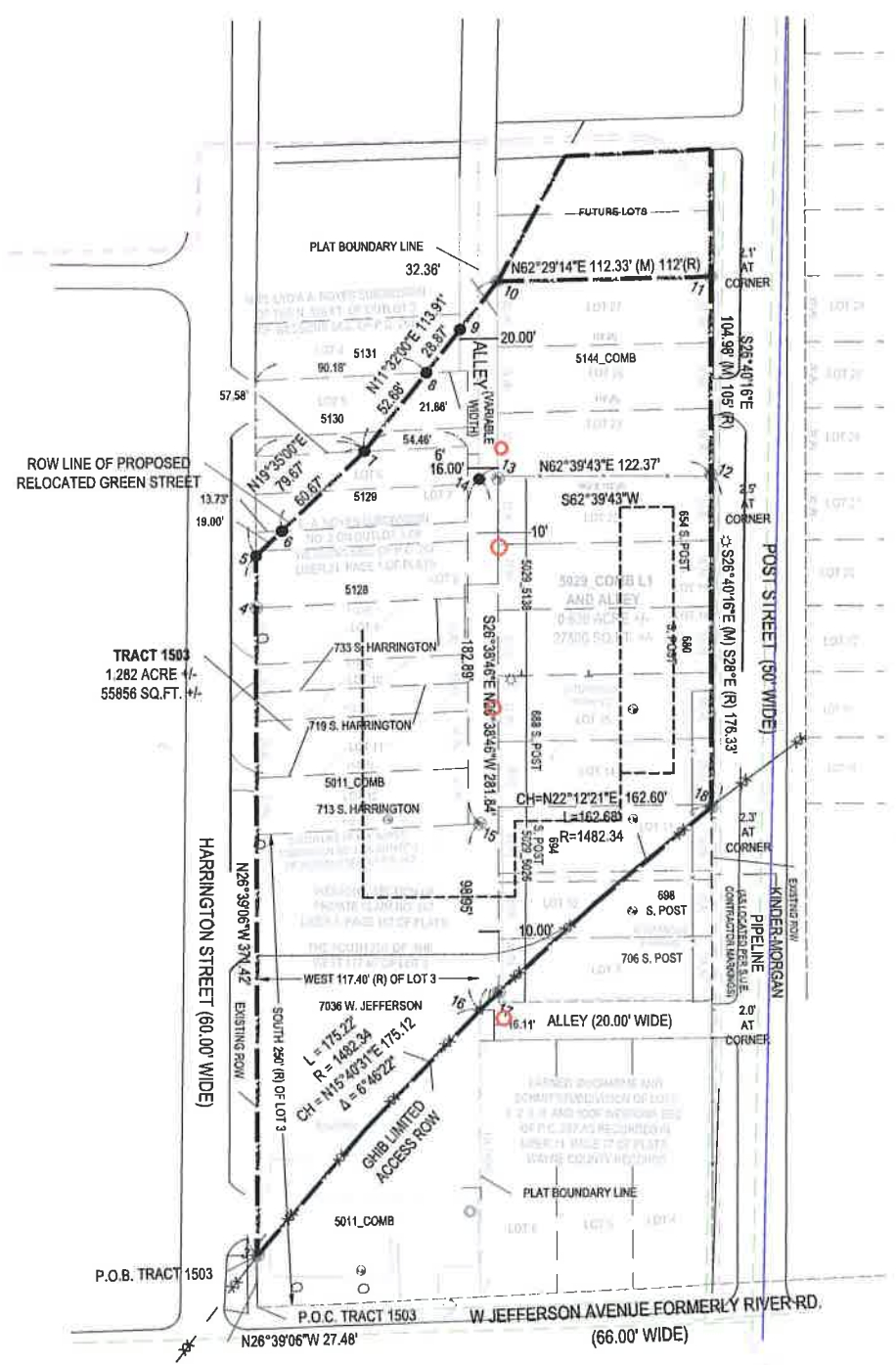
Date	Issued For
09-28-2017	OWNER REVIEW
10-05-2017	REVIEW
10-11-2017	OWNER REVIEW

Drawn: K WILLIAMS
Checked: E. KOLLIAS
Approved:

Sheet Title:
PROPOSED & EXISTING SITE PLANS PHASE 1

Project Number: 357036

Sheet Number: **AS-001**



F:\2017\17003 Delray Mechanical Conceptual Design\157036 AS-001 SITE.Plot Thu, 26 Oct 2017 - 2:11 pm



Sidock Group
ENGINEERS-ARCHITECTS-CONSULTANTS

Corporate Headquarters
45850 Grand River Avenue
Novi, Michigan 48374
Ph: (248)348-4000 • Fax: (248)348-1429

Wyandotte Office
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Wyandotte, Michigan 48192
Ph: (734)285-1824 • Fax: (734)285-2833

Novi • Wyandotte • Muskegon
Lansing • Gaylord • South St. Marie
www.sidockgroup.com
www.sidockarchitects.com

Key Plan: No Scale

Client:
**DELRAY
MECHANICAL**

Project:
**DELRAY
MECHANICAL
CONCEPTUAL
DESIGN**

887 S. POST ST.
DETROIT, MI 48208

Seal:

