

CITY OF DETROIT

EASTERN MARKET DISTRICT REINVESTMENT PROJECT

SOUTH x SOUTHEAST STREETSCAPES (WINDER / ORLEANS / DIVISION)

DETROIT, MICHIGAN / WAYNE COUNTY

CONSTRUCTION DOCUMENTS JULY 31, 2018

LOCAL AUTHORITY APPROVAL

CITY OF DETROIT
CITY ENGINEERING DIVISION
DEPARTMENT OF PUBLIC WORKS
COLEMAN A. YOUNG MUNICIPAL CENTER
2 WOODWARD AVENUE
DETROIT, MICHIGAN 48226

Project Description: (0.35 Miles/ 1890 Feet
Project Length and 1.03 Acres in Project Area)

Detroit's eastern market is the largest historic public market district in the United States. founded in 1891, it hosts both retail and wholesale markets. On any given saturday, as many as 40,000 customers shop elbow-to-elbow for fruits, vegetables, breads, specialty foods, jams, honey, apple cider, cheeses, spices, herbs, plants and flowers—all from the marvelous bounty of farms from Michigan, Ohio, and Ontario. The non-profit Eastern Market Corporation (EMC) is implementing a phased capital improvement program focusing on their building assets, public streets and right-of ways, food distribution network and training programs. The eastern market district reinvestment project SxSE improves Winder, Orleans, and Division streets. The project will provide a more consistent streetscape with features that include sidewalk paving, concrete curbs, ADA sidewalk ramps, improved parking zones, signage and future pedestrian lighting. This will improve the circulation, access, safety, and experience for patrons and vendors at Eastern Market resulting in higher visitation, expanded job opportunities, and reinvestment in the district.

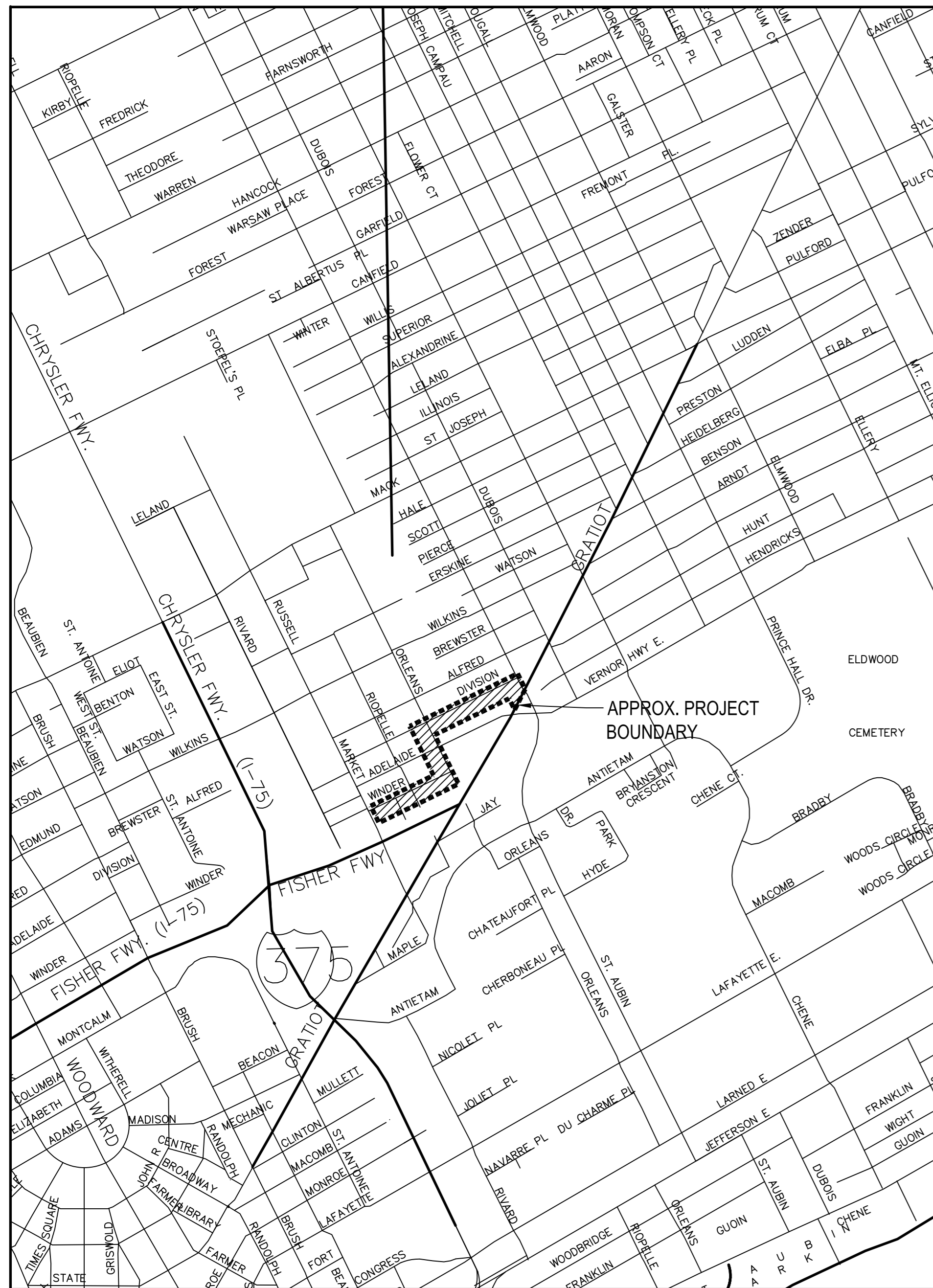
Owners:



Consultants:

SMITHGROUP JJR

500 GRISWOLD STREET
SUITE 1700
DETROIT, MI 48226
313.983.3600
www.smithgroupjjr.com



Location Map:
NOT TO SCALE



Drawing List:

G-000 - G-004	COVER, KEY PLAN, HORIZONTAL ALIGNMENT, SHEET LIST, GENERAL NOTES, MDOT QUANTITIES
V.1.0 - V.1.4	TOPOGRAPHIC SURVEY
CD-101 - CD-103	SITE REMOVALS AND SESC PLANS
CS-101 - CS-103	LAYOUT AND MATERIALS PLANS
CS-111 - CS-113	SIGNAGE AND STRIPING PLANS
CS-501 - CS-506	SITE DETAILS
CG-101 - CG-103	GRADING AND UTILITY PLANS
CU-501	UTILITY DETAILS
ES-001 - ES-103	ELECTRICAL PLANS AND DETAILS

Drawing Scale:

ORIGINAL DRAWINGS PREPARED AS 24X36 SHEETS. GRAPHIC SCALES SHOWN ON SHEETS SHALL TAKE PRECEDENCE OVER ANY OTHER NOTED SCALES.

Standards and Specifications Reference - Not To Be Printed

MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION
2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
2012 AASHTO GUIDE FOR THE PLANNING, DESIGN, AND OPERATION OF PEDESTRIAN FACILITIES
2011 AASHTO GEOMETRIC DESIGN OF HIGHWAY AND STREETS

MDOT Standard Plans: (Latest Edition) - Not To Be Printed

WHERE THE FOLLOWING ITEMS ARE CALLED FOR IN THE PLANS, THEY ARE TO BE CONSTRUCTED ACCORDING TO THE STANDARD PLANS GIVEN BELOW.

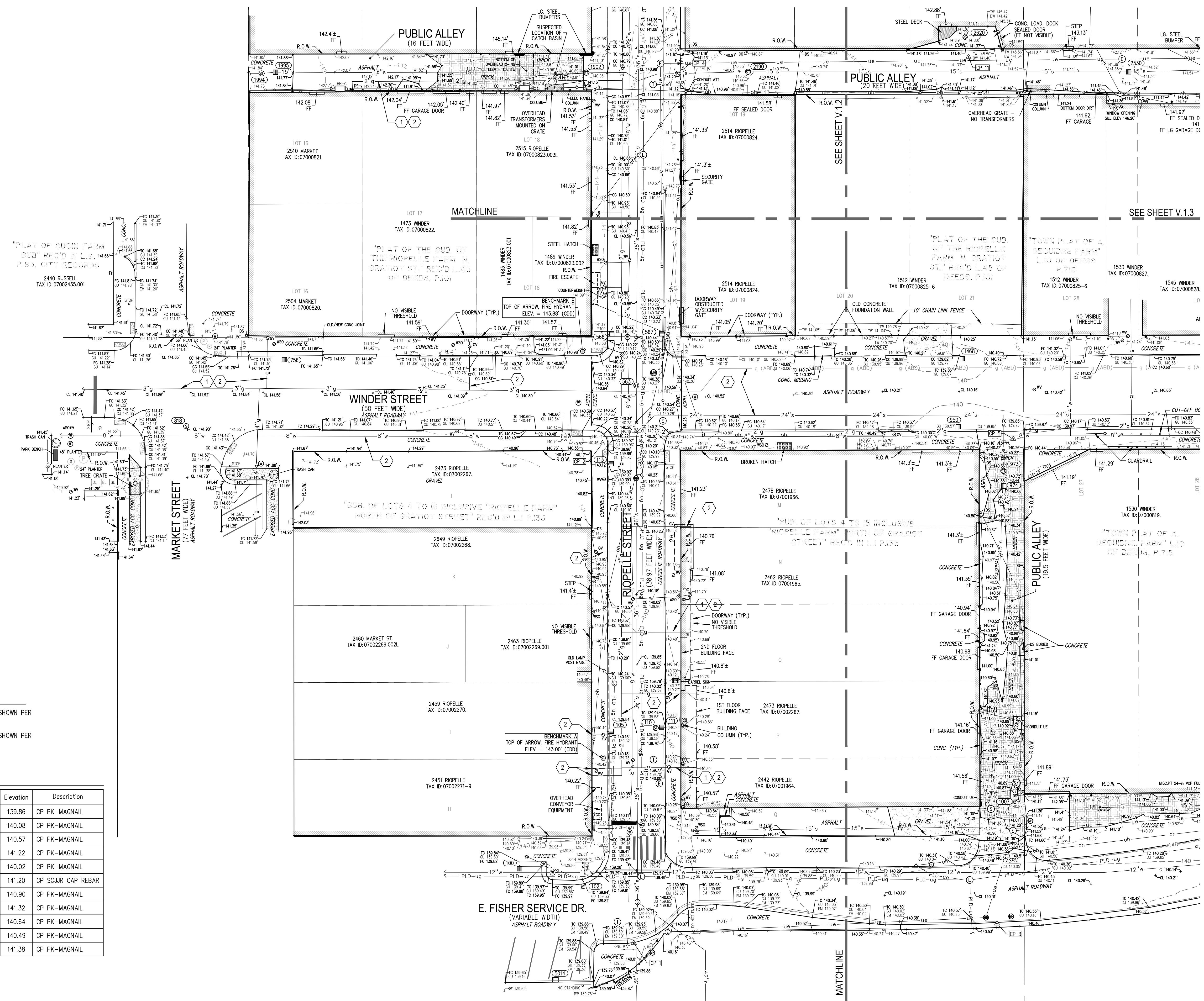
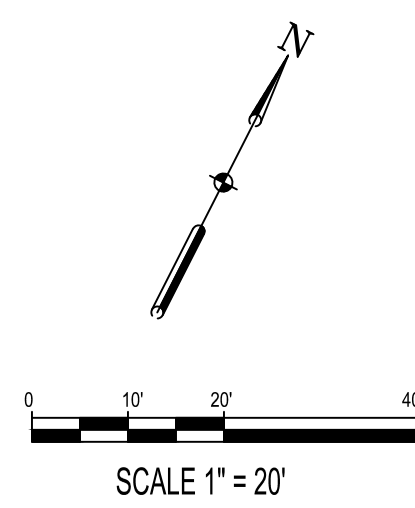
Title	ALL PROJECTS	Plan No.
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS		R-28-J
DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK		R-29-I
PERFORATED STEEL SQUARE TUBE SIGN BREAKAWAY SYSTEM		SIGN-207-A
UTILITY TRENCH		R-83-B
SOIL EROSION & SEDIMENTATION CONTROL MEASURES		R-96-E
TABLES FOR "L", "D" AND "B" VALUES		M0020a
TYPICAL ADVANCE SIGNING TREATMENT FOR LONG, INTERMEDIATE AND SHORT TERM STATIONARY WORK ZONE OPERATIONS OF LESS THAN TWO MILES IN LENGTH WHERE TRAFFIC CONTROL DEVICES MAY REMAIN AT END OF WORK DAY ON AN UNDIVIDED TWO-WAY ROADWAY		M0040a
2-LANE 2-WAY - 1-LANE CLOSURE - UTILIZING TRAFFIC REGULATORS - NO SPEED REDUCTION		M0140a
2-LANE 2-WAY - TEMPORARY TRAFFIC SIGNAL WITH SIGN PLACEMENT BOTH SIDES USING ADVISORY SPEED		M0210a
GROUND DRIVEN SIGN SUPPORTS FOR TEMP SIGNS		WZD-100-A
TEMPORARY TRAFFIC CONTROL DEVICES		WZD-125-E
PAVEMENT MARKING CONVOY TYPICAL FOR SIGNS (ALL REGIONS)		PMC22e

Submittal:	Date:	Revision:
CONSTRUCTION DOCUMENTS	JULY 31, 2018	0



SOUTH X SOUTHEAST STREETSCAPES

PREPARED UNDER SUPERVISION OF REGISTERED PROFESSIONAL ENGINEER REGISTRATION NUMBER	PREPARED UNDER SUPERVISION OF REGISTERED ELECTRICAL ENGINEER REGISTRATION NUMBER
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- KEYED NOTES**
- ① UNDERGROUND UTILITY LINE SHOWN PER PAINTED MISS-DIG MARKS.
 - ② UNDERGROUND UTILITY LINE SHOWN PER RECORD MAP INFORMATION.

CONTROL POINT TABLE

Point No.	Northing	Easting	Elevation	Description
1	311102.47	13482485.56	139.86	CP PK-MAGNAIL
2	311290.50	13482374.36	140.08	CP PK-MAGNAIL
3	311182.01	13482623.01	140.57	CP PK-MAGNAIL
4	311451.92	13482331.69	141.22	CP PK-MAGNAIL
5	311373.69	13482533.28	140.02	CP PK-MAGNAIL
6	311385.31	13482850.58	141.20	CP SGJR CAP REBAR
7	311487.28	13482760.81	140.90	CP PK-MAGNAIL
8	311634.61	13482699.43	141.32	CP PK-MAGNAIL
9	311547.99	13482240.90	140.64	CP PK-MAGNAIL
10	311744.56	13482630.80	140.49	CP PK-MAGNAIL
11	311513.32	13482440.22	141.38	CP PK-MAGNAIL

EASTERN MARKET
 SxSE
STREETSCAPE
 WINDER STREET
 ORLEANS STREET
 DIVISION STREET

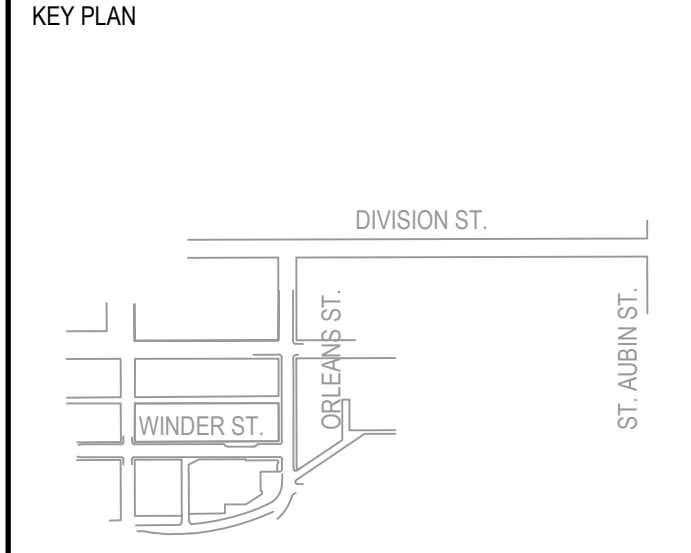
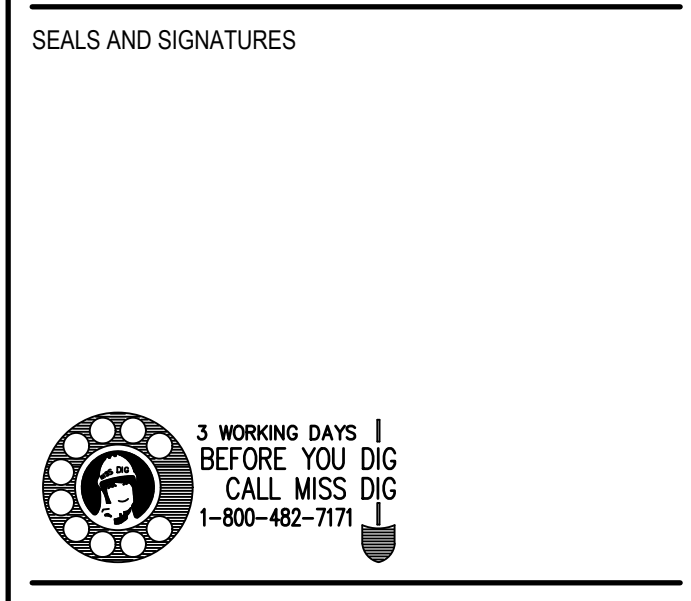
Owner:
CITY OF DETROIT
EASTERN MARKET
CORPORATION

