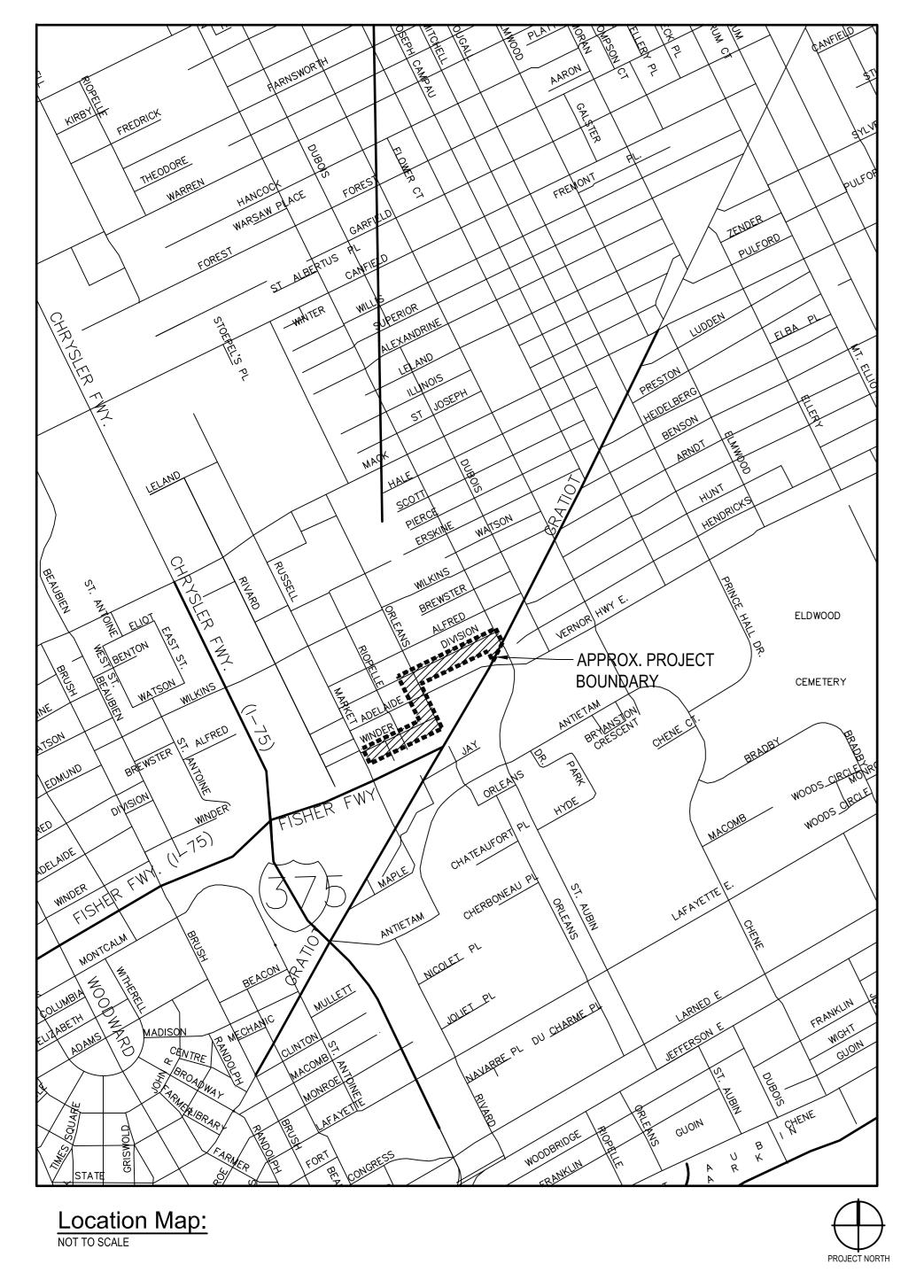
EASTERN MARKET DISTRICT REINVESTMENT PROJECT SOUTH x SOUTHEAST STREETSCAPES (WINDER / ORLEANS / DIVISION)



Project Description: (0.35 Miles/ 1890 Feet Project Length and 1.03 Acres in Project Area)

Owners:



SMITHGROUP JJR

500 GRISWOLD STREET **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com

CITY OF DETROIT

DETROIT, MICHIGAN / WAYNE COUNTY

CONSTRUCTION DOCUMENTS JULY 31, 2018

LOCAL AUTHORITY APPROVAL

CITY OF DETROIT CITY ENGINEERING DIVISION DEPARTMENT OF PUBLIC WORKS COLEMAN A. YOUNG MUNICIPAL CENTER 2 WOODWARD AVENUE DETROIT, MICHIGAN 48226

Drawing Scale:

Detroit's eastern market is the largest historic public market district in the United States. founded in 1891, it hosts both retail and wholesale markets. On any given saturday, as many as 40,000 customers shop elbow-to-elbow for fruits, vegetables, breads, specialty foods, jams, honey, apple cider, cheeses, spices, herbs, plants and flowers—all from the marvelous bounty of farms from Michigan, Ohio, and Ontario. The non-profit Eastern Market Corporation (EMC) is implementing a phased capital improvement program focusing on their building assets, public streets and right-of ways, food distribution network and training programs. The eastern market district reinvestment project SxSE improves Winder, Orleans, and Division streets. The project will provide a more consistent streetscape with features that include sidewalk paving, concrete curbs, ADA sidewalk ramps, improved parking zones, signage and future pedestrian lighting. This will improve the circulation, access, safety, and experience for patrons and vendors at Eastern Market resulting in higher visitation, expanded job opportunities, and reinvestment in the district.