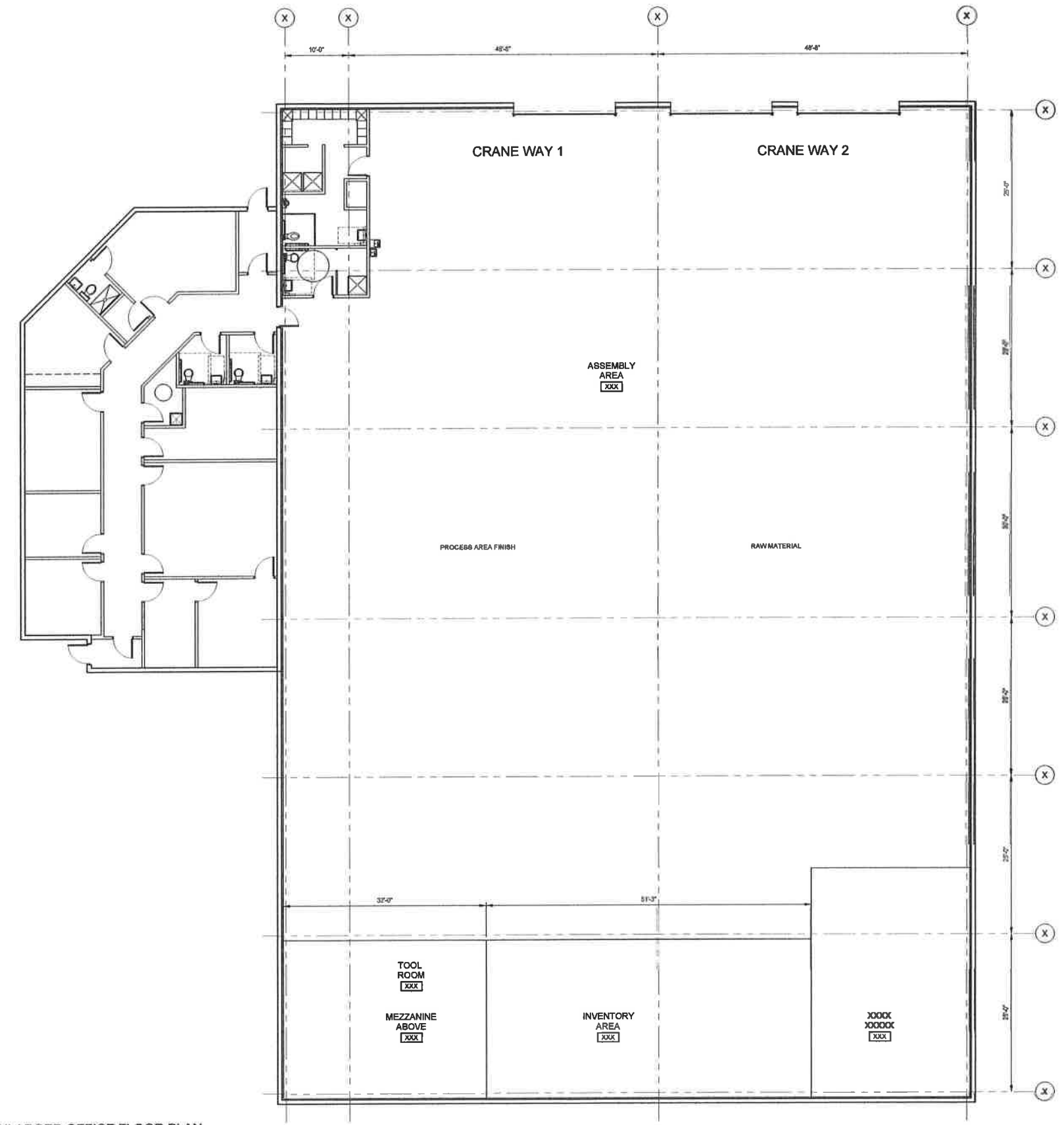
Date	Issued For
09-28-2017	OWNER REVIEW
10-05-2017	REVIEW
10-11-2017	OWNER REVIEW
10-26-2017	OWNER REVIEW

Drawn: K.WILLIAMS
Checked: E. KOLLIAS
Approved:

Sheet Title:
**OVERALL
FLOOR PLAN**

Project Number: **357036**

Sheet Number: **A-200**



ENLARGED OFFICE FLOOR PLAN
SCALE: 1/8" = 1'-0"

F:\031703\17036\Delray Mechanical Conceptual Design\0317036\01 Architectural and Design\0317036 A-200.dwg Thu, 28 Oct 2017 1:20:00pm



Sidock Group
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Novi • Wyandotte • Muskegon
Lansing • Gaylord • Sault Ste. Marie

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Key Plan: No Scale

Client:
**DELRAY
MECHANICAL**

Project:
**DELRAY
MECHANICAL
CONCEPTUAL
DESIGN**

887 S. POBST ST.
DETROIT, MI 48209

Seal:

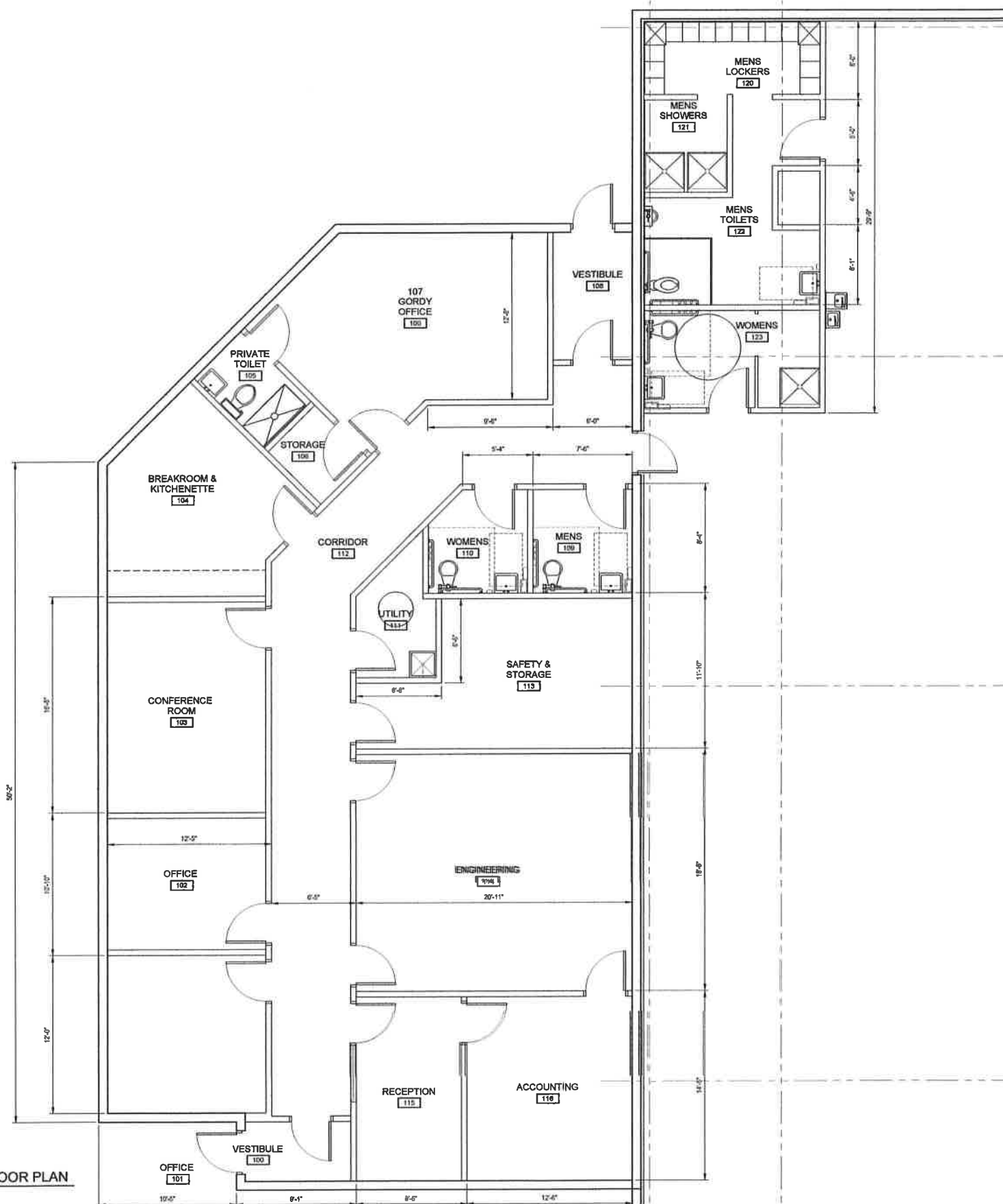
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Drawn: K.WILLIAMS
Checked: E. KOLLAS
Approved:

Sheet Title:
**PROPOSED
& EXISTING
SITE PLANS
PHASE 1**

Project Number: 357036

Sheet Number: **A-201**



ENLARGED OFFICE FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED SITE PLAN

LEGEND

- STREET LIGHT
- POWER POLE
- LIGHT POLE
- HYDRANT
- CLEAN OUT
- WATER VALVE
- UTILITY MANHOLE
- LATHING MAN
- PROPERTY LINE
- DETAIL LINE
- FENCE LINE
- WATER LINE
- SEWER LINE
- GAS LINE
- P.L. PROPERTY CORNER
- P.1. EYEBROW
- X1 DETAIL
- OVERHEAD WIRE
- F.M. FUTURE MOUNTAIN
- M.S. MEASURED DATA
- M.S. MEASURED DATA
- M.S. MEASURED DATA
- M.S. MEASURED DATA

ZONING AND SETBACK INFORMATION
Zoning and Setback information was obtained from the Municipal Officials, it is the clients responsibility to verify that this is correct.

The Property located at #7036 W. Jefferson Ave is Zoned as (M-2) Restricted Industrial District.

MINIMUM LOT DIMENSIONS
(No Minimum Lot Dimensions Required)

MINIMUM SETBACK REQUIREMENTS
(No Minimum Setbacks Required)

Maximum Height of Building:
(40 feet)

The Maining properties is Zoned as
(R-2) Two Family Residential District

MINIMUM LOT DIMENSIONS
Area Square feet (8000 Sq. Ft)
Width (feet) (55 feet)

MINIMUM SETBACK REQUIREMENTS
Front Yard (20 feet Min)

Side yards
One Side (4 feet Min)
Total 2-Sides (14 feet Min)

Rear Yard (30 feet Min)

Maximum Height of Building: (35 feet Min)a

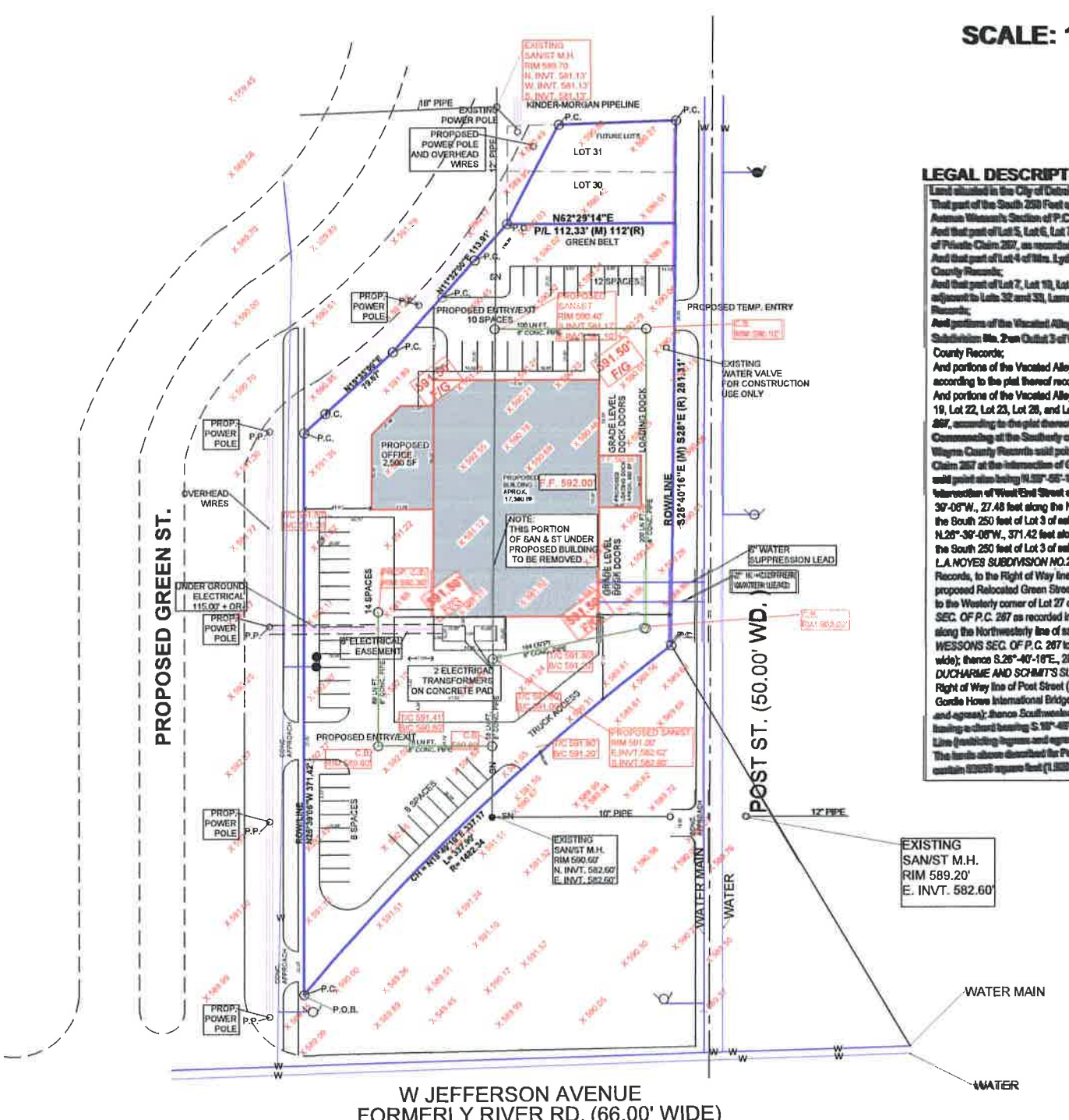
Note: Land S.E.A Survey will Not be Responsible for given House Dimensions,
Client and Builder Must verify all dimensions Prior to construction.