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ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	31 JUL 18



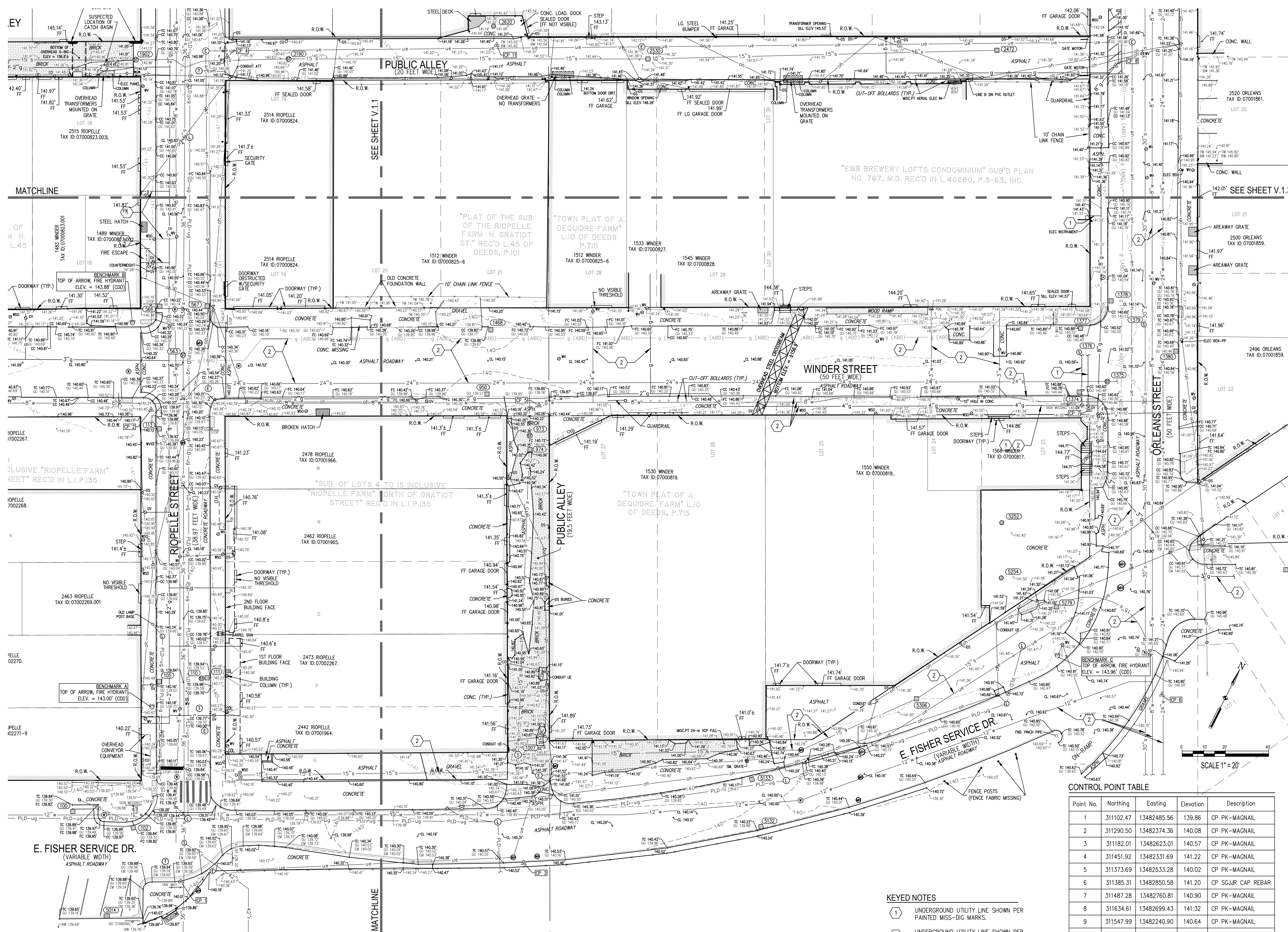
DRAWING TITLE
TOPOGRAPHIC SURVEY

SCALE
 1" = 20'
 10257.001

PROJECT NUMBER

DRAWING NUMBER
V.1.1

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EASTERN MARKET
 SxSE
STREETSCAPE
 WINDER STREET
 ORLEANS STREET
 DIVISION STREET

Owner:
CITY OF DETROIT
EASTERN MARKET
CORPORATION

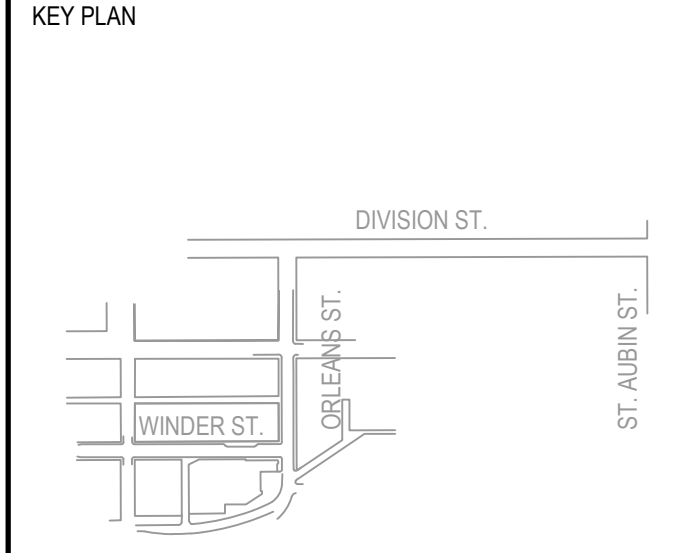


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ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	31 JUL 18

SEALS AND SIGNATURES

3 WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171



CONTROL POINT TABLE

Point No.	Northing	Eastng	Elevation	Description
1	311102.47	13482485.56	139.86	CP PK-MAGNAIL
2	311290.50	13482374.36	140.08	CP PK-MAGNAIL
3	311182.01	13482623.01	140.57	CP PK-MAGNAIL
4	311451.92	13482331.69	141.22	CP PK-MAGNAIL
5	311373.69	13482533.28	140.02	CP PK-MAGNAIL
6	311385.31	13482850.58	141.20	CP SGJR CAP REBAR
7	311487.28	13482760.81	140.90	CP PK-MAGNAIL
8	311634.61	13482699.43	141.32	CP PK-MAGNAIL
9	311547.99	13482240.90	140.64	CP PK-MAGNAIL
10	311744.56	13482630.80	140.49	CP PK-MAGNAIL
11	311513.32	13482440.22	141.38	CP PK-MAGNAIL

- KEYED NOTES**
- 1 UNDERGROUND UTILITY LINE SHOWN PER PAINTED MISS-DIG MARKS.
 - 2 UNDERGROUND UTILITY LINE SHOWN PER RECORD MAP INFORMATION.

DRAWING TITLE
TOPOGRAPHIC SURVEY

SCALE
1" = 20'

PROJECT NUMBER
10257.001

DRAWING NUMBER
V.1.2

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EASTERN MARKET
SxSE
STREETSCAPE
 WINDER STREET
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 DIVISION STREET

Owner:
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SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE
TOPOGRAPHIC SURVEY

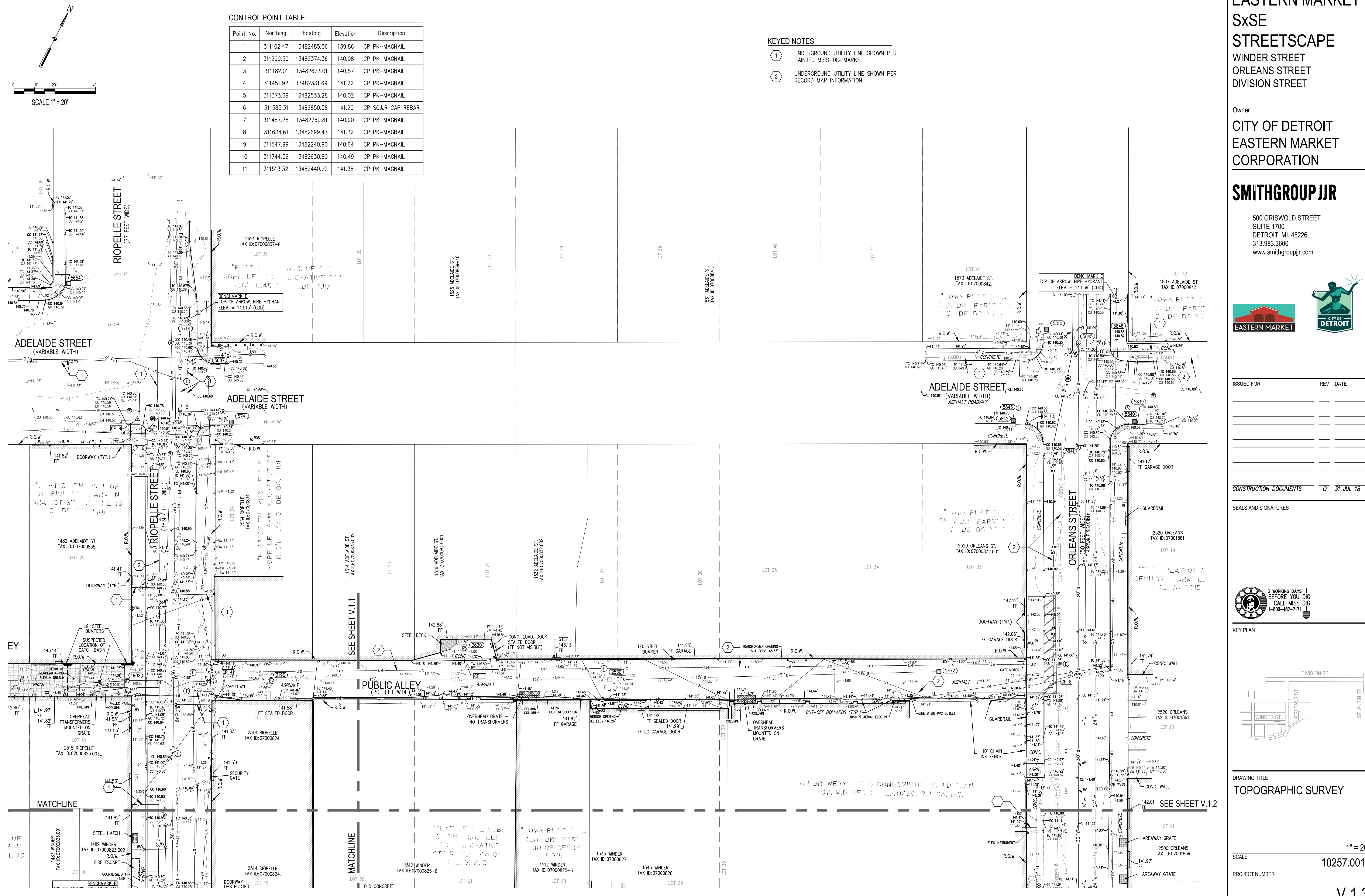
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 10257.001

PROJECT NUMBER
10257.001
 DRAWING NUMBER
V.1.3

CONTROL POINT TABLE

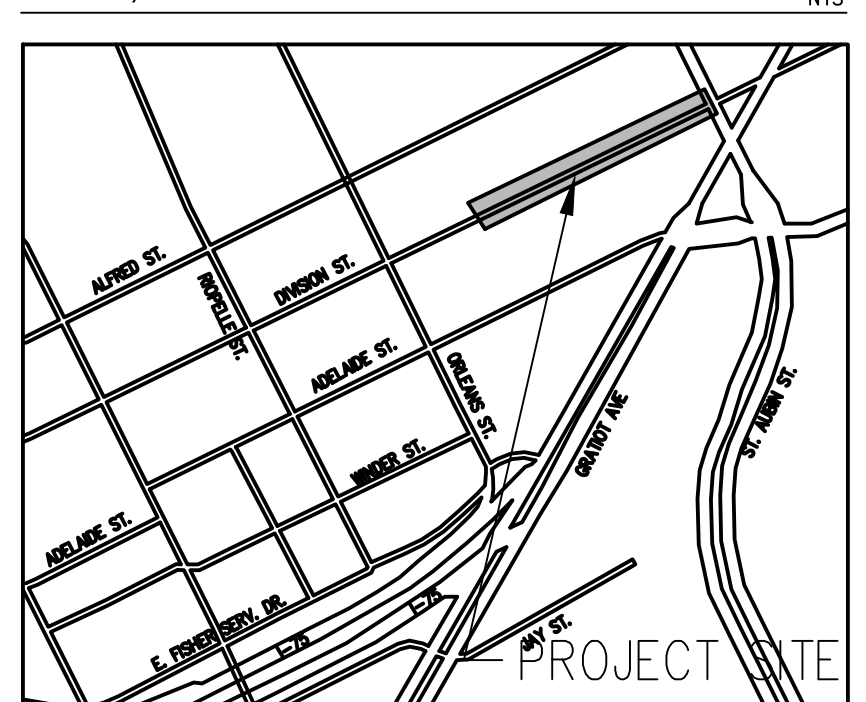
Point No.	Northing	Easting	Elevation	Description
1	311102.47	13482485.56	139.86	CP PK-MAGNAIL
2	311290.50	13482374.36	140.08	CP PK-MAGNAIL
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5	311373.69	13482533.28	140.02	CP PK-MAGNAIL
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7	311487.28	13482760.81	140.90	CP PK-MAGNAIL
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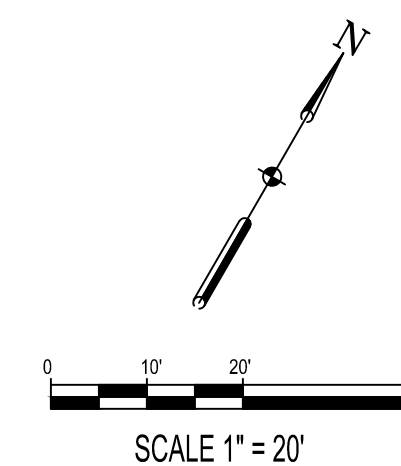
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VICINITY SKETCH -
DETROIT, MICHIGAN



TOPOGRAPHIC SURVEY

OF A PORTION OF EASTERN MARKET NEIGHBORHOOD,
T1S, R12E, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

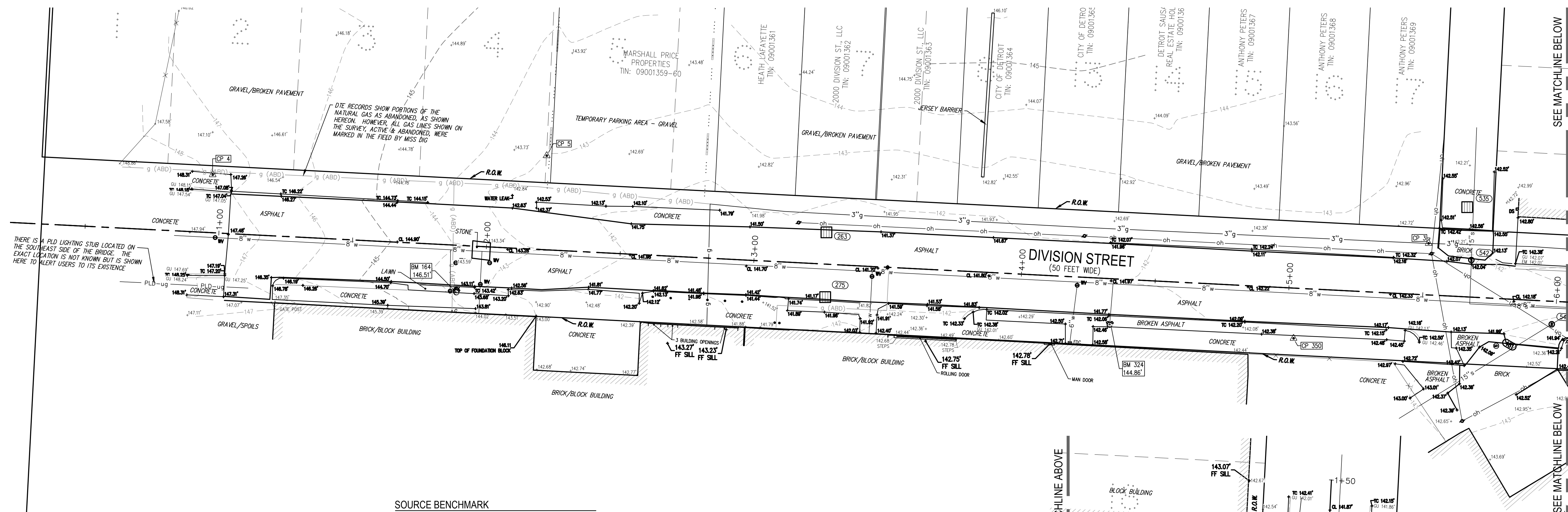


EASTERN MARKET
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SURVEYOR'S NOTES