Consultants:

WHERE THE FOLLOWING ITEMS ARE CALLED FOR IN THE PLANS, T

TO BE CONSTRUCTED ACCORDING TO THE STANDARD PLANS GIV Title

ALL PROJECTS

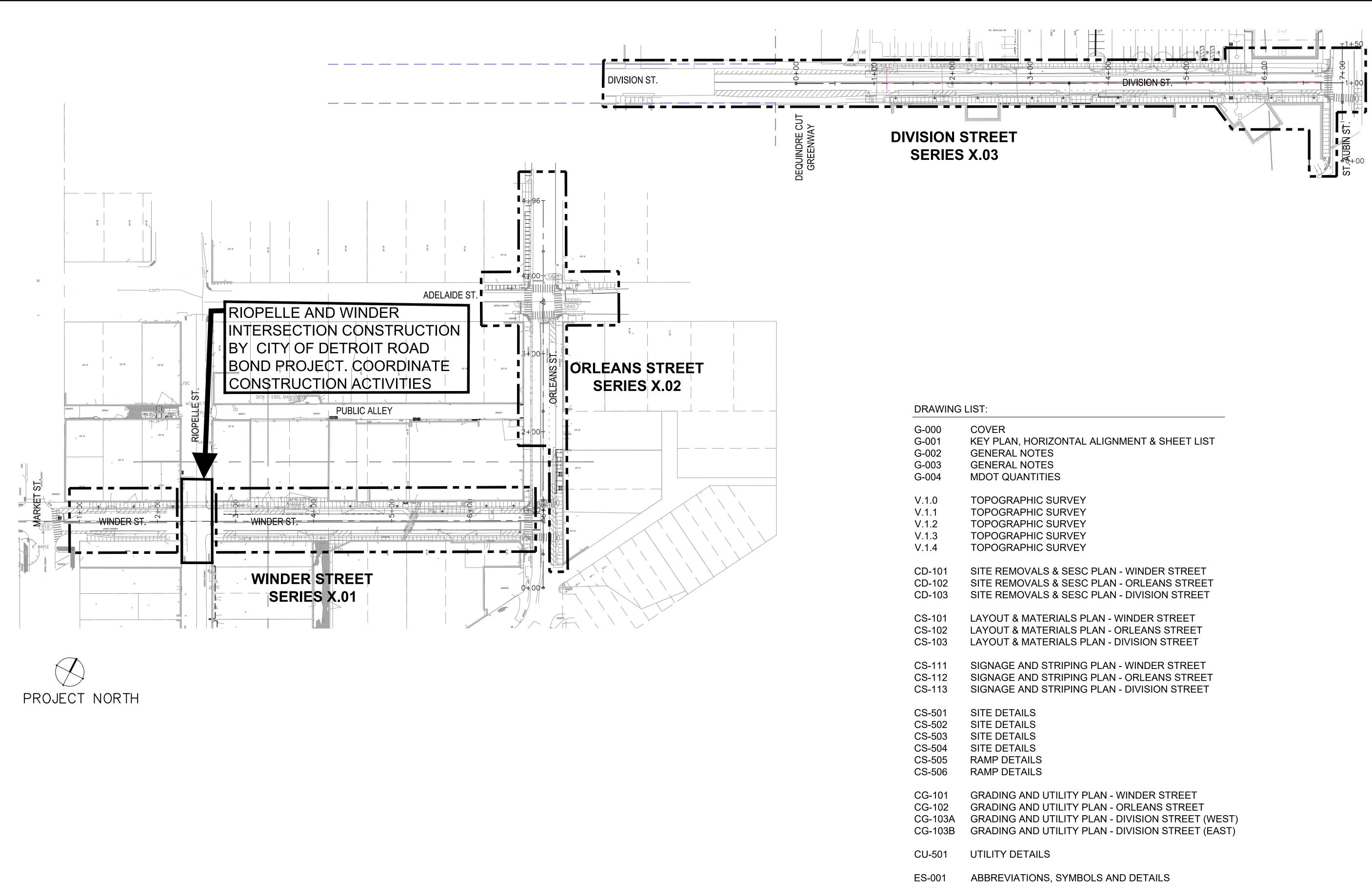
ORIGINAL DRAWINGS PREPARED AS 24X36 SHEETS. GRAPHIC SCALES SHOWN ON SHEETS SHALL TAKE PRECEDENCE OVER ANY OTHER NOTED SCALES.

MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION

Drawing List:	
G-000 - G-004	COVER, KEY PLAN, HORIZONTAL ALIGNMENT, SHEET LIST, GENERAL NOTES, MDOT QUANTITIES
V.1.0 - V.1.4	TOPOGRAPHIC SURVEY
CD-101 - CD-103	SITE REMOVALS AND SESC PLANS
CS-101 - CS-103	LAYOUT AND MATERIALS PLANS
CS-111 - CS-113	SIGNAGE AND STRIPING PLANS
CS-501 - CS-506	SITE DETAILS
CG-101 - CG-103	GRADING AND UTILITY PLANS
CU-501	UTILITY DETAILS
ES-001 - ES-103	ELECTRICAL PLANS AND DETAILS