NOTE:
3-WORKING DAYS BEFORE YOU
DIG CALL MISS DIG 1 800 482-7171
IT'S THE LAW.

- TO BE PROVIDED BY CUSTOMER
1. Silt Construction fence around Perimeter of Property.
 2. Permits for Driveway and/or Culverts (If needed)
 3. Soil boring Testing and/or Permits (if needed)

Note: Underground utility information was Provided by the Municipality, official.
No Guarantee can be made to the completeness of exactness of those records.
The contractor must verify the location of all leads and mains before construction.

SCALE: 1"=40'



LEGAL DESCRIPTION

Land situated in the City of Detroit, Wayne County, Michigan, being: That part of the South 250 Feet of West 117.40 Feet of Lot 3 Lying North of and Adjacent Jefferson and East of Adjacent Harrington Avenue Wessons Section of P.C. 267, as recorded in Liber 1, Page 187 of Plats, Wayne County Records; And that part of Lot 5, Lot 6, Lot 7, Lot 8, Lot 9, Lot 10, Lot 11, and Lot 12 of L.A. Noyes Subdivision No. 2 of Out Lot 3 Wessons Section of Private Claim 267, as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And that part of Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And that part of Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 16, Lot 17, Lot 18, Lot 19, Lot 20, Lot 21, Lot 22, Lot 23, Lot 24, Lot 25, and Lot 27, and Vacated Alley (10 feet wide) adjacent to Lots 32 and 33, Larned, Ducharme and Schmit's Subdivision, as recorded in Liber 11, Page 77 of Plats, Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Northeastly of and adjacent to Lots 6 through 12, inclusive of L.A. Noyes Subdivision No. 2 on Outlot 3 of Wessons Sec. of P.C. 267, according to the plat thereof as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Northeastly of and adjacent to Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Southwestly of and adjacent to Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 16, Lot 18, Lot 22, Lot 23, Lot 24, Lot 25, and Lot 27 of Larned, Ducharme and Schmit's Subdivision of Lots 1, 2, 8, 9 and 10 of Wessons Sec. of P.C. 267, according to the plat thereof as recorded in Liber 11, Page 77 of Plats, Wayne County Records, described as: Commencing at the Southern corner of Lot 3 of WESSON'S SECTION OF PRIVATE CLAIM NO. 267 as recorded in Liber 1, Page 187, Wayne County Records said point being located N.55°-01'-38"E., 327.12 feet, from the line common to Private Claim 67 and Private Claim 267 at the intersection of Green Street and West Jefferson Avenue recorded in Liber 37078, Page 46 of Wayne County Records; said point also being N.57°-55'-13"E., 2150.80 feet from the point on the line common to Private Claim 11 and Private Claim 718 at the intersection of West End Street and West Jefferson Avenue recorded in Liber 37078, Page 44 of Wayne County Records; thence N.25°-37'-05"W., 27.48 feet along the Northeastly Right of Way line of Harrington Street (80.00 feet wide) and along the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267 to the Point of Beginning; thence continuing N.25°-38'-05"W., 371.42 feet along the Northeastly Right of Way line of Harrington Street (80.00 feet wide), the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267, and the Southwestly line of Lots 8 thru 12 of L.A. NOYES SUBDIVISION NO. 2 ON OUTLOT 3 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 21, Page 1, Wayne County Records, to the Right of Way line of proposed Relocated Green Street; thence N.19°-33'-00"E., 73.07 feet, along the Right of Way line of proposed Relocated Green Street; thence N.11°-32'-00"E., 113.91 feet, along the Right of Way line of proposed Relocated Green Street to the Western corner of Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 11, Page 77, Wayne County Records; thence N.52°-29'-14"E., 112.33 feet (recorded as 112 feet) along the Northwestly line of said Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 to the Northern corner of said Lot 27 and the Southwestly Right of Way line of Post Street (50.00 feet wide); thence S.26°-40'-16"E., 281.31 feet along the Northeastly line of Lots 11, 14, 15, 16, 18, 22, 23, 26 and 27 of said LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 and said Southwestly Right of Way line of Post Street (50.00 feet wide) to a non-tangential point of curvature and the Gordie Howe International Bridge (GHIB) Limited Access Right of Way Line (restricting ingress and egress); thence Southwestly 337.50 feet along a 1482.34 feet radius curve to the left, bearing to chord bearing S. 18°-48'-00"W., 357.17 feet and along said Limited Access Right of Way Line (restricting ingress and egress), to the Point of Beginning. The lands above described for Parcel Tract 1330 and 9022, COMB L1 and Alley Combined contain 12325 square feet (1.322 acres), more or less.