- HORIZONTAL DATUM IS ACCORDING TO MICHIGAN STATE PLANE GRID COORDINATES, SOUTH ZONE (2113), GEOID 2012A, INTERNATIONAL FEET AS LINEAR UNIT OF MEASURE.
- VERTICAL DATUM IS THE CITY OF DETROIT (CDD) DATUM, AS ESTABLISHED ON A SURVEY BY SPALDING DEDECKER & ASSOCIATES (JOB SM08-043), DATED 09-14-2012, WITH SOURCE BENCHMARK LISTED HEREON. TO CONVERT FROM CDD DATUM TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88):
CDD + 479.38 FEET = NAVD88
- SMITHGROUPJJR PERFORMED A TOPOGRAPHIC SURVEY UTILIZING DATA COLLECTED WITH GLOBAL POSITIONING RECEIVERS REFERENCING THE MICHIGAN CONTINUOUSLY OPERATING REFERENCE NETWORK FOR SITE CONTROL AND DATA COLLECTION. ROBOTIC TOTAL STATIONS WERE ALSO USED FOR DATA COLLECTION. DATA WAS COLLECTED IN THE FIELD ON APRIL 20, 2018.
- UNLESS NOTED OTHERWISE, ALL FINISH FLOOR ELEVATIONS WERE OBSERVED ON THE DOORWAY THRESHOLD, NOT THE INTERIOR FLOOR.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING LAND BOUNDARY, EASEMENTS, RIGHTS-OF-WAY, AND OTHER INFORMATION THAT MAY AFFECT TITLE WAS GAINED FROM AVAILABLE TAX RECORDS AND/OR RECORDED LEGAL DOCUMENTS FOR ADJOINING PARCELS.
- MISS-DIG DESIGN TICKET A08860307 WAS ISSUED FOR THIS PROJECT. AS OF THE DATE OF THIS SURVEY THE FOLLOWING UTILITY OWNERS HAVE PROVIDED RECORD MAPS:
- COMCAST (TELECOM) - DTE (GAS & ELECTRIC)
- PLD (LIGHTING) - DWSD (WATER & SEWER) - ITC (POWER)
- UNDERGROUND UTILITY LOCATIONS WERE DERIVED FROM ACTUAL MEASUREMENTS ON VISIBLE UTILITIES, MISS-DIG FLAGS/MARKINGS, AND/OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS, NOR SHOULD THEY BE ASSUMED THAT THEY ARE THE ONLY UNDERGROUND UTILITIES IN THE AREA. TO DATE NONE OF THE UTILITIES WITHIN THE PROJECT LIMITS HAVE BEEN OPENED AND INVENTORIED.
- UNDERGROUND LOCATIONS OF UTILITY SERVICE LINES (ACTIVE OR INACTIVE) ARE ONLY SHOWN ON THIS DRAWING IF SUBSTANTIATED BY EITHER RECORD MAP INFORMATION OR MISS-DIG PAINT MARKINGS AND A PHYSICAL VALVE BOX OR CLEANOUT. MANY VALVE BOXES LOCATED ON THIS SURVEY HAD NEITHER RECORD MAP INFORMATION OR FIELD MARKINGS OF ANY KIND. SAID VALVE BOXES AND CLEANOUTS HAVE BEEN SHOWN HEREON WITHOUT SERVICE LINES DUE TO UNCERTAINTY OF LENGTH OR DIRECTION AND STATUS (ACTIVE OR INACTIVE).
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED AND ARE NOT CONSIDERED A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE AND/OR DEVELOPMENT OF THIS SITE.
- ADDITIONAL SPOT ELEVATIONS MAY BE CONTAINED IN THE PROJECT DATABASE, AND ALTHOUGH NOT APPEARING IN THE RECORD PLAN DOCUMENT DUE TO SCALE AND VISIBILITY, WERE UTILIZED IN THE DIGITAL TERRAIN MODEL FOR CREATION OF THE ONE-FOOT CONTOURS. THE ADDITIONAL SPOT ELEVATION DATA IS AVAILABLE FOR FUTURE DESIGN ANALYSIS, BEING LOCATED ON A FROZEN LAYER WITHIN THE PROJECT DATABASE.

SOURCE BENCHMARK

SITE BM #5
SPALDING DEDECKER & ASSOCIATES SURVEY (JOB SM08-043) DATED 9-14-2012, SCRIBED "X" ON SOUTHEAST CORNER OF TRANSFORMER PAD AT NORTHWEST CORNER OF MARKET AND ADELAIDE.

NORTHING = 311,502.68
EASTING = 13,482,052.16
ELEVATION = 142.58 FEET (CDD*)

* SEE NOTE 2 IN SURVEYOR'S NOTES BELOW

SITE BENCHMARK TABLE

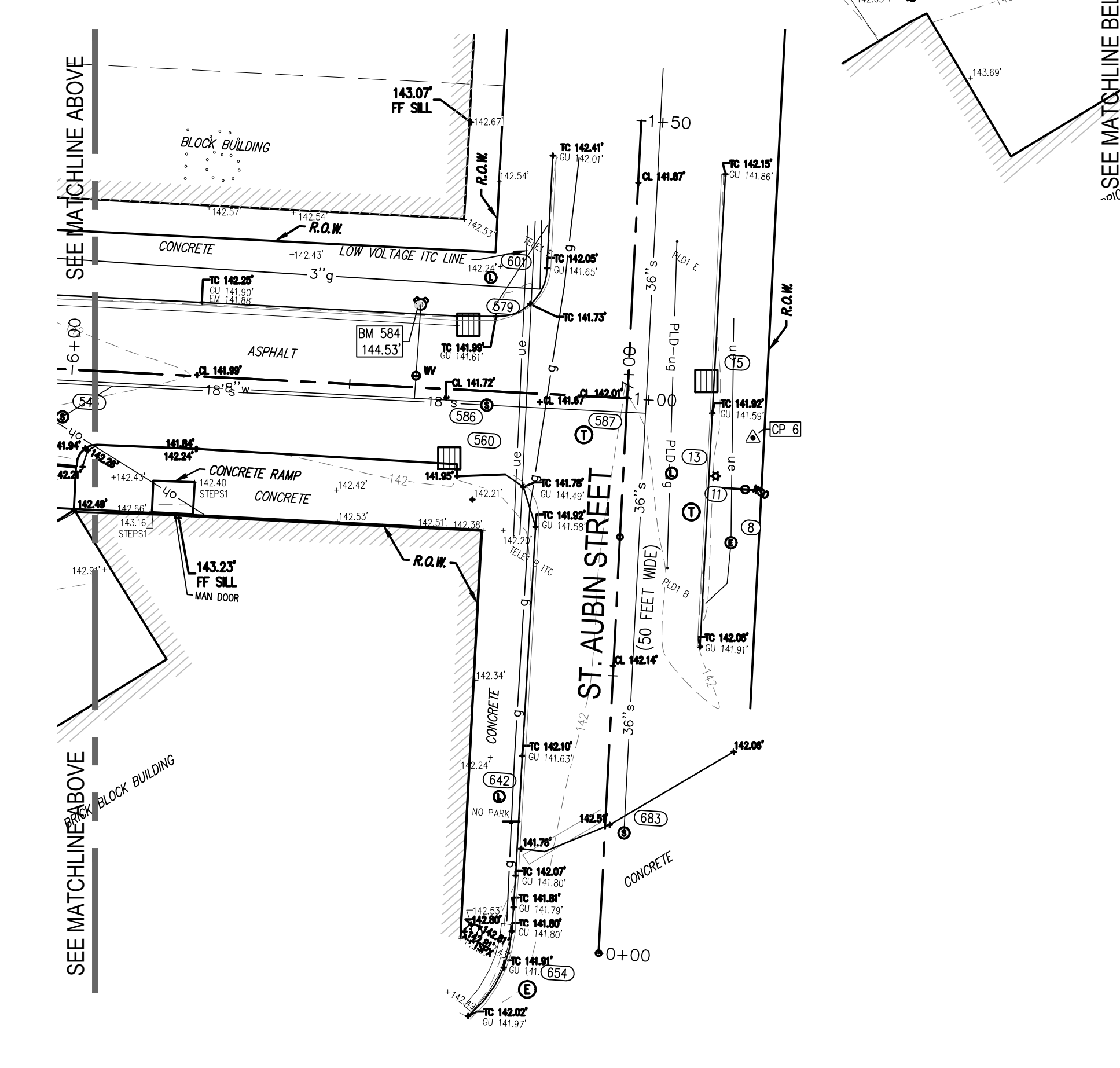
Point No.	Northing	Easting	Elevation	Description
164	312236.10	13482984.34	146.51	BM A ARROW ON HYDRANT
324	312347.70	13483201.96	144.86	BM B ARROW ON HYDRANT
584	312479.83	13483389.67	144.53	BM C ARROW ON HYDRANT

CONTROL POINT TABLE

Point No.	Northing	Easting	Elevation	Description
3	312433.49	13483289.37	142.73	CP SGJR CAP REBAR
4	312228.70	13482883.45	147.72	CP PK-MAGNAIL
5	312297.24	13482987.90	143.06	CP SGJR CAP REBAR
6	312489.21	13483453.78	142.30	CP PK-MAGNAIL
350	312377.58	13483263.43	142.49	CP PK-MAGNAIL

SURVEY LEGEND

<p>BM #1 BENCHMARK CP #1 CONTROL POINT ROW FOUND IRON BAR OR PIPE WCR WAYNE COUNTY RECORDS + TO 700.00 SPOT ELEVATION + TO 700.50 GUTTER ELEVATION + EM 700.70 EDGE OF METAL ELEVATION + CC 700.70 CURB CUT ELEVATION + TW 703.00 TOP OF WALL ELEVATION + BW 703.00 BOTTOM OF WALL ELEVATION + FF 700.00 FINISH FLOOR ELEVATION + FF 700.00 MISC. POINT + AC AIR CONDITIONER + H/C HEATING/COOLING UNIT (HVAC) + END OF UTILITY NOT KNOWN/SHOWN + BRICK PAVEMENT + CONCRETE BUMPER BLOCK + TOPOGRAPHIC CONTOUR + BUILDING PERIMETER + BUILDING ROOF OVERHANG + GAS SHUT OFF VALVE + ELECTRIC OR GAS METER</p>	<p>SIGN PARKING METER BOLLARD OR POST PAVEMENT MARKING - ADA PARKING RIGHT-OF-WAY CATCH BASIN (ROUND) CATCH BASIN (BEEHIVE) CATCH BASIN (SQUARE) CURB INLET STORM MANHOLE SANITARY MANHOLE CURB CUT ELEVATION TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION FINISH FLOOR ELEVATION MISC. POINT AIR CONDITIONER HEATING/COOLING UNIT (HVAC) END OF UTILITY NOT KNOWN/SHOWN BRICK PAVEMENT CONCRETE BUMPER BLOCK TOPOGRAPHIC CONTOUR BUILDING PERIMETER BUILDING ROOF OVERHANG GAS SHUT OFF VALVE ELECTRIC OR GAS METER</p>	<p>ELECTRIC TRANSFORMER CABLE OR TELECOM RISER UTILITY POLE GUY WIRE LIGHT POLE OR LAMP POST TRAFFIC SIGNAL POLE (TSP) TSP WITH CROSSWALK SIGNAL CROSSWALK SIGNAL POST TRAFFIC SIGNAL LAMP RAILROAD SIGNAL CLOSED CIRCUIT CAMERA ADA DETECTABLE WARNING MAT ADA PAD (STAMPED CONCRETE) FIRE HYDRANT WATER SHUT OFF VALVE FIRE DEPT. CONNECTION POST INDICATOR VALVE WELL IRRIGATION CONTROL VALVE PLATTED LOT LINE RIGHT-OF-WAY (ROW) LINE EASEMENT MATCHLINE</p>	<p>FENCE LINE HANDRAIL GUARDRAIL CENTERLINE OF DITCH CENTERLINE OF SWALE RAILROAD TRACKS UNDERGROUND TELECOMMUNICATION FIBER OPTIC CABLE TELEVISION NATURAL GAS NATURAL GAS (ABANDONED) PETROLEUM PIPELINE OVERHEAD UTILITY SANITARY SEWER STORM SEWER WATER MAIN WATER MAIN (ABANDONED) CHILLED WATER HOT WATER (STEAM) LINE FIRE SUPPRESSION PUBLIC LIGHTING - UNDERGROUND PUBLIC LIGHTING - OVERHEAD</p>
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ISSUED FOR _____ REV DATE _____

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN

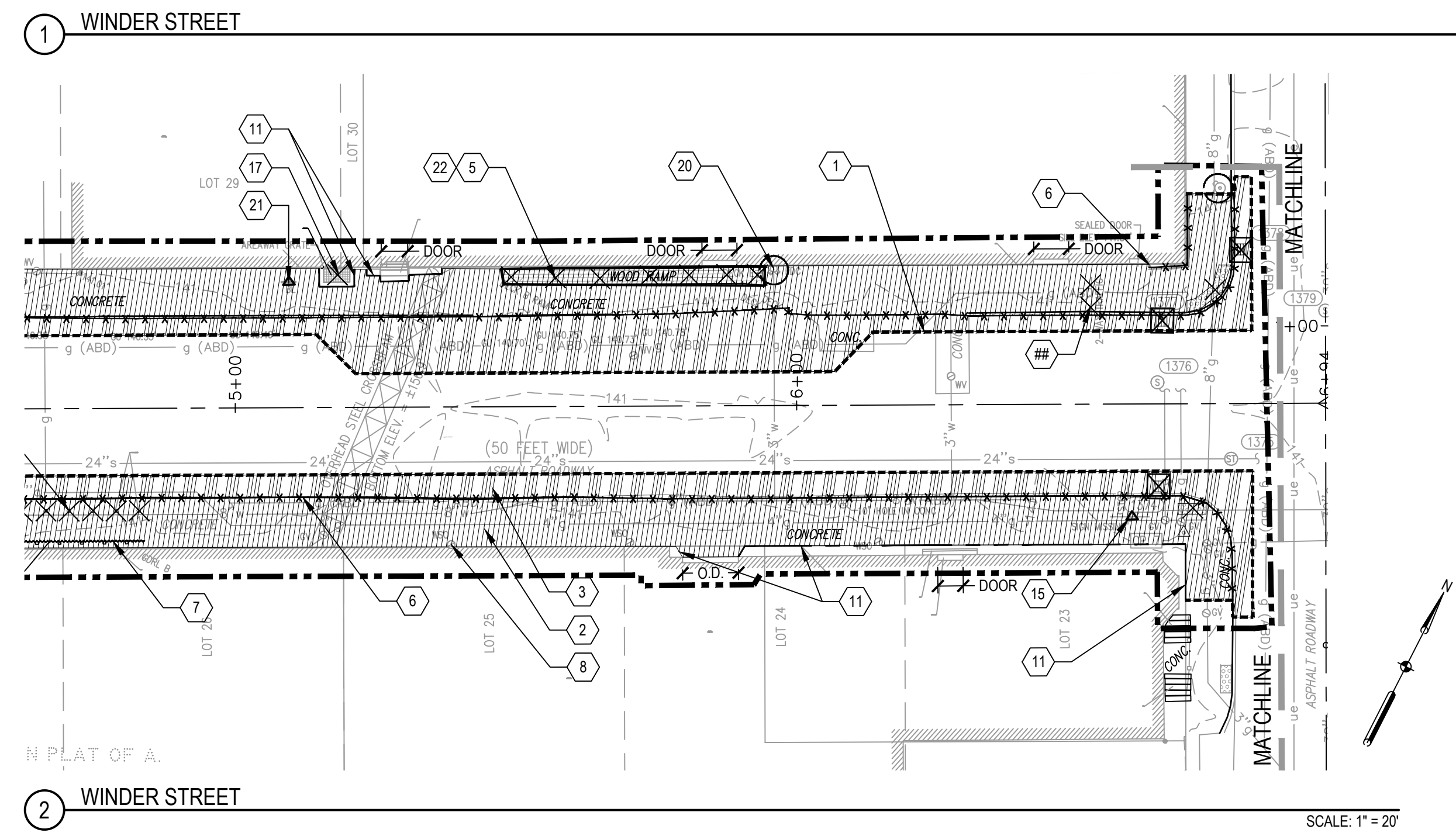
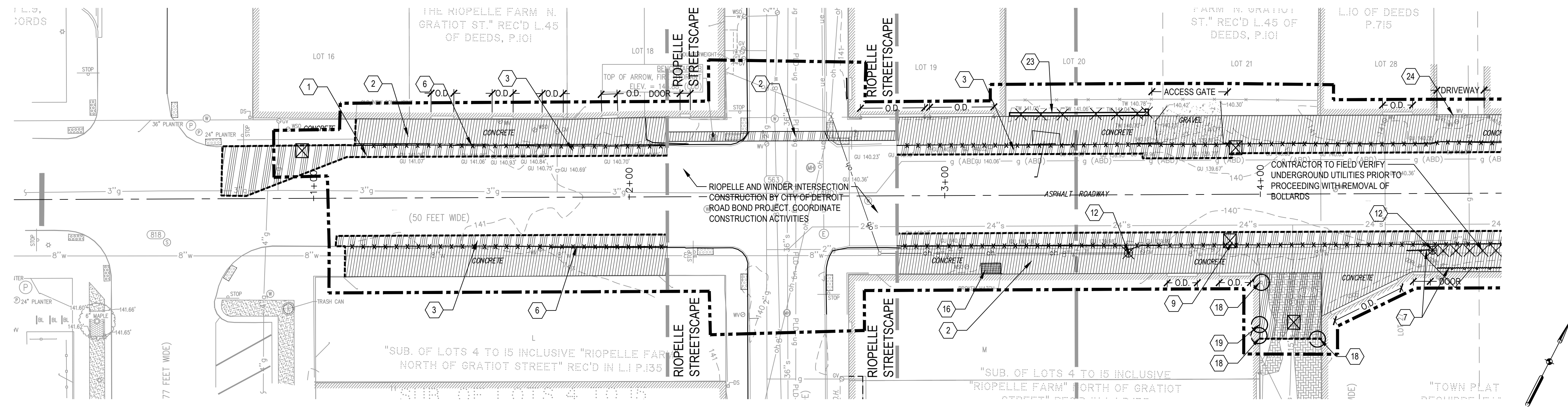