Standards and Specifications Reference - Not To Be Printed

2011 MICHIGAN MANUA	AL ON UNIFORM TRAFFIC CONTROL DEVICES OR THE PLANNING, DESIGN, AND OPERATION OF PED	ESTRIAN FACILITIES	Submittal:	Date:	Revision:
2011 AASHTO GEOMET	RIC DESIGN OF HIGHWAY AND STREETS		CONSTRUCTION DOCUMENTS	JULY 31, 2018	0
MDOT Standar	d Plans: (Latest Edition) - Not To E	Se Printed			
	OWING ITEMS ARE CALLED FOR IN THE PLAN TED ACCORDING TO THE STANDARD PLANS	•			3 WORKING DAYS
Title	ALL PROJECTS	Plan No.			BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
DRIVEWAY OPENINGS & AP PERFORATED STEEL SQUA UTILITY TRENCH SOIL EROSION & SEDIMENT TABLES FOR "L", "D" AND "B TYPICAL ADVANCE SIGNING TERM STATIONARY WORK & LENGTH WHERE TRAFFIC O DAY ON AN UNDIVIDED TWO 2-LANE 2-WAY - 1-LANE CLO REDUCTION 2-LANE 2-WAY - TEMPORAR SIDES USING ADVISORY SP	G TREATMENT FOR LONG, INTERMEDIATE AND SHORT ZONE OPERATIONS OF LESS THAN TWO MILES IN CONTROL DEVICES MAY REMAIN AT END OF WORK D-WAY ROADWAY DSURE - UTILIZING TRAFFIC REGULATORS - NO SPEED RY TRAFFIC SIGNAL WITH SIGN PLACEMENT BOTH PEED	R-28-J R-29-I SIGN-207-A R-83-B R-96-E M0020a M0040a M0140a M0210a	PREPARED UNDER SUPE		
GROUND DRIVEN SIGN SUF TEMPORARY TRAFFIC CON PAVEMENT MARKING CON		WZD-100-A WZD-125-E PMC22e	REGISTERED PROFESSIONA		REGISTERED ELECTRICAL ENGINEER