<p>CHECKED BY: RVS DATE: 4/16/18 DESIGNED: 4/17/18 1/28/18 1/18/18</p>	<p>Prepared For GORDY EBSCH / EEE HOLDINGS, LLC 30346 WINDSOR DR. GABRIATOR MI, 48175</p>	<p>LAND S.E.A SURVEY 23236 ROSEWOOD ST. OAK PARK, MICHIGAN 48237 586-459-8990 248-981-7728 ces0730@yahoo.com</p>
<p>I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL REQUIREMENTS OF P.A. 1332, 193770 HAVE BEEN COMPLIED WITH.</p>		<p>PROPOSED SITE PLAN</p>
<p>DRAFTED BY: RICHARD VON EICHLANDER</p>		<p>Job No: 2017-00139 SHEET 2 OF 6</p>

SANITARY AND STORM COMBINED



SCALE: 1"=40'

LEGAL DESCRIPTION

Land situated in the City of Detroit, Wayne County, Michigan, being: That part of the South 250 Feet of West 117.40 Feet of Lot 3 Lying North of and Adjacent Jefferson and East of Adjacent Harrington Avenue Weeson's Section of P.C. 267, as recorded in Liber 1, Page 187 of Plats, Wayne County Records; And that part of Lot 6, Lot 7, Lot 8, Lot 9, Lot 10, Lot 11, and Lot 12 of L.A. Noyes Subdivision No. 2 of Out Lot 3 Weeson's Section of Private Claim 267, as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And that part of Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And that part of Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 16, Lot 18, Lot 22, Lot 23, Lot 26, and Lot 27, and Vacated Alley (10 feet wide) adjacent to Lots 32 and 33, Larned, Ducharme And Schmit's Subdivision, as recorded in Liber 11, Page 77 of Plats, Wayne County Records; And portions of the Vacated Alley (8 feet wide) located Northeastly of and adjacent to Lots 5 through 12, inclusive of L. A. Noyes Subdivision No. 2 on Outlot 3 of Weeson's Sec. of P.C. 267, according to the plat thereof as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Northeastly of and adjacent to Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Southwestly of and adjacent to Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 18, Lot 19, Lot 22, Lot 23, Lot 26, and Lot 27 of Larned, Ducharme And Schmit's Subdivision of Lots 1, 2, 8, 9 and 10 of Weeson's Sec. of P.C. 267, according to the plat thereof as recorded in Liber 11, Page 77 of Plats, Wayne County Records, described as: Commencing at the Southern corner of Lot 3 of WESSON'S SECTION OF PRIVATE CLAIM NO. 267 as recorded in Liber 1, Page 187, Wayne County Records said point being located N55°-01'-30"E, 327.12 feet, from the line common to Private Claim 67 and Private Claim 267 at the intersection of Green Street and West Jefferson Avenue recorded in Liber 37079, Page 46 of Wayne County Records; said point also being N55°-55'-13"E, 2158.60 feet from the point on the line common to Private Claim 11 and Private Claim 718 at the intersection of West End Street and West Jefferson Avenue recorded in Liber 37079, Page 44 of Wayne County Records; thence N.26°-33'-48"W, 27.48 feet along the Northeastly Right of Way line of Harrington Street (60.00 feet wide) and along the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267 to the Point of Beginning; thence continuing N.25°-33'-55"W, 371.42 feet along the Northeastly Right of Way line of Harrington Street (60.00 feet wide), the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267, and the Southwestly line of Lots 8 thru 12 of L.A. NOYES SUBDIVISION NO. 2 ON OUTLOT 3 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 21, Page 1, Wayne County Records, to the Right of Way line of proposed Relocated Green Street; thence N.19°-35'-00"E, 79.57 feet, along the Right of Way line of proposed Relocated Green Street; thence N.11°-32'-00"E, 113.91 feet, along the Right of Way line of proposed Relocated Green Street to the Western corner of Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 11, Page 77, Wayne County Records; thence N.62°-29'-14"E, 112.33 feet (recorded as 112 feet) along the Northeastly line of said Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 to the Northeastly corner of said Lot 27 and the Southwestly Right of Way line of Post Street (50.00 feet wide); thence S.25°-40'-45"E, 398.39 feet along the Northeastly line of Lots 11, 14, 15, 18, 19, 22, 23, 26 and 27 of said LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 and said Southwestly Right of Way line of Post Street (50.00 feet wide) to a non-tangential point of curvature and the South Here International Bridge (CH2) Limited Access Right of Way Line (restricting ingress and egress); thence Southwestly 337.26 feet along a 1482.34 foot radius curve to the left, having a chord bearing S. 81°-45'-10"W, 337.17 feet and along said Limited Access Right of Way Line (restricting ingress and egress), to the Point of Beginning. The lands above described for Parcel Tract 1329 and 5229, COMB L1 and Alley Combined contain 63882 square feet (1.529 acres), more or less.

1	Proposed Office
2	Proposed Sanitary M.H.
3	Proposed Storm M.H.
4	Proposed Driveway
5	Proposed Parking
6	Proposed Walkway
7	Proposed Sidewalk
8	Proposed Utility Line
9	Proposed Easement
10	Proposed Right of Way
11	Proposed Boundary
12	Proposed Survey
13	Proposed Structure
14	Proposed Foundation
15	Proposed Foundation
16	Proposed Foundation
17	Proposed Foundation
18	Proposed Foundation
19	Proposed Foundation
20	Proposed Foundation
21	Proposed Foundation
22	Proposed Foundation
23	Proposed Foundation
24	Proposed Foundation
25	Proposed Foundation
26	Proposed Foundation
27	Proposed Foundation
28	Proposed Foundation
29	Proposed Foundation
30	Proposed Foundation

ZONING AND SETBACK INFORMATION
Zoning and Setback information was obtained from the Municipal Officials, it is the clients responsibility to verify that this is correct.