DRAWING TITLE
TOPOGRAPHIC SURVEY

SCALE 1" = 20'
PROJECT NUMBER 10257.001

DRAWING NUMBER V.1.4

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SD-101 - SITE REMOVALS & SESC PLAN - WINDER STREET

QTY	UNIT	MDOT #	ITEM DESCRIPTION
1.00	LS	1500001	Mobilization, Max.
1.00	LS	8240001	Contractor Staking
1,143	Syd	2040055	_Sidewalk, Rem, Modified
664	Syd	2040050	_Pavt, Rem, Modified
1,111	Syd	5010002	Cold Milling HMA Surface
1,040	Ft	2040021	_Curb, Rem, Modified
0.00	Acre	2010001	_Clearing, Modified
0	Ea	2047050	_Parking Block, Rem and Salv
0	Ea	2047050	_Fence, Gate, Adjust
45	Ft	2047001	_Foundation, Rem
2	Ea	2047050	_Sign and Post, Salv
2	Ea	2047050	_Vault, Grate
2	Ea	2047050	_Vault, Repair
10	Ea	2080022	Erosion Control, Inlet Protection, Geotextile and Stone
30	Cyd	2080026	Erosion Control, Maintenance, Sediment Removal
0	Ea	2047050	_Utility Pole, Rem (By CONTRACTOR)
2	Ea	2047050	_Utility Pole, Rem (By PLA)
0	Ea	2047050	_Utility Pole, Rem (By DTE)
1	Ea	2047050	_Bike Rack, Rem and Salv
1	Ea	2047050	_Wood Ramp, Stair, Foundation, Rem
1	LS	8127051	_Pavt Mkg, Rem
1	LS	2047051	_Property Access, Protection, Temp
1	LS	8120170	_Minor Traf Devices, Modified

SHEET NOTES

- CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS.
- FIRE HYDRANT LOCATED AT WINDER AND RIOPELLE TO REMAIN.
- FOUNDATIONS FOR WOOD RAMP, STAIR SHALL BE REMOVED TO A DEPTH LOWER THAN THE PROPOSED SIDEWALK PROFILE DEPTH. VOIDS SHALL BE BACKFILLED WITH AGGREGATE BASE, 21AA AS NEEDED.
- BUILDING FOUNDATION REMOVAL, CONTRACTOR SHALL REMOVE THE FOUNDATION LOWER THAN THE SIDEWALK PROFILE DEPTH. VOIDS SHALL BE BACKFILLED WITH GRANULAR MATERIAL, CII AS NEEDED.
- CONTRACTOR TO NOTIFY PROPERTY OWNER AND ENGINEER WHEN UTILITY HATCH IS REMOVED. VAULT TO BE CLEANED OUT BY PROPERTY OWNER.
- CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER.
- COORDINATE BOLLARD REMOVAL TO NOT INTERFERE WITH GAS LINE SERVICE.

KEYED NOTES

- CONSTRUCTION LIMIT LINE
- - - RIGHT-OF-WAY LINE
- - - PROPERTY LINE
- MATCH LINE
- 20+00 HORIZONTAL ALIGNMENT
- 1 SAWCUT PAVEMENT (AT NEAREST JOINT)
- 2 SIDEWALK, REM, MODIFIED
- 3 PAVT, REM, MODIFIED (FULL PAVEMENT DEPTH REMOVAL INCLUDING SUB-BASE MATERIAL. MAY INCLUDE BRICK / CONCRETE / HMA / AGGREGATE)
- 4 CLEARING, MODIFIED
- 5 COORDINATION NEEDED FOR REMOVAL OF OBJECT
- 6 CURB, REM, MODIFIED
- 7 GUARDRAIL, REM
- 8 SURFACE UTILITY ADJUSTMENT (SEE GRADING AND DRAINAGE PLAN)
- 9 EROSION CONTROL, INLET PROTECTION, GEOTEXTILE AND STONE (R-96-E)
- 10 PROTECT FIRE HYDRANT
- 11 PROTECT UNDERGROUND VAULT
- 12 UTILITY POLE, REM (BY PLA)
- 13 UTILITY POLE, REM (BY DTE)
- 14 UTILITY POLE, REM (BY CONTRACTOR)
- 15 SIGN AND POST, SALV
- 16 VAULT, REPAIR
- 17 VAULT, GRATE (REFER TO NOTE #5)
- 18 PROTECT DOWNSPOUT
- 19 PROTECT GAS METER
- 20 PROTECT WALL HYDRANT
- 21 BIKE RACK, REM AND SALV
- 22 WOOD RAMP, STAIR, FOUNDATION, REM (REFER TO NOTE #3)
- 23 FOUNDATION, REM (REFER TO NOTE #4)
- 24 CONTRACTOR TO COORDINATE WITH PROPERTY OWNER ON EXISTING GATE AND BOLLARDS TO REMAIN
- 25 PARKING BLOCK, REM, SALV
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- 27 PROTECT EXISTING GRATE
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- 29 PROTECT EXISTING UTILITY POLE

EASTERN MARKET
SxSE
STREETSCAPE
WINDER STREET
ORLEANS STREET
DIVISION STREET

Owner:
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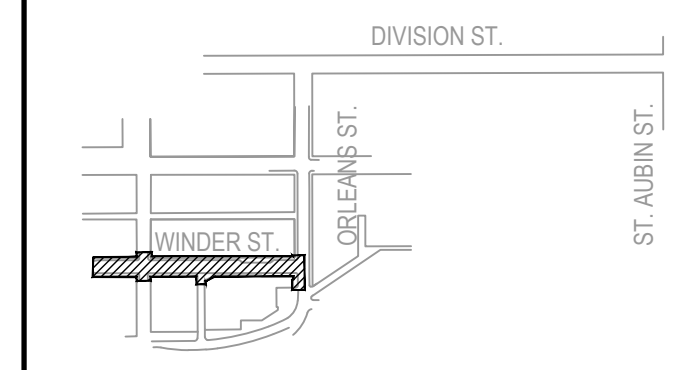
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CONSTRUCTION DOCUMENTS: 0 31 JUL 18

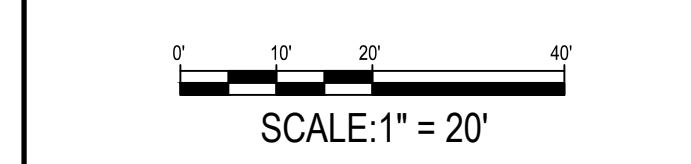
SEALS AND SIGNATURES

KEY PLAN

PROJECT NORTH



DRAWING TITLE
SITE REMOVALS & SESC
PLAN - WINDER STREET

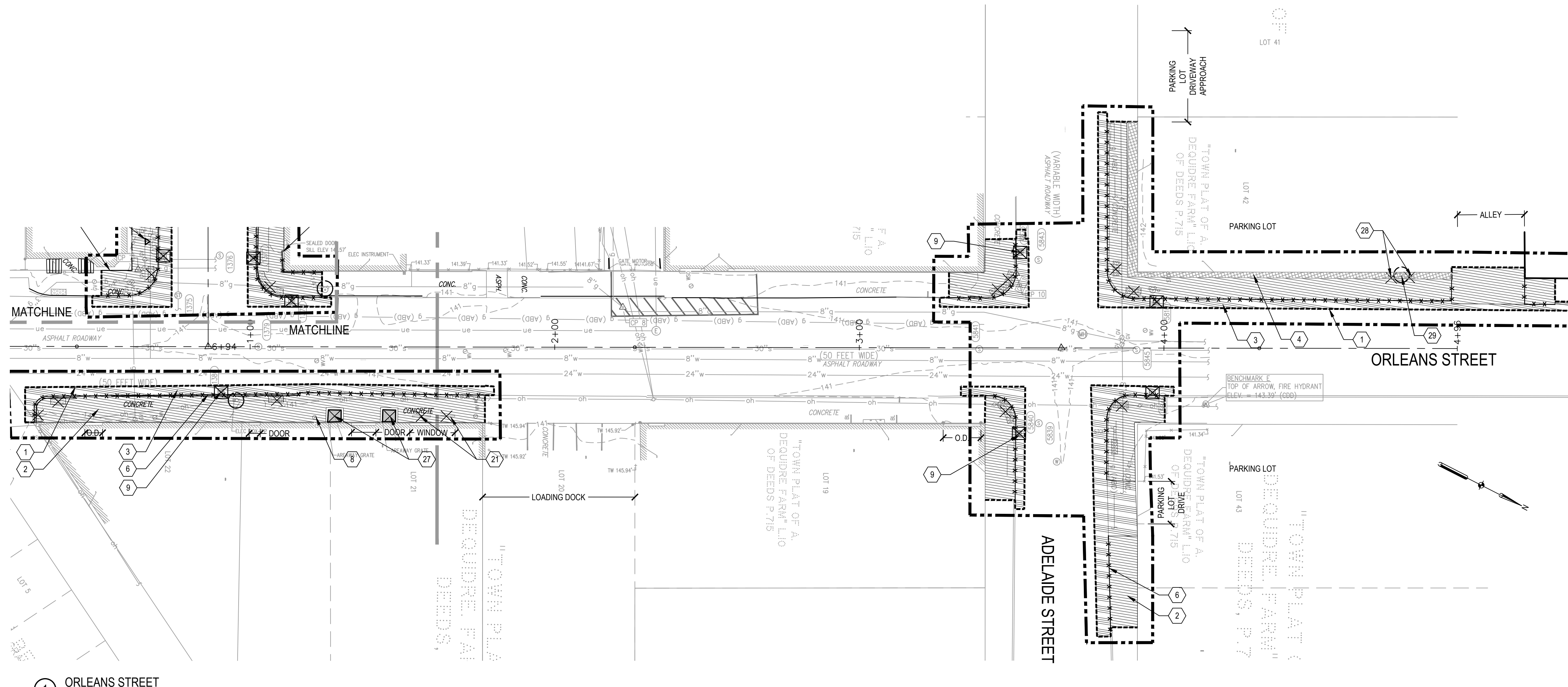


SCALE: 10257.001

PROJECT NUMBER

DRAWING NUMBER

CD-101



SHEET NOTES

- CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS.
- FIRE HYDRANT LOCATED AT WINDER AND RIOPELLE TO REMAIN.
- FOUNDATIONS FOR WOOD RAMP, STAIR SHALL BE REMOVED TO A DEPTH LOWER THAN THE PROPOSED SIDEWALK PROFILE DEPTH. VOIDS SHALL BE BACKFILLED WITH AGGREGATE BASE, 21AA AS NEEDED.
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- CONTRACTOR TO NOTIFY PROPERTY OWNER AND ENGINEER WHEN UTILITY HATCH IS REMOVED. VAULT TO BE CLEANED OUT BY PROPERTY OWNER.
- CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER.
- COORDINATE BOLLARD REMOVAL TO NOT INTERFERE WITH GAS LINE SERVICE.

KEYED NOTES

- CONSTRUCTION LIMIT LINE
- - - RIGHT-OF-WAY LINE
- - - PROPERTY LINE
- MATCH LINE
- 20+00 HORIZONTAL ALIGNMENT
- 1 SAWCUT PAVEMENT (AT NEAREST JOINT)
- 2 SIDEWALK, REM, MODIFIED
- 3 PAVT, REM, MODIFIED (FULL PAVEMENT DEPTH REMOVAL INCLUDING SUB-BASE MATERIAL. MAY INCLUDE BRICK / CONCRETE / HMA / AGGREGATE)
- 4 CLEARING, MODIFIED
- 5 COORDINATION NEEDED FOR REMOVAL OF OBJECT
- 6 CURB, REM, MODIFIED
- 7 GUARDRAIL, REM
- 8 SURFACE UTILITY ADJUSTMENT (SEE GRADING AND DRAINAGE PLAN)
- 9 EROSION CONTROL, INLET PROTECTION, GEOTEXTILE AND STONE (R-96-E)
- 10 PROTECT FIRE HYDRANT
- 11 PROTECT UNDERGROUND VAULT
- 12 UTILITY POLE, REM (BY PLA)
- 13 UTILITY POLE, REM (BY DTE)
- 14 UTILITY POLE, REM (BY CONTRACTOR)
- 15 SIGN AND POST, SALV
- 16 VAULT, REPAIR
- 17 VAULT, GRATE (REFER TO NOTE #5)
- 18 PROTECT DOWNSPOUT
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SD-102 - SITE REMOVALS & SESC PLAN - ORLEANS STREET

QTY	UNIT	MDOT #	ITEM DESCRIPTION
1.00	LS	1500001	Mobilization, Max.
1.00	LS	8240001	Contractor Staking
443	Syd	2040055	_Sidewalk, Rem, Modified
237	Syd	2040050	_Pavt, Rem, Modified
650	Syd	5010002	Cold Milling HMA Surface
500	Ft	2040021	_Curb, Rem, Modified
0.00	Acre	2010001	_Clearing, Modified
4	Ea	2047050	_Parking Block, Rem and Salv
0	Ea	2047050	_Fence, Gate, Adjust
0	Ft	2047001	_Foundation, Rem
3	Ea	2047050	_Sign and Post, Salv
2	Ea	2047050	_Vault, Grate
2	Ea	2047050	_Vault, Repair
5	Ea	2080022	Erosion Control, Inlet Protection, Geotextile and Stone
15	Cyd	2080026	Erosion Control, Maintenance, Sediment Removal
0	Ea	2047050	_Utility Pole, Rem (By CONTRACTOR)
0	Ea	2047050	_Utility Pole, Rem (By PLA)
0	Ea	2047050	_Utility Pole, Rem (By DTE)
0	Ea	2047050	_Bike Rack, Rem and Salv
0	Ea	2047050	_Wood Ramp, Stair, Foundation, Rem
1	LS	8127051	_Pavt Mkg, Rem
1	LS	2047051	_Property Access, Protection, Temp
1	LS	8120170	_Minor Traf Devices, Modified

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STREETSCAPE**
WINDER STREET
ORLEANS STREET
DIVISION STREET

Owner:
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EASTERN MARKET
CORPORATION**

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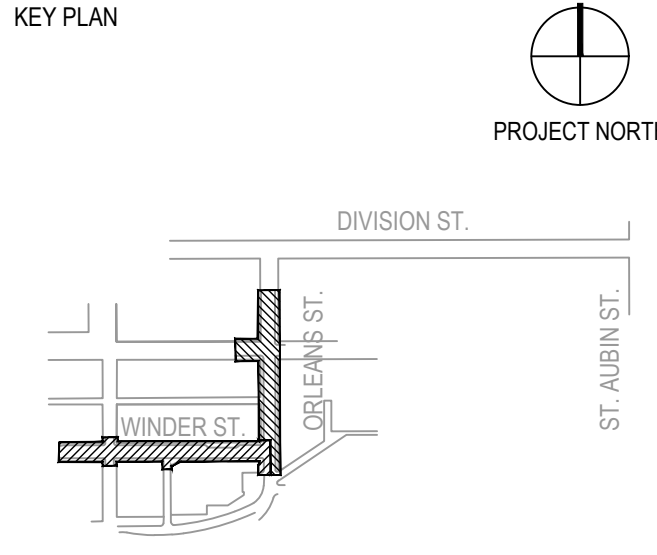
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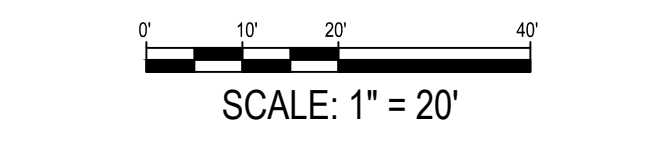
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CONSTRUCTION DOCUMENTS	0	31 JUL 18