ES-102 (NO ELECTRICAL/LIGHTING IMPROVEMENTS) **ELECTRICAL PLAN - DIVISION STREET** ES-103

ES-100

ES-101

ELECTRICAL PLAN - MARKET STREET ELECTRICAL PLAN - WINDER STREET **ELECTRICAL PLAN - ORLEANS STREET**

EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET **DIVISION STREET**

Owner: CITY OF DETROIT EASTERN MARKET CORPORATION

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ISSUED FOR

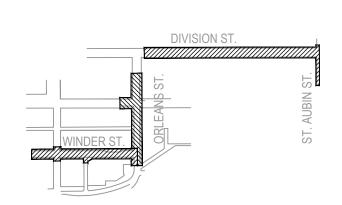
REV DATE

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE **KEY PLAN & SHEET LIST**

200'	100'	50'	0 	
1"=100'				
40057 004				SCALE

10257.001

G-001

PROJECT NUMBER

		DEMOLITION AND EROSION CONTROL NOTES		
		SECURE AND COMPLY WITH ALL REQUIREMENTS OF ALL PERMITS REQUIRED FOR THIS WORK. (INCLUDING WAYNE COUNTY S.E.S.C. PERMIT)	1.	NOTIFY THE ENGINE OF SITE ELEMENTS.
	2.	ALL WORK REQUIRED TO SATISFY THE REQUIREMENTS OF THESE NOTES IS INCIDENTAL TO THE DEMOLITION PAY ITEMS OR INCLUDED IN THE PAY ITEM _PROPERTY, ACCESS, PROTECTION, TEMP AND SHALL BE COMPLETED.	2.	REFER TO ELECTRIC
	3.	COORDINATE ALL CONSTRUCTION ACTIVITIES, INCLUDING HOURS OF OPERATION, WITH THE CITY OF DETROIT.	3.	ADA SIDEWALK, RAM
	4. 5.	MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. PROVIDE TEMPORARY ACCESS PATHS, FENCING, SIGNAGE, AND ALL NECESSARY ITEMS TO ENSURE A SAFE AND CLEARLY DEFINED ACCESS PATH. SUPPLY, ERECT AND MAINTAIN TEMPORARY CONSTRUCTION FENCING AND BARRICADES AS REQUIRED TO PROVIDE FOR THE PROTECTION OF THE	4. 5.	ONCE WORK ON THI COMPLETE. TOP CO
	6.	GENERAL PUBLIC. PROVIDE ALL NECESSARY PROTECTION MEASURES, FENCING, BARRICADES, PLANKS, ETC. AS REQUIRED PER APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL EXCAVATION, TRENCHING, AND ASSOCIATED HAZARDS. ALL LABOR, MATERIALS AND SIGNAGE ASSOCIATED WITH THIS ITEM	6.	ADJUSTMENT AND F BEFORE THE SEASC ALL PERMANENT IM
	7.	SHALL BE PROVIDED AS INCIDENTAL TO DEMOLITION PAY ITEMS. ALL CONSTRUCTION STAGING, MATERIALS STORAGE, CONSTRUCTION WASHING STATIONS, PROJECT MOCK-UP AREAS, AND ALL ASSOCIATED NEEDS ARE	7.	REFER BELOW FOR
		THE RESPONSIBILITY OF THE CONTRACTOR. ALL LABOR, MATERIALS AND EQUIPMENT ASSOCIATED WITH THESE ITEMS SHALL BE PROVIDED AS PART OF THE DEMOLITION PAY ITEMS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM ENGINEER FOR ALL CONSTRUCTION ACCESS POINTS. THE USE OF ADJACENT STREET R.O.W. WILL NOT BE PERMITTED FOR MATERIAL STAGING, STOCK PILING AND CONTRACTOR PARKING WITHOUT PRIOR WRITTEN CONSENT.	7.	1. PRIOR TO CON FOR ENGINEEF WITH ALL REQ EDITION) AND S
	8.	FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, AS AMENDED, THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS (72 HOURS), EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES INCLUDING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. "MISS DIG" MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.	7.2	2. SURVEY INFOR DESIGNS MAY VERIFY AND AI RAMP HAS POS AND AS SHOW
	9.	THE ACTUAL CONSTRUCTION LIMIT LINE IS AT THE R.O.W. LINE, PROPERTY LINE OR LIMITS OF DISTURBANCE. THE CONSTRUCTION LIMIT LINE IS GRAPHICALLY SHOWN OFFSET FROM THE R.O.W. LINE, PROPERTY LINE OR LIMITS OF DISTURBANCE TO ALLOW IT TO BE VISIBLE ON THE DRAWINGS.	7.3	3. ANY REQUIRED APPROVAL BY
	10.	TAKE GREAT CARE TO AVOID DAMAGE TO EXISTING SITE ELEMENTS THAT ARE TO REMAIN. REPAIR AND/OR REPLACE ANY SITE ELEMENT THAT IS TO REMAIN THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST.	7.4	4. ADJACENT PAN APPLICABLE C
	11.	COORDINATE ALL UTILITY DEMOLITION WITH UTILITY SERVICE PROVIDERS, THE CITY OF DETROIT, PUBLIC LIGHTING AUTHORITY, DTE, AND WATER AND SEWER AGE DEPARTMENT.	7.9	5. FOLLOWING RA MDOT STANDA ADDITIONAL CO
	12.	EXISTING SURVEY MONUMENTS SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS. IN THE EVENT EXISTING MONUMENTS ARE DISTURBED DURING CONSTRUCTION, THE MONUMENTS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION AND PER CITY OF DETROIT SURVEY BUREAU REQUIREMENTS AT NO COST TO THE OWNER. NOTIFY CITY OF DETROIT SURVEY BUREAU OF ANY DISTURBED OR RESET MONUMENTS.	7.6	
	13.	ANY MISCELLANEOUS LITTER AND DEBRIS INCLUDING SUCH ITEMS BUT NOT LIMITED TO: FOUNDATION AND ATTACHMENTS, TREE STUMPS AND ROOT STRUCTURES, PAVEMENT BASE MATERIAL, ABANDONED FENCES, ABANDONED PIPES, CONSTRUCTION DEBRIS, TRASH, ETC. IDENTIFIED ON THE PLANS AND ENCOUNTERED WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE BY THE CONTRACTOR. ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THIS WORK SHALL BE PAID AS PART OF THE PAY ITEM LITTER AND DEBRIS, REM.	8. 9.	HORIZONTAL CONTR FOR THE HORIZONT
	14.	COORDINATE PAVEMENT REMOVAL, CURB REMOVAL, SIDEWALK REMOVAL, COLD MILLING, AND SAWCUT LINES WITH LAYOUT AND MATERIALS PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES. MARK SAW CUT LINES FOR APPROVAL BY ENGINEER PRIOR TO PROCEEDING WITH REMOVAL ACTIVITIES.	9.	DIGITAL FILES TO BE TAKE PRECEDENCE
	15.	PAVEMENT AND CURB REMOVALS SHALL BE TERMINATED WITH A SAW CUT JOINT UNLESS THE REMOVAL LIMIT IS WITHIN 3 FEET OF AN EXISTING PAVEMENT OR CURB JOINT THEN THE REMOVAL SHALL BE EXPANDED TO THE JOINT.	10.	NOTIFY THE ENGINE
	16.	FOR UTILITY STRUCTURE MODIFICATIONS AND ADJUSTMENTS REFER TO GRADING AND UTILITY PLANS.	11.	ALL DIMENSIONS AF
	17.	PROTECT ALL EXISTING FIBER OPTIC AND COMMUNICATION LINES WITHIN THE PROJECT LIMITS. EXISTING FIBER OPTIC LINES WITHIN THE PROPERTY LIMITS MAY HAVE VERY SHALLOW BURIAL DEPTHS. IMMEDIATELY CONTACT UTILITY PROVIDER FOR ANY DISTURBANCES TO EXISTING LINES.	12.	THE LAYOUT AND O
	18.	SAW CUT LINES FOR NEW PAVEMENT SHALL BE CUT STRAIGHT LEAVING A CONSISTENT, SMOOTH EDGE ALONG THE EXISTING PAVEMENT TO REMAIN. NEW PAVEMENT TO DIRECTLY ABUT EXISTING PAVEMENT TO REMAIN. IF NECESSARY OR AS DIRECTED BY THE ENGINEER RE-SAW CUT THE PAVEMENT IF THE EDGE OF THE PAVEMENT IS DAMAGED BY CONSTRUCTION ACTIVITIES. ADDITIONAL SAW CUTS AND THE REQUIRED ADDITIONAL PAVEMENT		THERE SHALL BE 1/2 PAVEMENT, WALLS,
	19.	REPLACEMENT IS INCLUDED AS PART OF THE ORIGINAL PAY ITEM AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER. THE PROPOSED WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH ALL REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT, IN ADDITION TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 AS AMENDED, AND RULES PROMULGATED THEREUNDER.		CONTROL JOINTS AI SIDEWALK/PAVEMEN
	20.	OBTAIN THE SOIL EROSION CONTROL AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES. COORDINATE THE NOTICE OF COVERAGE SUBMITTAL WITH THE OWNER. PROVIDE A CERTIFIED STORMWATER OPERATOR. PAY ALL ASSOCIATED FEES.		CONTROL JOINTS AI
	21.	ALL WORK REQUIRED TO SATISFY THE REQUIREMENTS OF THESE NOTES IS INCIDENTAL TO THE EROSION CONTROL PAY ITEMS OR INCLUDED IN EROSION	17	ALIGN JOINTS PERP
	22.	CONTROL, MAINTENANCE, SEDIMENT REMOVAL AND SHALL BE COMPLETED AT NO COST TO THE OWNER. PRIOR TO ANY CONSTRUCTION ACTIVITY, SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE	17.	JOINT
		DRAWINGS AND THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. OBTAIN APPROVAL OF INSTALLED MEASURES FROM WAYNE COUNTY PRIOR TO START OF WORK.		(JOINT SPAC OTHERWISE
	23.	APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS.		CONTROL JC
	24.	ALL EXISTING AND NEW STORM INLETS AND CATCH BASINS TO BE PROVIDED WITH INLET PROTECTION FABRIC DROP OR INLET PROTECTION GEOTEXTILE AND STONE AS APPROPRIATE AND PER MDOT DETAIL R-96-E.		SEALED EXP
	25.	ALL EARTH CHANGES SHALL BE CONSTRUCTED IN A MANNER THAT WILL EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.		
E.	26.	CONDUCT ALL EXCAVATION, EMBANKMENT, GRADING AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SILTRACEOUS SOIL MATERIALS AND WATERBORNE OBJECTS ARE NOT DISCHARGED INTO ANY STORM SEWER DRAINAGE PIPE, OR UNDERGROUND UTILITY SYSTEM.		
TIME: 05:32 pm	27.	SOIL EROSION AND SEDIMENTATION EXTENDING BEYOND THE PROJECT LIMITS WILL NOT BE PERMITTED. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIALS SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OTHER PUBLIC THOROUGHFARES OR IN UNDERGROUND UTILITY SYSTEMS DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY BY THE CONTRACTOR AT NO ADDITIONAL COST.	4	ALL SIGNAGE AND S
28 2018 1	28.	WATER FROM TRENCHES AND OTHER EXCAVATIONS SHALL NOT BE PUMPED DIRECTLY INTO CATCH BASINS OR MANHOLES WITHOUT BEING PROPERLY FILTERED THROUGH AN APPROVED SEDIMENT BASIN OR DEWATERING FILTER BAG.		REQUIREMENTS OF PROVISIONS.
	29.	ALL VIOLATIONS OF THE SOIL EROSION PLAN SHALL BE CORRECTED WITHIN 24 HOURS OF NOTIFICATIONS BY THE ENGINEER TO ELIMINATE	2.	SIGN PLACEMENT SI THE SIGN OR AS DIF
DATE: Aug,		REOCCURRENCES.	3. 4	PLACEMENT OF REG
afercho	30.	INSPECT DAILY THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS WITHOUT DELAY.	4.	APPROVAL IN ADVAI
USER:	31.	NO WETLANDS OR FLOODPLAINS ARE ON THE SITE. NO LAKES, STREAMS, OR DRAINS ARE WITHIN 500 FEET OF THE DISTURBED EARTHWORK.	5.	EXISTING LIGHT POL BE PROTECTED AND REMOVED OR DAMA
-COVER-SHT.dwg			6.	ANY SIGNS REQUIRI FOLLOWING CONST REPLACE AT NO ADI
			7.	MODIFICATIONS AND TRAFFIC ENGINEER
Sheet \10257			8.	CROSSWALK STRIPI ENGINEER PRIOR TO
L\She			9.	ALL PAVEMENT MAR