The Property located at #7036 W. Jefferson Ave is Zoned as (M-2) Restricted Industrial District.

MINIMUM LOT DIMENSIONS
(No Minimum Lot Dimensions Required)

MINIMUM SETBACK REQUIREMENTS
(No Minimum Setbacks Required)

Maximum Height of Building:
(40 feet)

The Main property is Zoned as
(R-2) Two Family Residential District

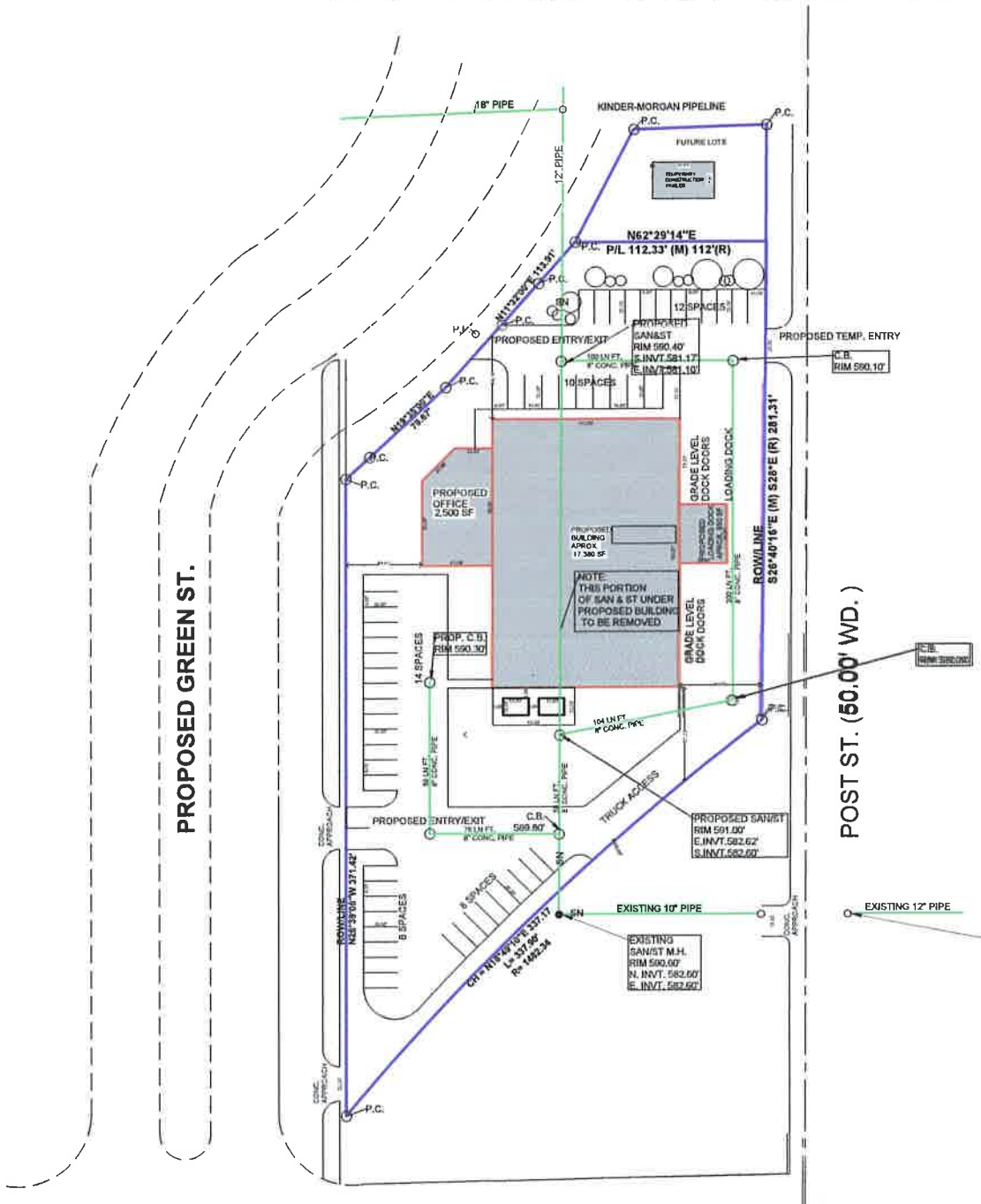
MINIMUM LOT DIMENSIONS
Area Square feet (6000 Sq. Ft)
Width (feet) (65 feet)

MINIMUM SETBACK REQUIREMENTS
Front Yard (20 feet Min)

Side yards
One Side (4 feet Min)
Total 2-Sides (14 feet Min)

Rear Yard (30 feet Min)

Maximum Height of Building: (35 feet Min) a



W JEFFERSON AVENUE
FORMERLY RIVER RD. (66.00' WIDE)

Note: Land S.E.A Survey will Not be Responsible for given House Dimensions,
Client and Builder Must verify all dimensions Prior to construction.

NOTE:

3-WORKING DAYS BEFORE YOU
DIG CALL MISS DIG 1 800 482-7171
IT'S THE LAW.

- TO BE PROVIDED BY CUSTOMER
1. Silt Construction fence around Perimeter of Property.
 2. Permits for Driveway and/or Culverts (if needed)
 3. Soil boring Testing and/or Permits (if needed)

Note: Underground utility information was Provided by the Municipallty, official.
No Guarantee can be made to the completeness of exactness of those records.
The contractor must verify the location of all leads and mains before construction.

I HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL REQUIREMENTS OF P.A. 132, 1970 HAVE BEEN COMPLIED WITH.