SEALS AND SIGNATURES

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DRAWING TITLE
**SITE REMOVALS & SESC
PLAN - ORLEANS STREET**

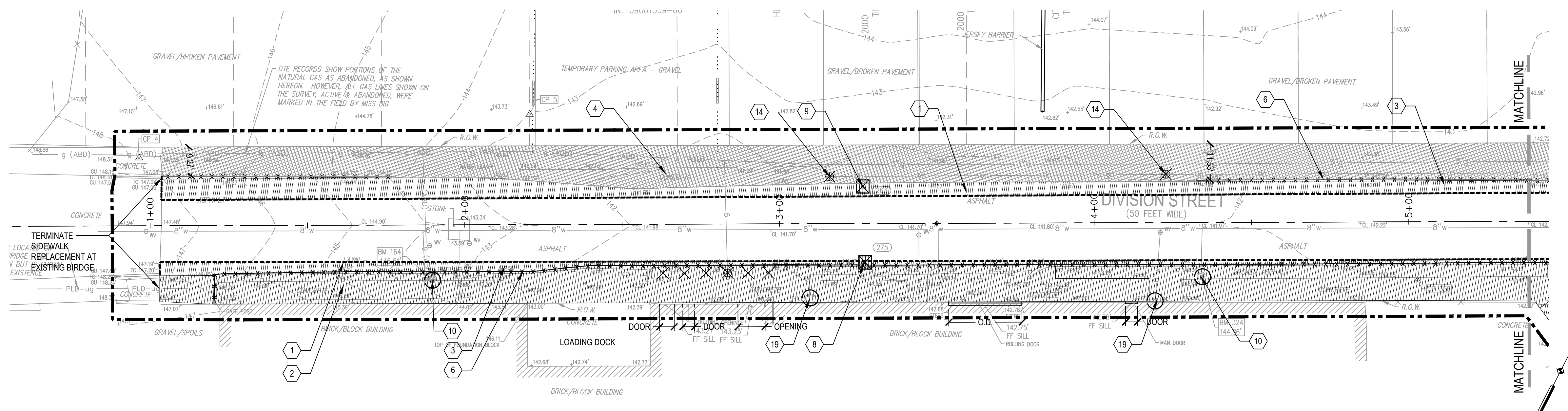


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PROJECT NUMBER

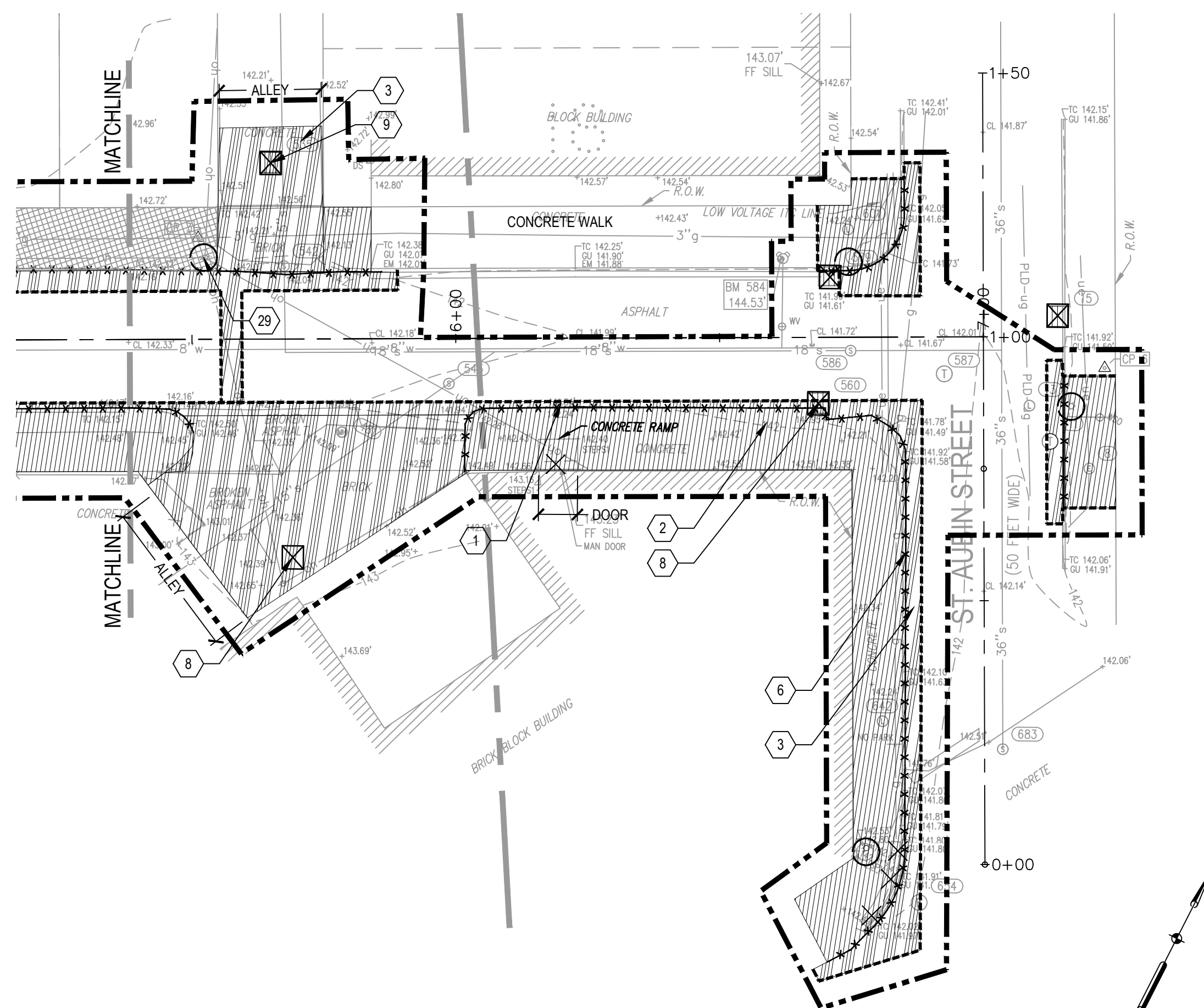
CD-102

DRAWING NUMBER



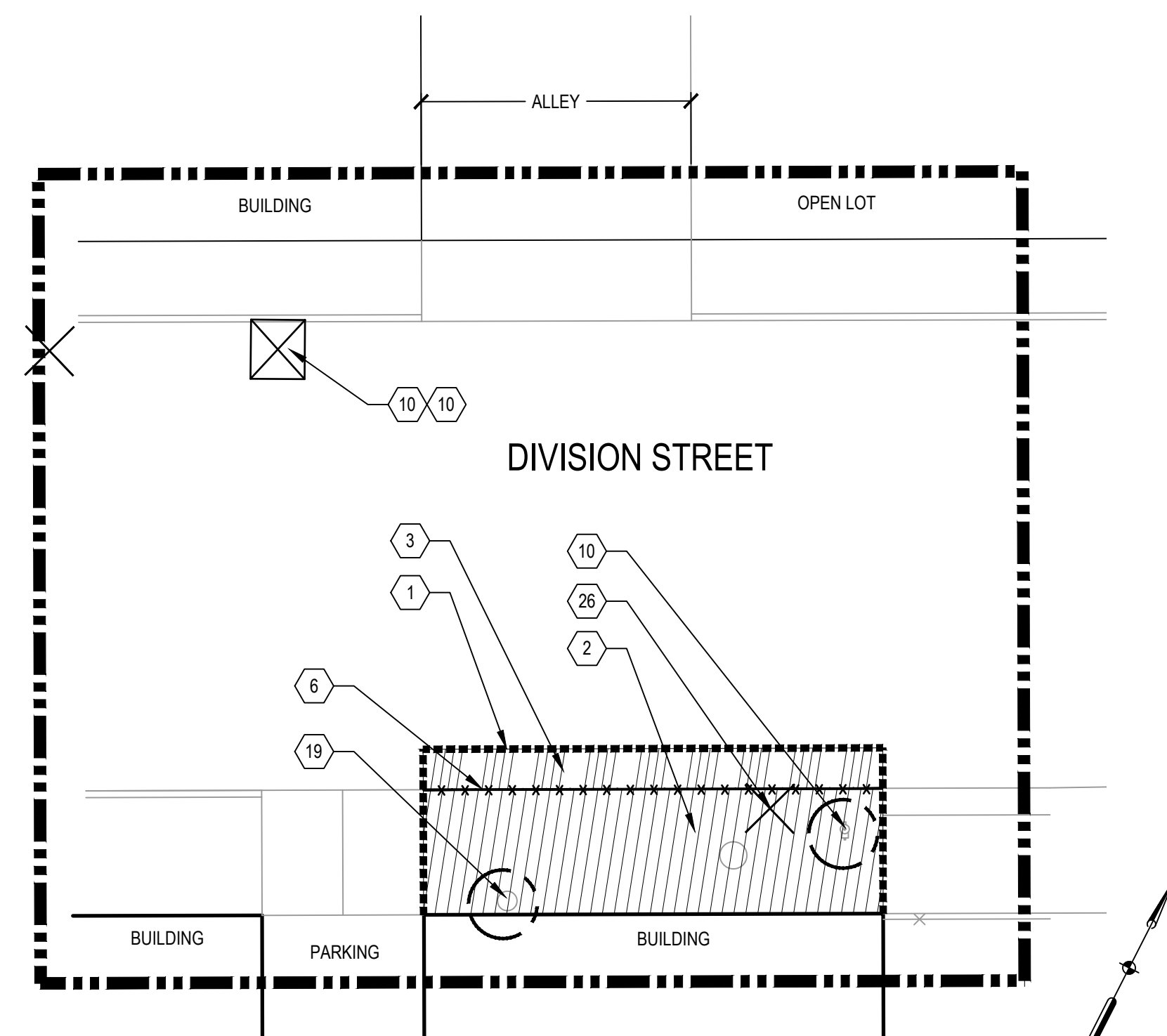
1 DIVISION STREET

SCALE: 1" = 20'



2 DIVISION / ST. AUBIN STREET

SCALE: 1" = 20'



3 DIVISION STREET (WEST)

SCALE: 1" = 10'

SD-103 - SITE REMOVALS & SESC PLAN - DIVISION STREET

QTY	UNIT	MDOT #	ITEM DESCRIPTION
1.00	LS	1500001	Mobilization, Max.
1.00	LS	8240001	Contractor Staking
0	Syd	2040055	_Sidewalk, Rem, Modified
708	Syd	2040050	_Pavt, Rem, Modified
1,380	Syd	5010002	Cold Milling HMA Surface
979	Ft	2040021	_Curb, Rem, Modified
0.12	Acre	2010001	_Clearing, Modified
0	Ea	2047050	_Parking Block, Rem and Salv
0	Ea	2047050	_Fence, Gate, Adjust
0	Ft	2047001	_Foundation, Rem
2	Ea	2047050	_Sign and Post, Salv
0	Ea	2047050	_Vault, Grate
0	Ea	2047050	_Vault, Repair
13	Ea	2080022	Erosion Control, Inlet Protection, Geotextile and Stone
39	Cyd	2080026	Erosion Control, Maintenance, Sediment Removal
2	Ea	2047050	_Utility Pole, Rem (By CONTRACTOR)
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3	Ea	2047050	_Utility Pole, Rem (By DTE)
0	Ea	2047050	_Bike Rack, Rem and Salv
0	Ea	2047050	_Wood Ramp, Stair, Foundation, Rem
1	LS	8127051	_Pavt Mkg, Rem
1	LS	2047051	_Property Access, Protection, Temp
1	LS	8120170	_Minor Traf Devices, Modified

SHEET NOTES

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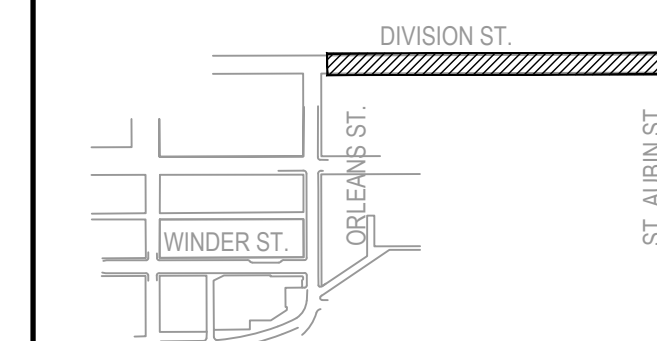


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CONSTRUCTION DOCUMENTS	0	31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE
SITE REMOVALS & SESC
PLAN - DIVISION STREET

SCALE: 1" = 20'

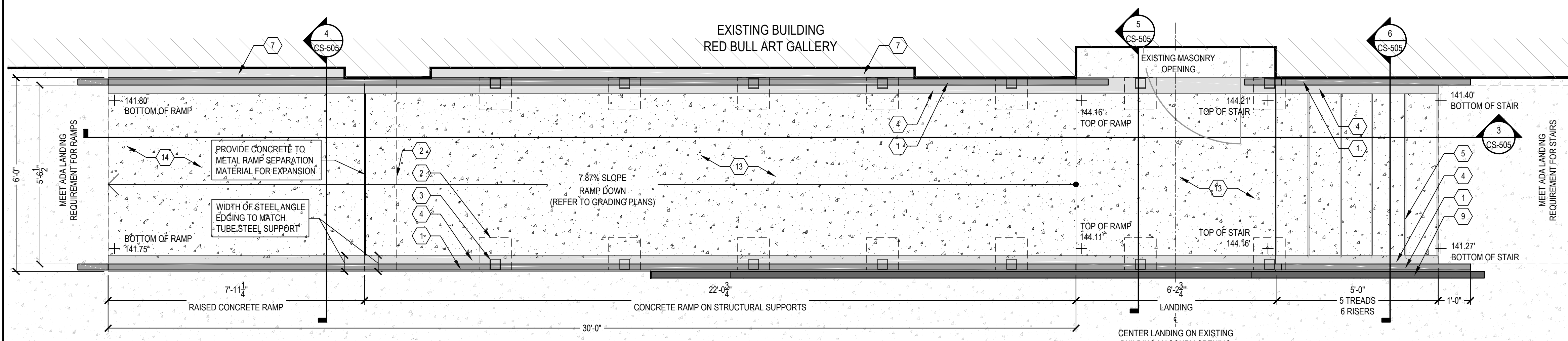
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PROJECT NUMBER