LAYOUT AND MATERIALS NOTES

E ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS IN ADVANCE OF CONSTRUCTION ACTIVITIES AND INSTALLATION

ELECTRICAL PLANS FOR PEDESTRIAN LIGHTING AND ELECTRICAL IMPROVEMENTS.

VALK, RAMPS TO BE 6 INCH THICK CONCRETE WITH MEDIUM BROOM FINISH.

CONCRETE WILL NOT BE ACCEPTED AND SHALL NOT BE USED FOR ANY OF THE AGGREGATE MATERIALS.

RK ON THE HMA PAVEMENT FOR A ROAD IS BEGUN, THE CONTRACTOR SHALL MAINTAIN A CONTINUOUS OPERATION UNTIL THE WORK IS . TOP COURSE HMA SHALL BE PLACED ONLY AFTER ALL BASE REPAIRS, CONCRETE CURB REMOVALS AND REPLACEMENT, STRUCTURE INT AND REPAIRS ARE COMPETED. ALL MILLED PAVEMENT SURFACES SHALL BE COMPLETELY RESURFACED WITH LEVELING AND TOP COURSES HE SEASONAL SHUTDOWN FOR THE WINTER.

ANENT IMPROVEMENTS SHALL BE LOCATED WITHIN CITY OF DETROIT PROPERTY, GREENWAY EASEMENTS, OR PUBLIC RIGHT-OF-WAY.