CHECKED BY: RVS DATE: 4/16/18 REVISIONS: 4/17/18 10/20/18 1/3/19 1/18/19	Prepared For GORDY EBSCH / EEE HOLDINGS, LLC 30346 WINDSOR DR. GABRIALTOR MI, 48173	LAND S.E.A. SURVEY 23236 ROSEWOOD ST. OAK PARK, MICHIGAN 48237 586-459-8990 248-981-7728 sqa0730@yahoo.com
		PROPOSED SANITARY AND STORM
DRAFTED BY: RICHARD VON SCHLAESER		Job No: 2017-00139 SHEET 3 OF 6

TOPOGRAPHICAL SURVEY

SCALE: 1"=40'



LEGEND

- STREET LIGHT
- POWER POLE
- LIGHT POLE
- HYDRANT
- CLEAN OUT
- WATER VALVE
- UTILITY MAN HOLE
- CATCH BASIN
- PROPERTY LINE
- SETBACK LINE
- FENCE LINE
- WATER LINE
- STORM LINE
- SANITARY LINE
- GAS LINE
- P.C. PROPERTY CORNER
- P.A. FOUNDATION
- B.L. SET IRON
- OVERHEAD WIRE
- F.M. FOUND MONUMENT
- (R) RECORD DATA
- (M) MEASURED DATA
- (C) CALCULATE DATA

REVERSE SIDE OF WAY LINE

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(No Minimum Lot Dimensions Required)

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Front Yard (20 feet Min)

Side yards

One Side (4 feet Min)

Total 2-Sides (14 feet Min)

Rear Yard (30 feet Min)

Maximum Height of Building: (35 feet Min) a

PCC PRIVATE CLAIM LINE 11718 AT INTERSECTION OF WEST END STREET AND WEST JEFFERSON AVENUE FOUND CONCRE MON WITH 2" DISK L37079, P44, WAYNE COUNTY

PCC PRIVATE CLAIM LINE 67 / 267 AT INTERSECTION OF GREEN STREET AND WEST JEFFERSON AVENUE FOUND CONC. MONUMENT WITH 2" DISK L 37079, P 46, WAYNE COUNTY

Note: Land S.E.A Survey will Not be Responsible for given House Dimensions,

Client and Builder Must verify all dimensions Prior to construction.

NOTE:

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TO BE PROVIDED BY CUSTOMER

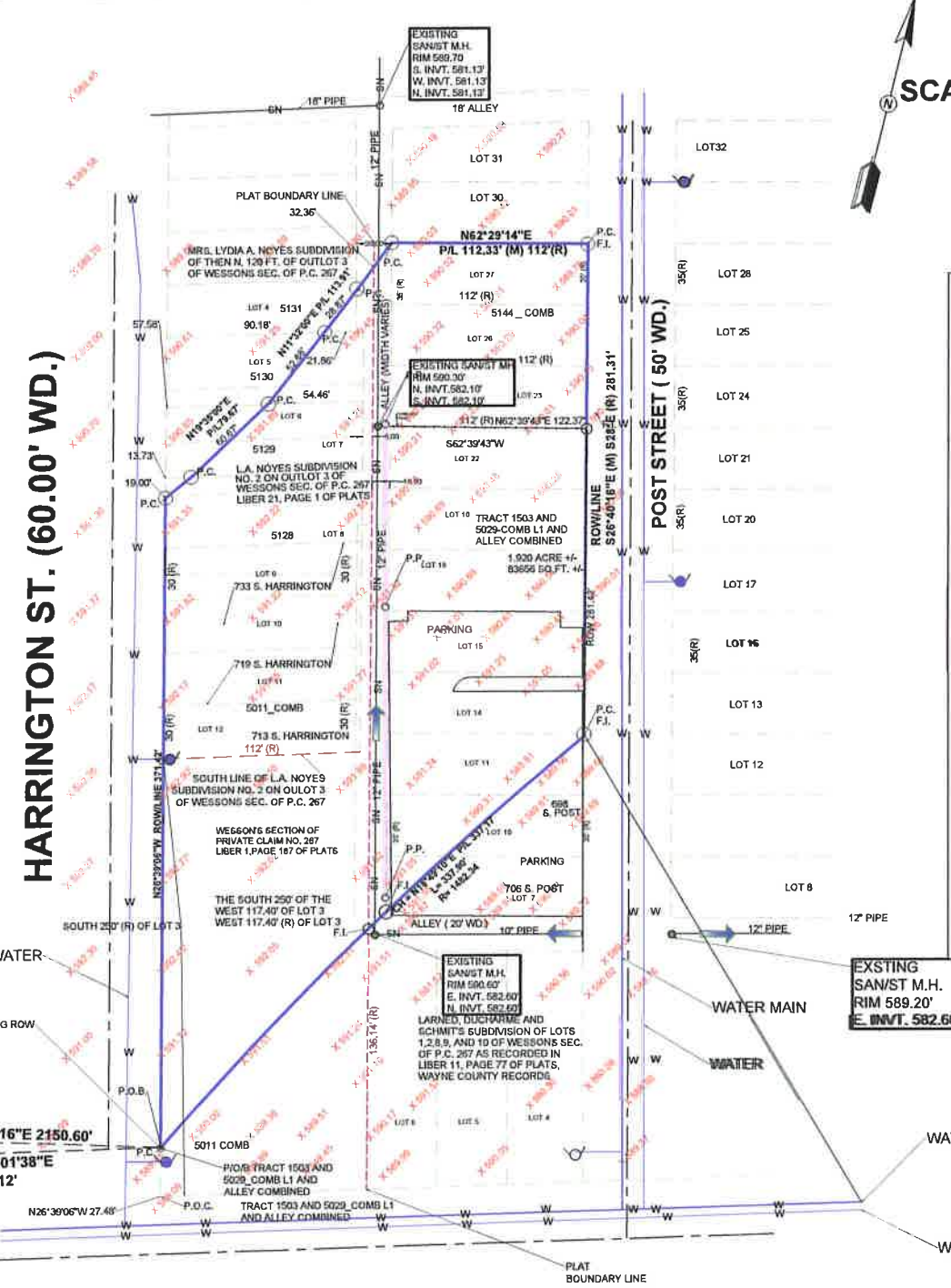
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I HERE BY CERTIFY THAT THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL REQUIREMENTS OF P.A. 132, 1970 HAVE BEEN COMPLIED WITH.