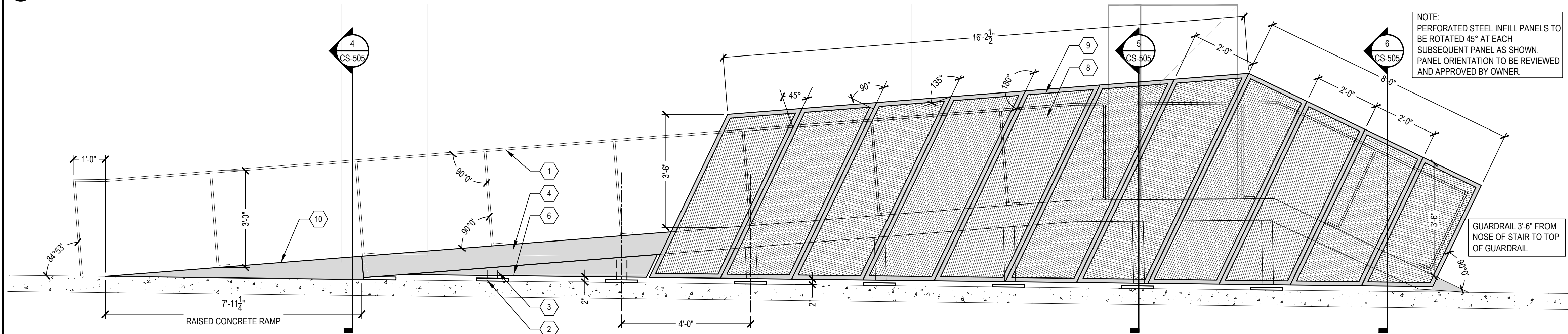
CD-103

DRAWING NUMBER

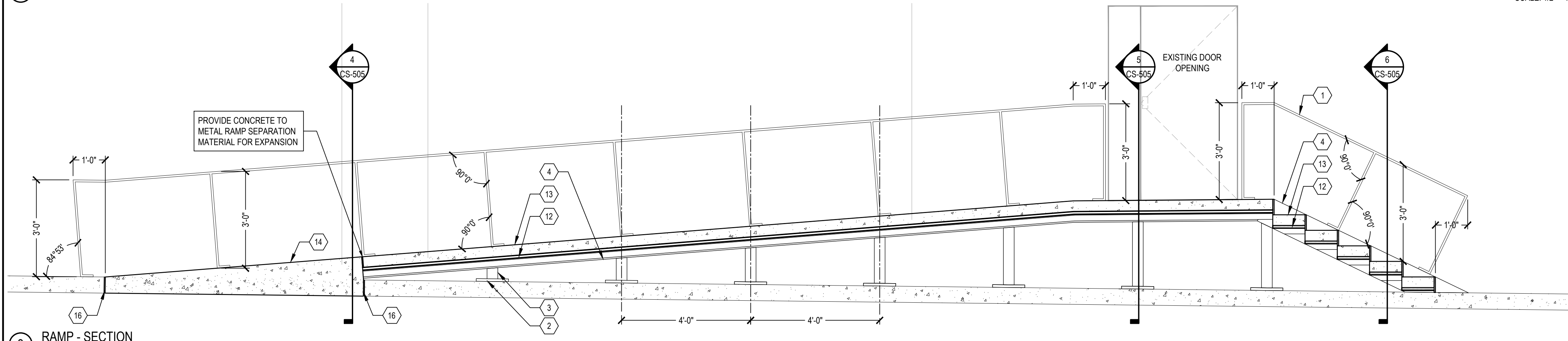
EXISTING BUILDING
RED BULL ART GALLERY



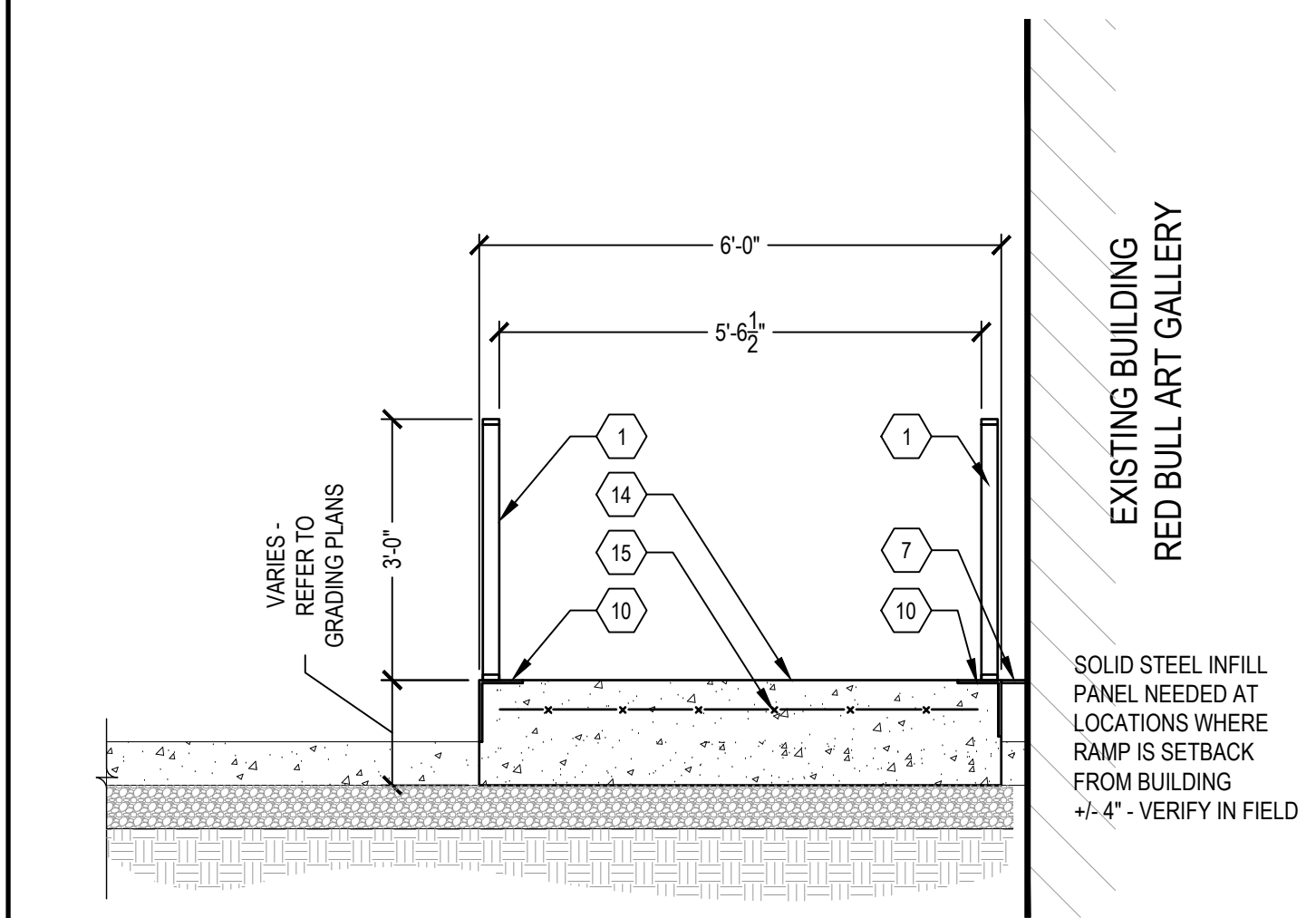
1 RAMP - PLAN SCALE: 1/2" = 1'



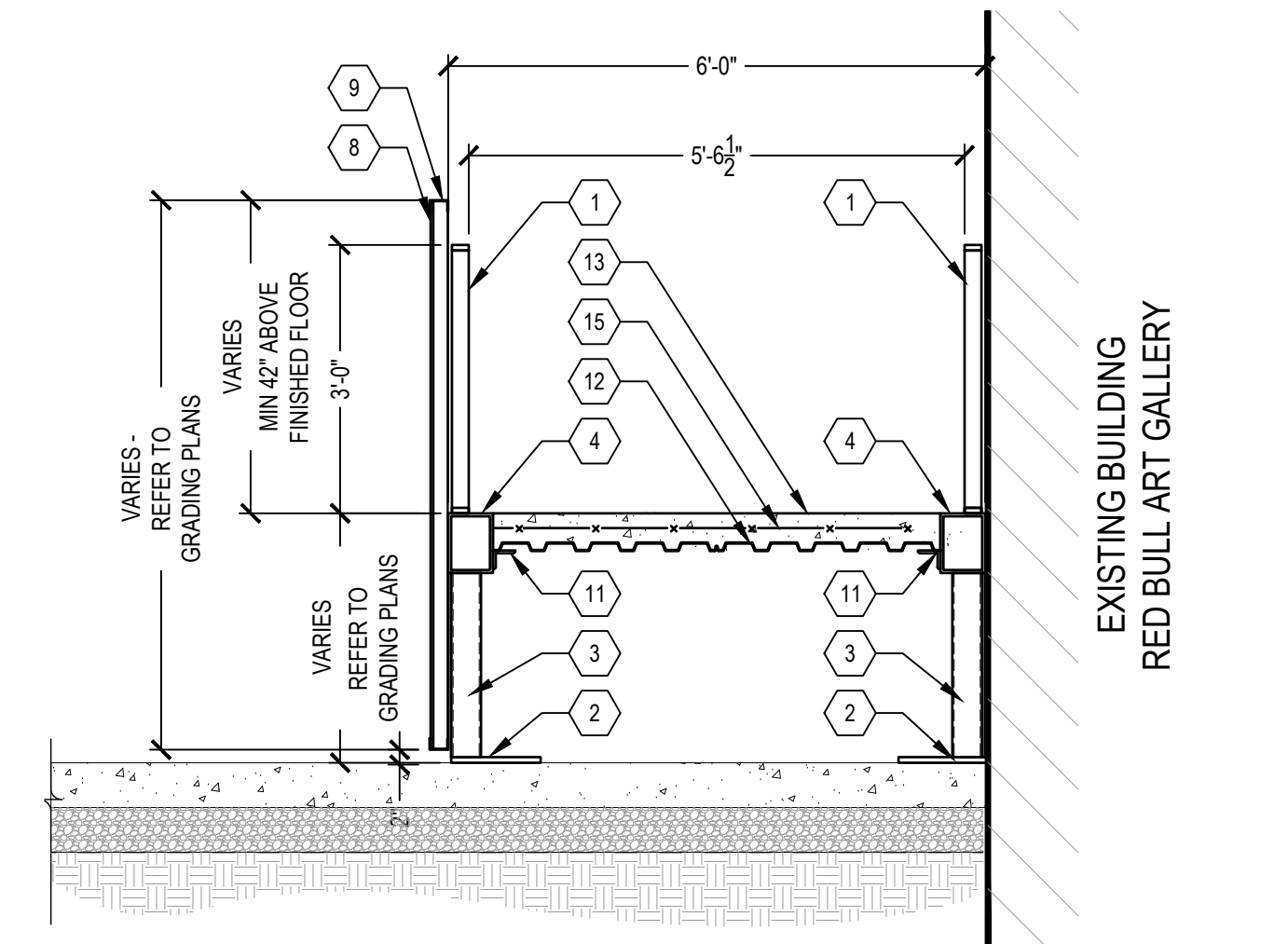
2 RAMP - ELEVATION SCALE: 1/2" = 1'



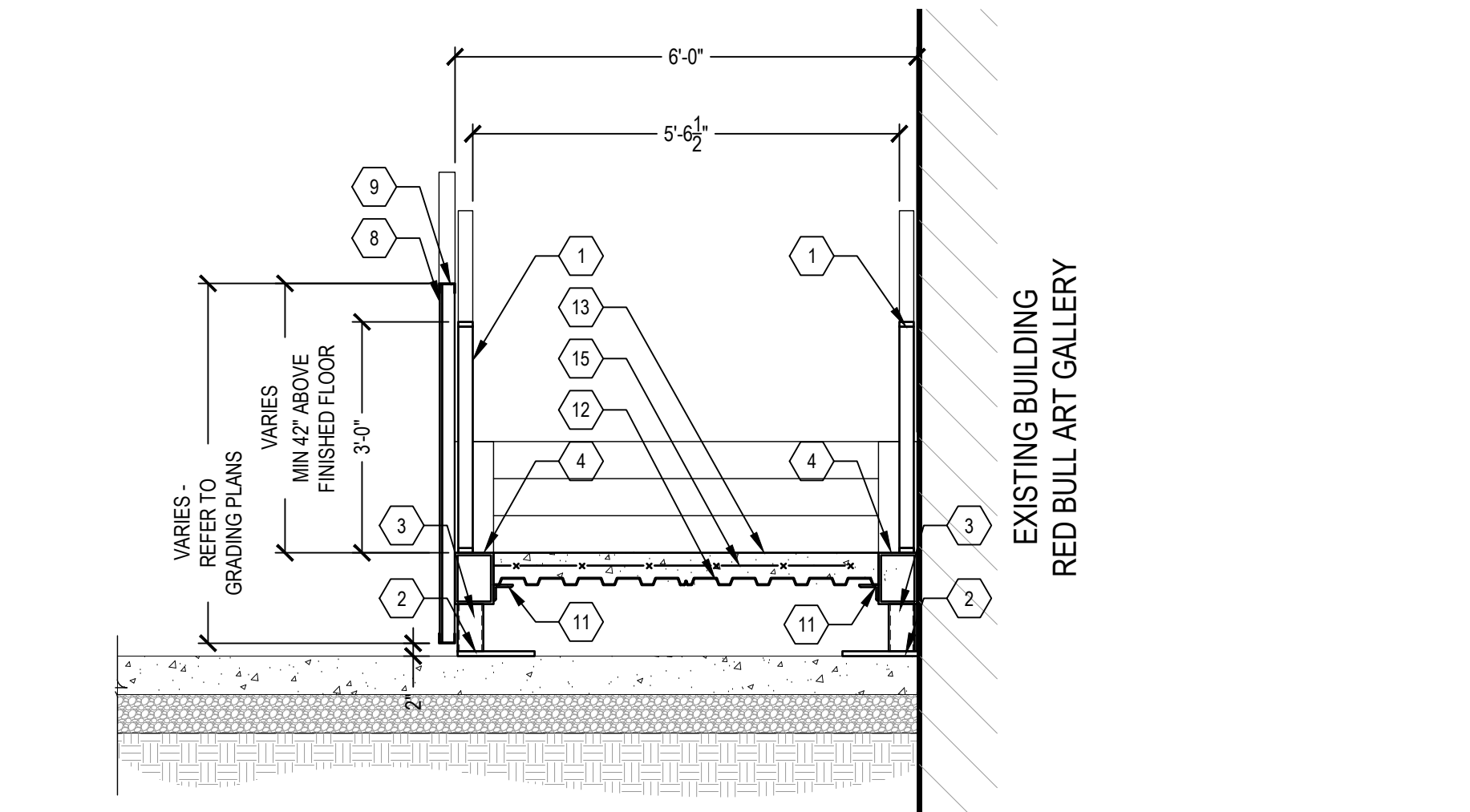
3 RAMP - SECTION SCALE: 1/2" = 1'