OW FOR SIDEWALK ADA RAMPS:

R TO CONSTRUCTION, CONFIRM FIELD CONDITIONS OF THE PROPOSED GEOMETRY AND GRADE ELEVATIONS FOR ALL PROPOSED RAMP DESIGNS ENGINEER REVIEW AND APPROVAL. PRIOR TO PROCEEDING WITH CONSTRUCTION OF SIDEWALK RAMPS, CONTRACTOR TO ENSURE COMPLIANCE ALL REQUIREMENTS IDENTIFIED IN THE STANDARD MDOT DETAIL "SIDEWALK RAMPS AND DETECTABLE WARNING DETAILS" R-28-J (LATEST ON) AND SPECIAL PROVISIONS. OBTAIN APPROVAL FROM ENGINEER AND CITY INSPECTOR PRIOR TO PROCEEDING WITH CONSTRUCTION.

YEY INFORMATION AND ASSOCIATED GRADE ELEVATIONS ARE NOT PROVIDED FOR ALL SIDEWALK RAMP LOCATIONS. THE PROPOSED RAMP GNS MAY REQUIRE MINOR GRADE ADJUSTMENTS TO CONFORM TO THE ACTUAL FIELD CONDITIONS AND TO COMPLY WITH REQUIRED STANDARDS. FY AND ADJUST WHERE REQUIRED THE GRADE ELEVATIONS TO ENSURE COMPLIANCE WITH MDOT STANDARDS. ENSURE THE BOTTOM OF THE PHAS POSITIVE DRAINAGE AWAY FROM THE RAMP AND THAT IT IS COORDINATED WITH THE ADJACENT EXISTING LONGITUDINAL GUTTER SLOPE AS SHOWN ON THE GRADING PLANS.

REQUIRED DEVIATIONS FROM RAMP LOCATION, ORIENTATION AND DESIGN AS SHOWN ON PLANS SHALL BE IDENTIFIED FOR REVIEW AND OVAL BY THE ENGINEER.

CENT PAVEMENT JOINTING SHALL BE COORDINATED, REVIEWED, AND APPROVED PRIOR TO THE CONSTRUCTION OF THE RAMPS. WHERE ICABLE COORDINATE PAVEMENT JOINTING WITH THE LANDING GEOMETRY.

OWING RAMP CONSTRUCTION THE INSTALLED RAMP WILL BE INSPECTED BY THE CITY OF DETROIT FOR VERIFICATION OF COMPLIANCE WITH STANDARDS AND SPECIAL PROVISIONS. ALL NON-COMPLIANT RAMPS IDENTIFIED SHALL BE IMMEDIATELY REMOVED AND REPLACED AT NO TIONAL COST UNTIL THE RAMP IS IN COMPLIANCE WITH MDOT REQUIREMENTS AND STANDARDS.

IDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL SIDEWALK RAMPS IN ALL LOCATIONS SHOWN THAT SATISFY ALL MOOT REQUIREMENTS SPECIAL PROVISIONS.

AL CONTROL IS DETERMINED BY STATION OFFSET FROM THE PROJECT STATION CENTER LINE. REFER TO THE HORIZONTAL ALIGNMENT PLAN, ORIZONTAL CONTROL POINTS AND STATIONING CENTER LINE REFERENCES.

LES TO BE MADE AVAILABLE TO THE SELECTED CONTRACTOR FOR CONTRACTOR STAKING REFERENCE; THE HARDCOPY OF THE BID DOCUMENTS CEDENCE AND SHALL BE THE OVERRIDING DOCUMENT FOR LAYOUT CONTROL.

E ENGINEER OF ANY LAYOUT DISCREPANCIES FOR SUPPLEMENTAL DIRECTIONS.

SIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR CENTER OF FIXTURE UNLESS OTHERWISE NOTED.

JT AND ORIENTATION OF ALL PROPOSED SITE IMPROVEMENTS INCLUDING SITE FURNISHINGS AND SIGNAGE LOCATIONS SHALL BE FIELD) BY THE ENGINEER PRIOR TO INSTALLATION. LOCATION AND ORIENTATION CHANGES WILL BE PROVIDED AT NO ADDITIONAL COST.

ALL BE 1/2" SEALED EXPANSION JOINT AT ALL CURB/SIDEWALK. BUILDING/SIDEWALK. LIGHT POLE, OR ANY OTHER FIXED OBJECTS (I.E. EXISTING WALLS, POLES, FOUNDATIONS), JOINTING PLANS DO NOT SHOW EVERY REQUIRED SEALED EXPANSION JOINT.

JOINTS AND SEALED EXPANSION JOINTS IN CURBS TO ALIGN WITH CONTROL JOINTS AND SEALED EXPANSION JOINTS IN THE ADJACENT PAVEMENT.

JOINTS AND SEALED EXPANSION JOINTS AT DRIVEWAY AND ALLEY APPROACHES SHALL ALIGN WITH ADJACENT CURB RETURNS.

JOINTS AND SEALED EXPANSION JOINTS TO ALIGN WITH ADJACENT PAVEMENT, CURBS, WALLS, ETC UNLESS OTHERWISE NOTED ON THE PLANS. ITS PERPENDICULAR TO PAVEMENT EDGE AND ALIGN WITH CENTER POINTS OF ARCS, AS SHOWN.