LEGAL DESCRIPTION

Land situated in the City of Detroit, Wayne County, Michigan, being: That part of the South 250 Feet of West 117.40 Feet of Lot 3 Lying North of and Adjacent Jefferson and East of Adjacent Harrington Avenue Wesson's Section of P.C. 267, as recorded in Liber 1, Page 187 of Plats, Wayne County Records; And that part of Lot 5, Lot 6, Lot 7, Lot 8, Lot 9, Lot 10, Lot 11, and Lot 12 of L.A. Noyes Subdivision No. 2 of Out Lot 3 Wesson's Section of Private Claim 267, as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And that part of Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And that part of Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 16, Lot 18, Lot 19, Lot 22, Lot 23, Lot 25, and Lot 27, and Vacated Alley (10 feet wide) adjacent to Lots 32 and 33, Larned, Ducharme And Schmit's Subdivision, as recorded in Liber 11, Page 77 of Plats, Wayne County Records; And portions of the Vacated Alley (6 feet wide) located Northeastly of and adjacent to Lots 5 through 12, inclusive of L. A. Noyes Subdivision No. 2 on Outlot 3 of Wesson's Sec. of P.C. 267, according to the plat thereof as recorded in Liber 21, Page 1 of Plats, Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Northeastly of and adjacent to Lot 4 of Mrs. Lydia A. Noyes Subdivision according to the plat thereof recorded in Liber 17 of Plats, Page 42 of Wayne County Records; And portions of the Vacated Alley (10 feet wide) located Southwestly of and adjacent to Lot 7, Lot 10, Lot 11, Lot 14, Lot 15, Lot 16, Lot 18, Lot 19, Lot 22, Lot 23, Lot 25, and Lot 27 of Larned, Ducharme And Schmit's Subdivision of Lots 1, 2, 8, 9 and 10 of Wesson's Sec. of P.C. 267, according to the plat thereof as recorded in Liber 11, Page 77 of Plats, Wayne County Records, described as: Commencing at the Southern corner of Lot 3 of WESSON'S SECTION OF PRIVATE CLAIM NO. 267 as recorded in Liber 1, Page 187, Wayne County Records said point being located N.59°-01'-38"E., 327.12 feet, from the line common to Private Claim 67 and Private Claim 267 at the intersection of Green Street and West Jefferson Avenue recorded in Liber 37078, Page 46 of Wayne County Records; said point also being N.59°-56'-13"E., 2150.60 feet from the point on the line common to Private Claim 718 at the intersection of West End Street and West Jefferson Avenue recorded in Liber 37079, Page 44 of Wayne County Records; thence N.26°-39'-06"W., 27.48 feet along the Northeastly Right of Way line of Harrington Street (80.00 feet wide) and along the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267 to the Point of Beginning; thence continuing N.26°-38'-06"W., 371.42 feet along the Northeastly Right of Way line of Harrington Street (80.00 feet wide), the Southwestly line of the South 250 feet of Lot 3 of said WESSON'S SECTION OF PRIVATE CLAIM NO. 267, and the Southwestly line of Lots 8 thru 12 of L.A. NOYES SUBDIVISION NO.2 ON OUTLOT 3 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 21, Page 1, Wayne County Records, to the Right of Way line of proposed Relocated Green Street; thence N.19°-35'-00"E., 78.67 feet, along the Right of Way line of proposed Relocated Green Street; thence N.11°-32'-00"E., 113.91 feet, along the Right of Way line of proposed Relocated Green Street to the Westerly corner of Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 as recorded in Liber 11, Page 77, Wayne County Records; thence N.62°-29'-14"E., 112.33 feet (recorded as 112 feet) along the Northwestly line of said Lot 27 of LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 to the Northern corner of said Lot 27 and the Southwestly Right of Way line of Post Street (50.00 foot wide); thence S.26°-40'-16"E., 261.51 feet along the Northeastly line of Lots 11, 14, 15, 16, 18, 22, 23, 25 and 27 of said LARNED, DUCHARME AND SCHMIT'S SUBDIVISION OF LOTS 1, 2, 8, 9 AND 10 OF WESSON'S SEC. OF P.C. 267 and said Southwestly Right of Way line of Post Street (50.00 feet wide) to a non-tangential point of curvature and the Gordie Howe International Bridge (GHIB) Limited Access Right of Way Line (restricting ingress and egress); thence Southwestly 337.50 feet along a 1482.34 feet radius curve to the left, having a chord bearing S.18°-49'-10"W., 337.17 feet and along said Limited Access Right of Way Line (restricting ingress and egress), to the Point of Beginning. The lands above described for Parcel Tract 1503 and 5029_COMB L1 and Alley Combined contain 83655 square feet (1.920 acres), more or less.

W JEFFERSON AVENUE (WIDTH VARIES)

FORMERLY RIVER RD.(66.00'WD.)

<p>CHECKED BY: RVS DATE: 4/16/18 REVISED: 4/17/18 10/20/18 1/3/19 1/18/19</p>	<p>Prepared For: GORDY EBSCH / EEE HOLDINGS, LLC 10346 WINDSOR DR. GABRALTOR MI, 48173</p>	<p>LAND S.E.A. SURVEY 23236 ROSEWOOD ST OAK PARK, MICHIGAN 48237 586-459-8990 248-981-7728 www.rvs-survey.com</p>
<p>EXISTING TOPOGRAPHICAL SURVEY</p>		<p>Job No: 2017-00138</p>

2019-03-27

774

774 *Petition of Delray Mechanical Corp.,
request the outright vacation of
existing utilities contained within the
properties owned by Delray
Mechanical between Post Street and
Harrington Street.*

REFERRED TO THE FOLLOWING DEPARTMENT(S)

PLANNING AND DEVELOPMENT DEPARTMENT DPW -
CITY ENGINEERING DIVISION
WATER & SEWERAGE DEPARTMENT