4 CONCRETE RAMP - SECTION SCALE: 1/2" = 1'



5 LANDING - SECTION SCALE: 1/2" = 1'



6 STAIR - SECTION SCALE: 1/2" = 1'

SHEET NOTES

- THE CONTRACTOR IS REQUIRED TO PROVIDE THE ENGINEERING AND STRUCTURAL DESIGN AS WELL AS ALL OTHER REQUIRED COMPONENTS IN ORDER TO PROVIDE A COMPLETE AND OPERATIONAL ADA RAMP AND STAIRS THAT MATCHES THE DESIGN ILLUSTRATED. MODIFICATIONS TO THE FOUNDATION, ANCHORAGES/FASTENERS, STRUCTURAL MEMBERS AND OTHER COMPONENTS MAY BE NECESSARY.
- THE RAMP DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ARE PROVIDED TO ILLUSTRATE THE AESTHETIC, PERFORMANCE AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY THE FORM AND OVERALL SCALE OF THE RAMP AND STAIRS. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL WORK AND INSTALLED RAMP AND STAIRS MEETS ALL APPLICABLE CODES, LAWS AND REGULATIONS. THE DESIGN LOADS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL AND MICHIGAN BUILDING CODES. PERFORATED SCREEN PANELS PROVIDED TO ACT AS THE RAMP AND STAIRS GUARDRAIL MUST WITHSTAND 100 MPH WIND LOADS AND MEET ALL APPLICABLE BUILDING CODES, LAWS AND REGULATIONS.
- SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE RAMP AND STAIRS INSTALLATION TO THE ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.
- THE CONTRACTOR IS REQUIRED TO PROVIDE THE ENGINEERING, MATERIALS, EQUIPMENT, FABRICATION, TOOLS, LABOR AND INSTALLATION OF THE RAMP AND STAIRS INCLUDING ALL ANCHORAGES/JOINING ACCESSORIES, FOUNDATIONS, FITTINGS, FASTENINGS, STRUCTURAL SUPPORTS, RIGGING AND FINISHES. ALL MATERIALS SHALL BE DESIGNED AND RATED FOR EXTERIOR ENVIRONMENTS. PROVIDE STEEL FRAMING AND SUPPORTS NOT SPECIFIED AND/OR SHOWN AS NEEDED TO PROPERLY SUPPORT AND COMPLETE THE DESIGN OF THE RAMP AND STAIRS.
- VERIFY FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION. COORDINATE RAMP SLOPES, STAIR RISERS AND TREAD DIMENSIONS WITH PROPOSED GRADING PLAN. RAMP TO BE ADA COMPLIANT AND SHALL NOT BE MORE THAN (ONE) - 30-FOOT-LONG RAMP SEGMENT. COORDINATE CONCRETE LANDINGS FOR BOTH RAMP AND STAIR WITH THE PROPOSED CONCRETE SIDEWALK.
- VERIFY UTILITY LINES IN THE AREA PREPARED FOR THE RAMP INSTALLATION. ANY DAMAGE DURING INSTALLATION OF RAMP AND STAIRS TO UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT NO ADDITIONAL COST.
- SHOP FABRICATE AND PRE-ASSEMBLE HANDRAILS AND PERFORATED SCREEN PANELS. PRE-ASSEMBLE ITEMS IN THE FABRICATOR'S FACILITY TO THE GREATEST EXTENT POSSIBLE. DISASSEMBLE UNITS ONLY AS NECESSARY FOR SHIPPING AND HANDLING LIMITATIONS. METAL RAMP AND PERFORATED PANEL COMPONENTS SHALL BE MANUFACTURED, FABRICATED AND FINISHED WITH THE FINAL POWDERCOATED COLOR AT THE METAL FABRICATOR'S FACILITY. WORK ON SITE SHOULD BE LIMITED TO ASSEMBLY OF THE MAJOR RAMP AND STAIR COMPONENTS AND THE POURING OF THE CONCRETE SURFACES.
- DESIGN SHALL ALLOW FOR THERMAL MOVEMENTS FROM AMBIENT AND SURFACE TEMPERATURE CHANGES ACTING ON EXTERIOR METAL AND CONCRETE FABRICATIONS BY PREVENTING BUCKLING, OPENING OF JOINTS, OVERSTRESSING OF COMPONENTS, FAILURE OF CONNECTIONS AND OTHER DETRIMENTAL EFFECTS.
- FORM EXPOSED CONNECTIONS WITH HAIRLINE JOINTS. FLUSH AND SMOOTH, USING CONCEALED FASTENERS OR WELDS WHERE POSSIBLE. WHERE EXPOSED FASTENERS ARE REQUIRED USE VANDAL/TAMP-PROOF HARDWARE. LOCATE FASTENERS AND JOINTS WHERE LEAST CONSPICUOUS.
- ALL STEEL COMPONENTS TO BE STRUCTURAL STEEL EXTERIOR RATED AND SHALL BE WEATHER PROOFED, PRIMED AND POWDERCOATED. HANDRAIL AND STEEL RAMP COMPONENTS COLOR TO BE A DARK NEUTRAL TONE (DARK GRAY) TO BE REVIEWED AND APPROVED BY OWNER. THE PERFORATED PANEL AND FRAME TO BE A DIFFERENT COLOR (DARK BRICK RED, SLATE BLUE GRAY, BRIGHT BLUE, OR GOLD/YELLOW) TO BE REVIEWED AND APPROVED BY OWNER. CHANGE IN COLOR AS APPROVED BY OWNER TO BE PROVIDED AT NO ADDITIONAL COST.
- PERFORATED PRIMED AND POWDERCOATED METAL PANEL DESIGN TO BE SUBMITTED FOR OWNER REVIEW AND APPROVAL. CHANGE IN PERFORATED PANEL DESIGN AND ORIENTATION OF PATTERN SHOWN ON DETAILS SHALL BE PROVIDED AS APPROVED BY OWNER AND TO BE PROVIDED AT NO ADDITIONAL COST.
- PROVIDE METAL SURFACES EXPOSED TO VIEW IN THE COMPLETED WORK WITH SMOOTH, FLAT SURFACES WITHOUT SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, TOOL AND DIE MARKS, STRETCH LINES, BURS, POCKMARKING OR OTHER BLEMISHES.
- CONCRETE FOR RAMP AND STAIRS AS SPECIFIED FOR SITE SIDEWALKS. MDOT GRADE S1, MINIMUM 28 DAY COMPRESSIVE STRENGTH TO BE 4,000 PSI WITH AIR CONTENT OF 6.5% +/- 1.5%. REINFORCING FABRIC IN DECKING (WWM / WWF) TO BE ASTM 185, GALVANIZED.
- CONCRETE SHALL BE CLEAN, SMOOTH, CONSISTENT FINISH WITHOUT IMPERFECTIONS, CHIPS, MARKS AND HONEYCOMB. CONCRETE FINISH ON RAMP AND STAIR RISERS TO BE A LIGHT BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. CONCRETE NOT MEETING THESE REQUIREMENTS SHALL BE REPLACED AT NO ADDITIONAL COST.
- APPROVED METAL FABRICATOR SHALL BE THE FOLLOWING OR APPROVED EQUAL:
TARU LAHTI DESIGN
3101 24TH STREET
DETROIT, MICHIGAN 48216
TARU LAHTI
313-600-1599
TARULAHTI12@GMAIL.COM
- PRIOR TO PROJECT COMPLETION, CLEAN ALL SURFACES, TOUCH UP MARRED OR DAMAGED FINISHES. PERFORM ANY REPAIRS REQUIRED, AND IF NECESSARY, REPLACE DAMAGED WORK. ENSURE THAT THE WORK IS CLEAN, PRISTINE, AND THAT ALL FINISHES ARE FREE OF DEFECTS AT TIME OF COMPLETION.

KEYED NOTES

- FLAT BAR STEEL HANDRAIL (2 1/4" x 3/4")
- SOLID STEEL SUPPORT PLATE ANCHORED TO CONCRETE SIDEWALK
- TUBE STEEL SUPPORT POSTS
- TUBE STEEL SUPPORT RAIL
- SOLID STEEL INFILL PANEL FOR STAIR RISER
- SOLID STEEL INFILL PANEL FOR FACE OF RAMP
- SOLID STEEL INFILL PANEL FOR RAMP EDGE AT EXIST BLD MASONRY INSET
- PERFORATED STEEL INFILL PANEL
- STEEL 'C' CHANNEL FRAME FOR INFILL PANEL
- STEEL ANGLE EDGING
- STEEL ANGLE SUPPORT
- GALVANIZED METAL DECKING INTERLOCKING SHEETS
- CONCRETE
- CONCRETE RAMP ON GRADE - COORDINATE ELEVATIONS WITH GRADING PLAN
- WELDED WIRE MESH REINFORCEMENT FOR CONCRETE RAMP AND STAIRS
- SEALED EXPANSION JOINT

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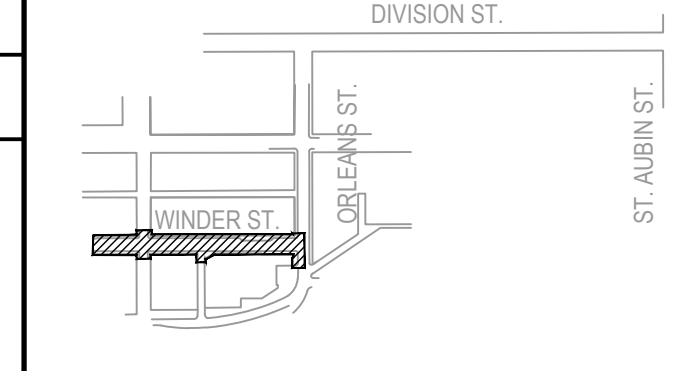
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KEY PLAN

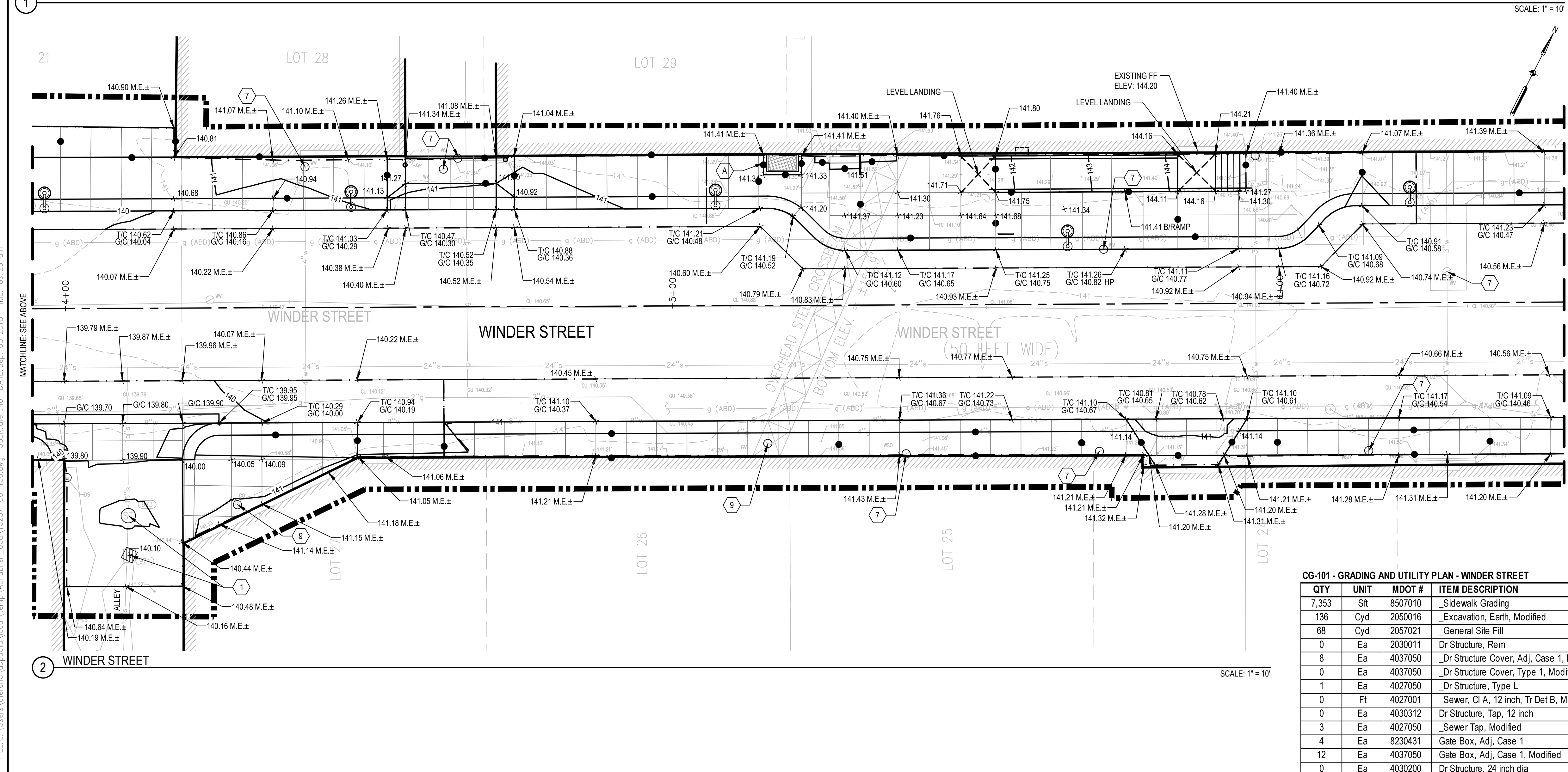
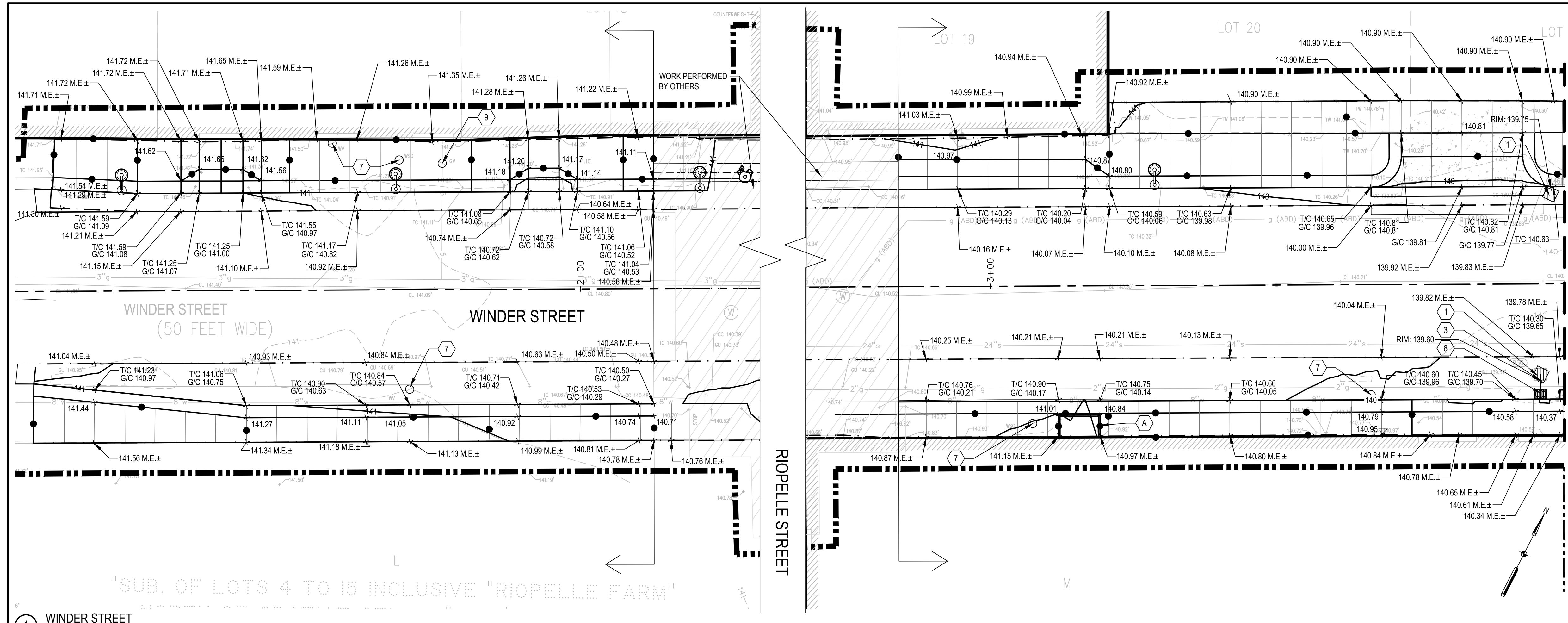
PROJECT NORTH



DRAWING TITLE
RAMP DETAILS

SCALE: 1/2" = 1'-0"
SCALE 10257.001
PROJECT NUMBER
DRAWING NUMBER
CS-505

FILE: C:\Users\valerica\AppData\Local\Temp\AutoCAD\59000\Red Bull Ramp.dwg USER: valerica DATE: Aug. 28, 2018 TIME: 09:53 pm



SHEET NOTES

- CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER.
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KEYED NOTES

- (A) MATCH ELEVATION OF VAULTS
- (1) DR STRUCTURE COVER, ADJ. CASE 1, MODIFIED
- (2) DR STRUCTURE COVER, TYPE 1, MODIFIED
- (3) DR STRUCTURE, TAP, 12 INCH
- (4) DR STRUCTURE, 48 INCH DIA, WITH TRAP
- (5) DR STRUCTURE, 24 INCH DIA
- (6) GATE BOX, ADJ. CASE 1
- (7) GATE BOX, ADJ. CASE 1, MODIFIED
- (8) DR STRUCTURE, TYPE L
- (9) COORDINATE UTILITY STRUCTURE ADJUSTMENT WITH UTILITY PROVIDER

LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY BOUNDARY / RIGHT OF WAY LINE
- 865 --- EXISTING MAJOR CONTOUR
- 864 --- EXISTING MINOR CONTOUR
- EXISTING SPOT ELEVATION
- LIMITS OF GRADING
- 865 --- PROPOSED MAJOR CONTOUR
- 864 --- PROPOSED MINOR CONTOUR
- GRADE BREAK LINE
- FLOW DIRECTION
- 861.50 --- PROPOSED SPOT ELEVATION
- 861.50 M.E.± --- APPROX. SPOT ELEVATION: MATCH EXISTING GRADE
- RIM 861.50 --- STRUCTURE RIM ELEVATION
- T/C 861.50 --- TOP OF CURB ELEVATION
- G/C 861.50 --- GUTTER OF CURB ELEVATION
- B/W 861.50 --- BOTTOM OF WALL ELEVATION
- HP 861.50 --- HIGH POINT
- LP 861.50 --- LOW POINT
- AGGREGATE
- 10+00 --- STATION
- ALIGNMENT
- MATCHLINE
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- PROPOSED STORM LINE
- EXPANSION JOINT

CG-101 - GRADING AND UTILITY PLAN - WINDER STREET

QTY	UNIT	MDOT #	ITEM DESCRIPTION
7,353	Sr	8507010	Sidewalk Grading
136	Cyd	2050016	Excavation, Earth, Modified
68	Cyd	2057021	General Site Fill
0	Ea	2030011	Dr Structure, Rem
8	Ea	4037050	Dr Structure Cover, Adj. Case 1, Modif
0	Ea	4037050	Dr Structure Cover, Type 1, Modified
1	Ea	4027050	Dr Structure, Type L
0	Ft	4027001	Sewer, CI A, 12 inch, Tr Det B, Modifie
0	Ea	4030312	Dr Structure, Tap, 12 inch
3	Ea	4027050	Sewer Tap, Modified
4	Ea	8230431	Gate Box, Adj. Case 1
12	Ea	4037050	Gate Box, Adj. Case 1, Modified
0	Ea	4030200	Dr Structure, 24 inch dia

EASTERN MARKET

SxSE

STREETSCAPE

WINDER STREET
ORLEANS STREET
DIVISION STREET

Owner:
CITY OF DETROIT
EASTERN MARKET
CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET
SUITE 1700
DETROIT, MI 48226
313.983.3600
www.smithgroupjjr.com