JOINTING IS INCIDENTAL TO THE PAVING AND MATERIALS PAY ITEMS

OINT SPACING

INT SPACING SHALL BE PROVIDED AS INDICATED BELOW UNLESS NOTED HERWISE ON THE PLANS

OTHERWISE ON THE PLANS.)	MAXIMUM SPACING
CONTROL JOINTS IN SIDEWALKS, CURBS, WALLS, ETC.	10'-0"
SEALED EXPANSION JOINTS IN SIDEWALKS AND WALLS	60'-0"
SEALED EXPANSION JOINTS IN CURBS	120'-0"

SIGNAGE AND STRIPING PLAN NOTES

GE AND STRIPING SHOWN ON THESE PLANS SHALL BE COORDINATED WITH THE CITY OF DETROIT TRAFFIC ENGINEERING DIVISION AND PER THE ENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION EXCEPT AS AMENDED BY SPECIAL

EMENT SHALL BE INSTALLED TO PROVIDE A MINIMUM OF 2'-0" OF CLEARANCE FROM THE FACE OF CURB TO THE CLOSEST EDGE OF THE FACE OF OR AS DIRECTED BY THE DETROIT TRAFFIC ENGINEERING DIVISION.

IT OF REGULATORY AND ADVANCE WARNING SIGNS TO BE COORDINATED WITH CITY OF DETROIT TRAFFIC ENGINEERING DIVISION.

FALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE STAKED BY THE CONTRACTOR FOR CITY OF DETROIT TRAFFIC ENGINEERING DIVISION IN ADVANCE OF INSTALLATION.

IGHT POLES, TRAFFIC POLES, AND FREESTANDING POLES THAT ARE TO REMAIN HAVE EXISTING STREET SIGNS AND TRAFFIC SIGNS THAT SHALL. CTED AND REMAIN IN PLACE. THE CONTRACTOR SHALL REPLACE ANY SIGNAGE THAT IS TO REMAIN AT NO ADDITIONAL COST IF THE SIGN IS OR DAMAGED DURING CONSTRUCTION.

REQUIRED TO BE REMOVED FOR CONSTRUCTION PURPOSES SHALL BE SALVAGED AND STORED BY THE CONTRACTOR, AND RE-INSTALLED G CONSTRUCTION ACTIVITIES UNLESS NOTED OTHERWISE ON THE PLANS OR AS AMENDED BY SPECIAL PROVISIONS. CONTRACTOR SHALL AT NO ADDITIONAL COST ANY SIGN THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES.

IONS AND/OR REMOVALS OF EXISTING SIGNS TO BE COORDINATED WITH AND COMPLETED UNDER THE DIRECTION OF THE CITY OF DETROIT NGINEERING DIVISION.

LK STRIPING SHALL ALIGN WITH AND CENTER ON THE SIDEWALK ADA RAMPS UNLESS OTHERWISE SHOWN. FIELD VERIFY THE ALIGNMENT WITH PRIOR TO INSTALLATION.

IENT MARKINGS AND SYMBOLS SHALL BE CENTERED IN EACH LANE UNLESS OTHERWISE SHOWN.

10. ALIGN ALL SIGN FACES PERPENDICULAR TO CENTERLINE OF ROAD

11. CONTRACTOR SHALL REFER AND ADHERE TO THE MOST RECENT VERSION OF MDOT "PAVEMENT ARROW DETAILS" AND "TYPICAL SPACING OF ARROW AND PAVEMENT MESSAGES" MDOT PAVE-900-F FOR THE LATEST COMPLIANT MARKINGS AND DIMENSIONAL REQUIREMENTS.

- 1
- 2 BE MODIFIED AS REQUIRED AND APPROVED.
- SIDEWALKS (INCLUSIVE OF ALL SPECIFIED TOLERANCES).

- DEMOLITION AND GRADING PAY ITEMS.

- MODIFICATIONS AS REFERENCED IN NOTES.

GRADING NOTES

PROVIDE DRAINAGE AWAY FROM ALL PAVED SURFACES AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER. ENSURE ALL AREAS WILL PROPERLY DRAIN TO NEAREST INLET WITHOUT STANDING OR PONDING WATER.

NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE SURVEY GRADES AND THE ACTUAL SITE ELEVATIONS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE FROM PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL

3. MEET EXISTING GRADE WITHIN THE ROADWAY AT THE SAW CUT LINE.

4. PROVIDE MINIMUM CROSS-SLOPE OF 1%, MAXIMUM CROSS-SLOPE OF 2%, AND MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCEPT WHERE NOTED) ON

5. GRADE ALL PAVEMENT SURFACES UNIFORMLY BETWEEN SPOT ELEVATIONS NOTED ON THE PLANS. (EXCEPT WHERE NOTED OTHERWISE)

6. ALL PERMANENT IMPROVEMENTS SHALL BE LOCATED WITHIN CITY OF DETROIT PROPERTY AND/OR PUBLIC RIGHT-OF-WAY.

SPOT ELEVATIONS NOTED FOR ADA SIDEWALK RAMPS ARE REFERENCE POINTS ONLY. THE ADA SIDEWALK RAMPS TO BE FIELD VERIFIED AND SHALL BE IN ACCORDANCE WITH MOOT SIDEWALK RAMP AND DETECTABLE WARNING DETAILS R-28-J (LATEST EDITION).