ISSUED FOR: _____ REV: _____ DATE: _____

CONSTRUCTION DOCUMENTS: 0 31 JUL 18

SEALS AND SIGNATURES: _____

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

KEY PLAN

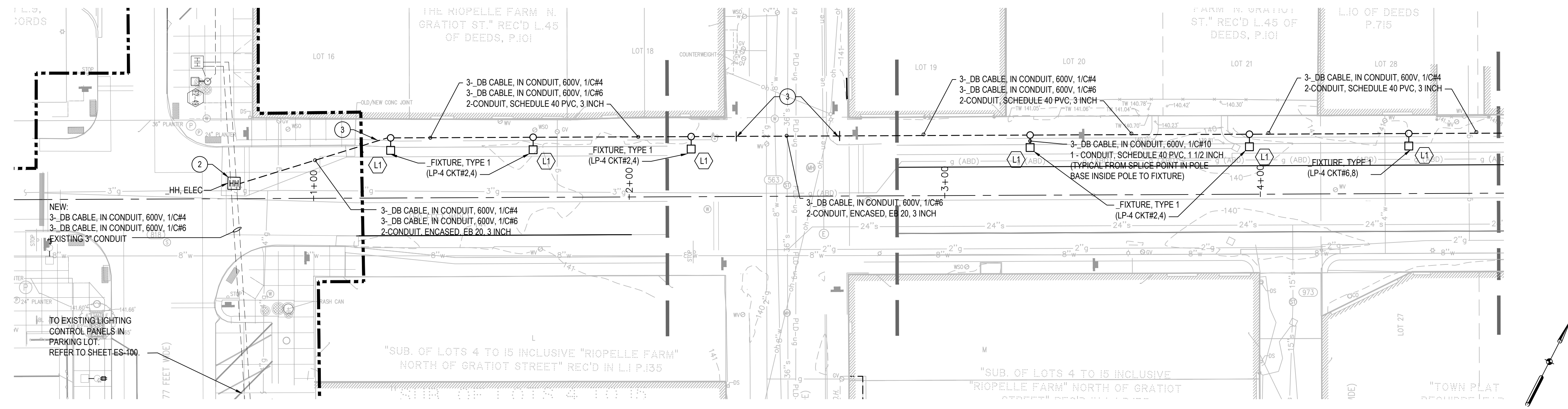
DRAWING TITLE
SITE GRADING & UTILITY PLAN - WINDER STREET

SCALE: 1" = 10'

PROJECT NUMBER: 10257.001

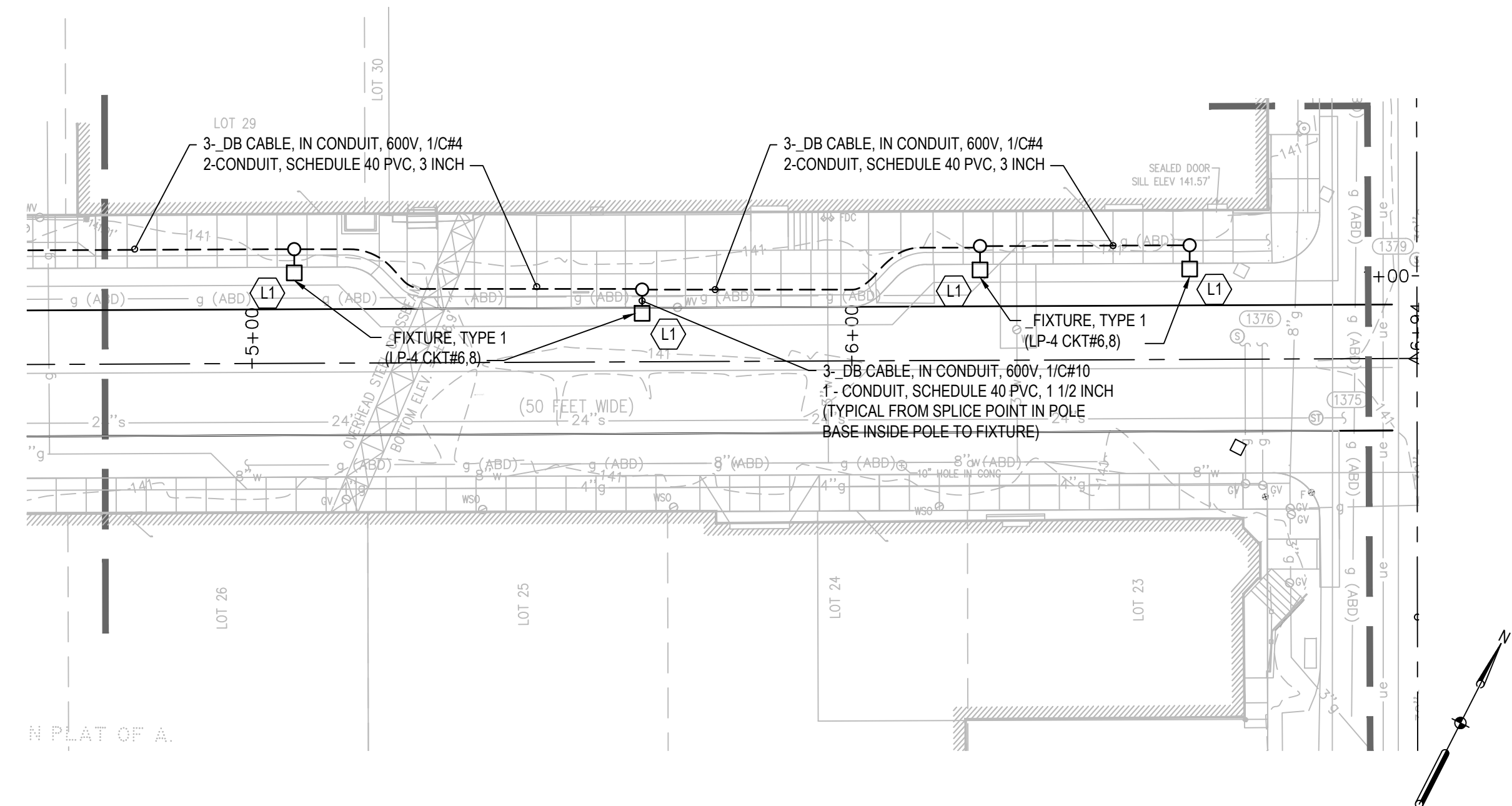
DRAWING NUMBER: **CG-101**

FILE: G:\Users\jcolferno\AppData\Local\Temp\AutoCAD\10257-CG-100.dwg USER: jcolferno DATE: 06/29/2018 TIME: 09:29 am



1 WINDER STREET

SCALE: 1" = 20'



2 WINDER / ORLEANS STREET

SCALE: 1" = 20'

SHEET NOTES

- 1. REFER TO SHEET ES-100 FOR SHEET NOTES.

KEYED NOTES

- 1. PROVIDE (2) 2-POLE, 20A, 208V, CIRCUIT BREAKERS TO BE RETROFITTED TO EXISTING LIGHTING CONTROLLER "LP-4". REMOVE SPARE BREAKERS AS REQUIRED. REFER TO PANEL SCHEDULE ON SHEET ES-001 FOR REVISED CIRCUITING.
- 2. INSTALL NEW HANDHOLE TO SERVE NEW WINDER LIGHT FIXTURES. MAINTAIN CONNECTION TO AFFECTED DOWNSTREAM EXISTING TO REMAIN DEVICES.
- 3. ENCASE CONDUIT UNDER ROADWAYS AND EXISTING ENCASUREMENT MINIMUM 2 FEET BEHIND CURB.
- 4. PLA SHALL COORDINATE ELECTRICAL SERVICE WITH DTE AT EXISTING POLE TO HANDHOLE, AS INDICATED.

LEGEND

- FIXTURE, TYPE L1
- LIGHT FIXTURE TAG (REFER TO LIGHT FIXTURE SCHEDULE)
- HH, ELEC
- CONDUIT, _____ (SIZE AND TYPE, AS INDICATED ON PLANS)
- OVERHEAD POWER LINE
- ELEC. SERV. TAP

EASTERN MARKET
SxSE
STREETSCAPE
WINDER STREET
ORLEANS STREET
DIVISION STREET

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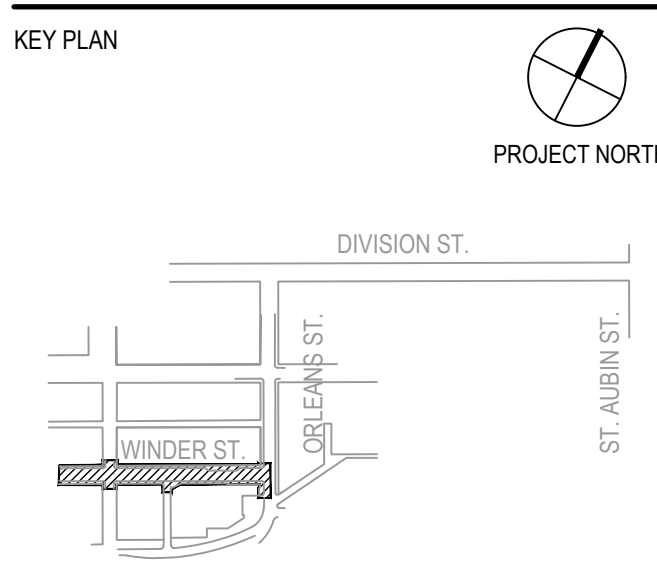
ISSUED FOR _____ REV _____ DATE _____

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE
ELECTRICAL PLAN -
WINDER STREET

SCALE: 1" = 20'

SCALE 10257.001

PROJECT NUMBER

ES-101

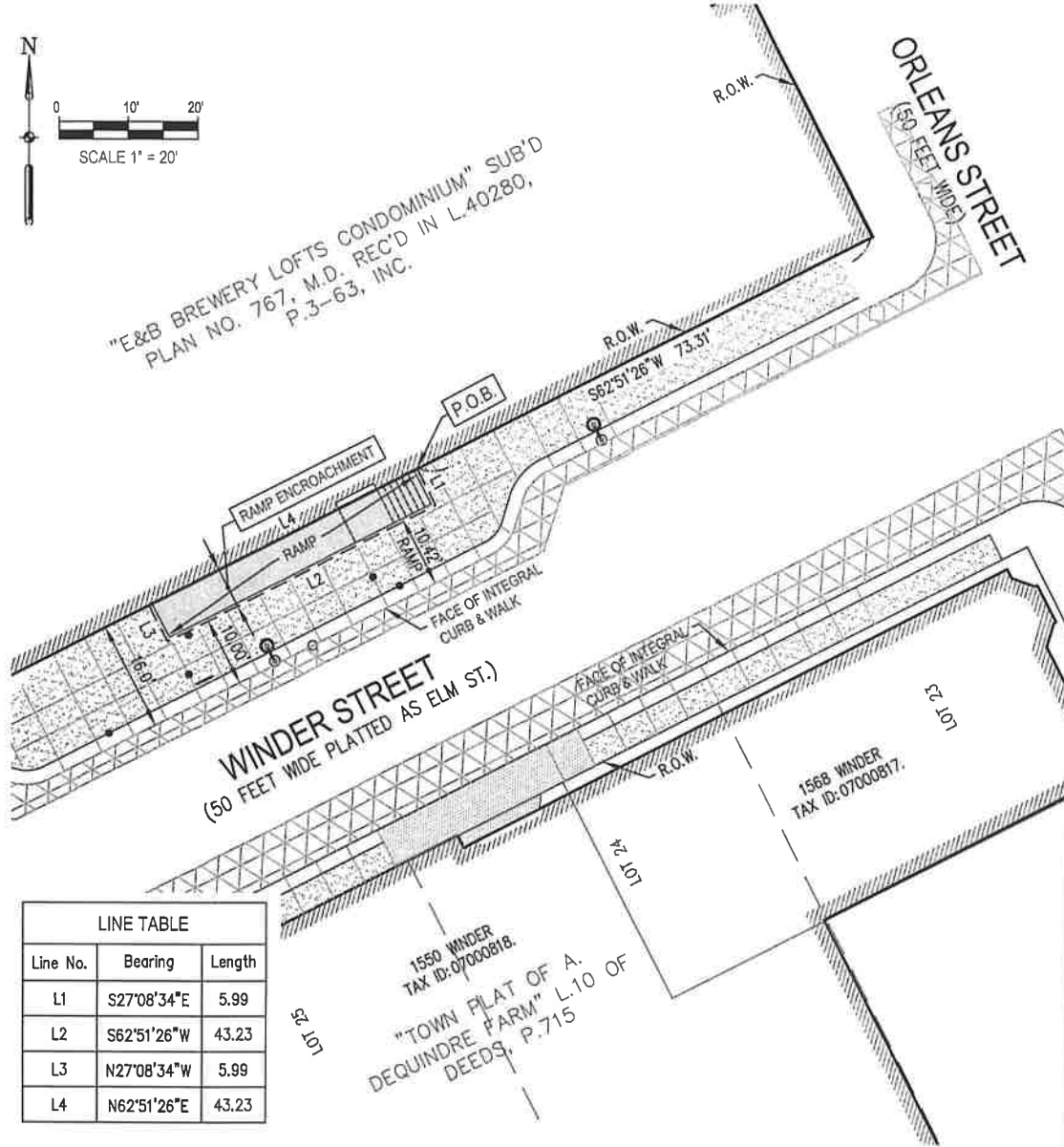
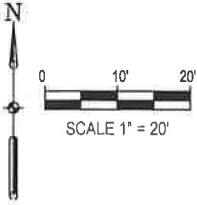
DRAWING NUMBER

QTY	UNIT	MDOT #	ITEM DESCRIPTION
0	Ea	8197050	_Connect to Existing Lighting Controller
1	Ea	8197050	_Hh, Elec
0	Ea	8197050	_Elec. Serv. Tap
10	Ea	8197050	_Fixture, Type 1
90	Ft	8190058	Conduit, Encased, 1, 3 inch
100	Ft	8190146	Conduit, Schedule 40, 1 1/2 inch
1,100	Ft	8190149	Conduit, Schedule 40, 3 inch
600	Ft	8190213	DB Cable, in Conduit, 600V, 1/C#10
795	Ft	8190211	DB Cable, in Conduit, 600V, 1/C#6
1,680	Ft	8190207	DB Cable, in Conduit, 600V, 1/C#4

FILE: \\bar-file\projects\10257\001\CADD\1\Sheet\10257-ES-100.dwg USER: dfercho DATE: Aug, 23, 2018 TIME: 04:43 pm

RAMP ENCROACHMENT EXHIBIT

BEING PART OF WINDER ST. (50 FEET WIDE) PLATTED AS ELM ST. IN "TOWN PLAT OF A. DEQUINDRE FARM" AS RECORDED IN LIBER 10 OF DEEDS, PAGE 715, WAYNE COUNTY RECORDS, WAYNE COUNTY, MICHIGAN



"E&B BREWERY LOFTS CONDOMINIUM" SUB'D
PLAN NO. 767, M.D. REC'D IN L.40280,
P.3-63, INC.

WINDER STREET
(50 FEET WIDE PLATTED AS ELM ST.)

1550 WINDER
TAX ID: 07000818.
"TOWN PLAT OF A.
DEQUINDRE FARM" L.10 OF
DEEDS, P.715

LINE TABLE		
Line No.	Bearing	Length
L1	S27°08'34"E	5.99
L2	S62°51'26"W	43.23
L3	N27°08'34"W	5.99
L4	N62°51'26"E	43.23

LEGAL DESCRIPTION: RAMP ENCROACHMENT

Commencing at the Northwest corner of the intersection of Orleans Street (50 feet wide) and Winder Street (50 feet wide) platted as Elm Street in "Town Plat of A. Dequindre Farm", as recorded in Liber 10 of Deeds, Page 715, Wayne County Records, Wayne County, Michigan; thence S62°51'26"W 73.31 feet along the Northerly Right-of-Way line of said Winder Street to a PLACE OF BEGINNING; thence S27°08'34"E 5.99 feet; thence S62°51'26"W 43.23 feet; thence N27°08'34"W 5.99 feet; thence N62°51'26"E 43.23 feet along the Northerly Right-of-Way line of said Winder Street to the Point of Beginning, containing 258 square feet, more or less, being a part of said Winder Street, City of Detroit, Michigan.




 CHARLES A. LANGOLF, PS 56210
 PROFESSIONAL SURVEYOR
 STATE OF MICHIGAN
 charlie.langolf@smithgroup.com

JANUARY 29, 2019
 DATE:



CLIENT	EASTERN MARKET		
ENCROACHMENT EXHIBIT FOR A RAMP LOCATED IN WINDER ST. (50 FEET WIDE) PLATTED AS ELM ST. IN "TOWN PLAT OF A. DEQUINDRE FARM" AS RECORDED IN LIBER 10 OF DEEDS, PAGE 715, WAYNE COUNTY RECORDS			
JOB NO. 10257.000	PAGE 1	OF 1	
DRAWN: CAL	DATE	1/29/2019	
201 DEPOT STREET SECOND FLOOR ANN ARBOR, MI 48104 734.862.4457 www.smithgroup.com			

LEGEND

W.C.R.	WAYNE COUNTY RECORDS
P.O.B.	POINT OF BEGINNING
L2	LINE SEGMENT ANNOTATION
	PROPOSED ENCROACHMENT
	RAMP PER CONSTRUCTION PLANS