8. GRADE LONGITUDINAL GUTTER SLOPES UNIFORMLY BETWEEN SPOT ELEVATIONS AND AS ILLUSTRATED WITH DRAINAGE ARROWS ON THE PLANS. ENSURE PROPER DRAINAGE IS MAINTAINED ACROSS AND AWAY FROM ALL SIDEWALK, ADA RAMPS TO ENSURE WATER DOES NOT POND AT THE BASE OF THE RAMPS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE MODIFIED AS REQUIRED AND APPROVED. GRADING MODIFICATIONS SHALL BE PROVIDED AT NO ADDITIONAL COST AND IS INCIDENTAL TO

9. REFERENCE CURB TRANSITIONS NOTED ON GRADING PLANS, AT SIDEWALK, ADA, RAMPS, AND ADJACENT TO DRIVEWAY/ALLEY APPROACHES. CURB TRANSITIONS SHALL BE MADE UNIFORMLY WITHOUT ABRUPT CHANGES OR IRREGULARITIES. ENSURE THAT THE TOP OF CURB ELEVATION IS THE SAME AT INTERSECTIONS WITH DIFFERENT CURB TYPES AND EXISTING CURBS.

10. CONTRACTOR TO VERIFY ALL EXISTING SPOT ELEVATIONS ALONG LIMITS OF EXISTING AND NEW PAVEMENT WHERE THE GRADING PLANS NOTE MEET EXISTING (M.E.). NOTIFY THE ENGINEER OF ANY INCONSISTENCIES, DRAINAGE ISSUES, OR SLOPE DISCREPANCIES.

11. TOP OF LIGHT POLE FOUNDATIONS SHALL BE 24 INCHES HIGHER THAN FINISH GRADE IN PAVED AREAS. REFER TO SPOT ELEVATIONS NOTED ON GRADING PLANS. COORDINATE AND ADJUST TOP OF LIGHT POLE FOUNDATION ELEVATIONS TO COORDINATE WITH ALL APPROVED GRADING

EASTERN MARKET SxSE STREETSCAPE WINDER STREET

ORLEANS STREET DIVISION STREET

Owner: CITY OF DETROIT EASTERN MARKE CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



ISSUED FOR

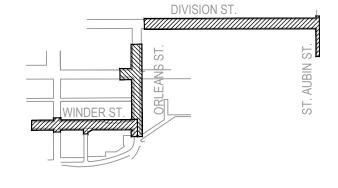
REV DATE

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE CENEDAL NOTES

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SCALE

N/A

PROJECT NUMBER

10257.00

UTILITY NOTES

UTILITY PERMIT NOTES:

- 1. STORM SEWER WORK INDICATED ON THESE DRAWINGS SHALL REQUIRE A DETROIT WATER AND SEWERAGE DEPARTMENT (DWSD) PERMIT TO BE OBTAINED BY THE CONTRACTOR. NOTIFY AND COORDINATE WITH JUNTIVA SANDERS PERMIT INSPECTOR (313-999-3928) A MINIMUM OF 48 HOURS PRIOR TO THE INITIATION OF STORM SEWER CONSTRUCTION WORK.
- 2. WHEN CONSTRUCTION OF STORM SEWER WORK IS COMPLETED, PROVIDE A MYLAR REPRODUCABLE COPY OF THE AS-BUILT IMPROVEMENTS FOR STORM SEWER TO DWSD AND ENGINEER.

UTILITY NOTES:

- 1. IN COMPLIANCE WITH PUBLIC ACT 53 OF THE STATE OF MICHIGAN (EFFECTIVE) AUGUST 1, 1974, AS AMENDED, NOTIFY IN ADVANCE OF CONSTRUCTION (72 HOURS/ 3 WORKING DAYS) ALL PUBLIC AND PRIVATE UTILITY PROVIDERS HAVING FACILITIES IN OR NEAR THE IMMEDIATE WORKING AREA FOR CONVENIENCE ARE IDENTIFIED ON THE ENCLOSED UTILITY PROVIDER LIST. THE LISTING DOES NOT, HOWEVER, RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF VERIFYING THE UTILITY LOCATIONS AND NOTIFYING ALL UTILITY OWNERS AND MISS DIG (1-800-482-7171).
- 2. ALL WORK TO BE LAID OUT PER STATION (STA) AND OFFSET (OFF) FROM HORIZONTAL CONTROL ALIGNMENT. OFFSETS FOR DRAINAGE STRUCTURES ARE TO BE CENTER OF STRUCTURE .
- 3. VERIFY EXISTING UTILITY LINE AND STRUCTURE LOCATIONS AND DEPTHS IN THE FIELD. REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND SURVEY TO THE ENGINEER.
- 4. REPLACE SIDEWALKS, CURBS AND PAVEMENT DISTURBED AS PART OF UTILITY WORK OR OTHER CONSTRUCTION ACTIVITIES AND MATCH EXISTING CONDITIONS. PAVEMENT REMOVAL TRENCHING, BACKFILL, PAVEMENT REPLACEMENT AND OTHER ASSOCIATED WORK AND MATERIALS REQUIRED FOR THE ADJUSTMENT, REMOVAL, REPLACEMENT AND INSTALLATION THAT IS NOT SHOWN ON THE DEMOLITION PLANS OR MATERIAL PLANS SHALL BE INCIDENTAL TO THE UTILITY LINE AND/OR STRUCTURE PAY ITEM.
- 5. REFER TO SHEETS CU-501 UTILITY DETAILS.

UTILITY ADJUSTMENT NOTES

INDICATED.

- 1. UTILITY ADJUSTMENTS REQUIRED TO COMPLETE THE PROJECT ARE TO BE COORDINATED BY THE CONTRACTOR WITH THE INDIVIDUAL UTILITY PROVIDERS.
- 2. REVIEW, PERMIT AND INSPECTION FEES REQUIRED TO PERFORM THE UTILITY WORK SHALL BE COORDINATED BY THE CONTRACTOR AND SHALL BE INCLUDED IN THE BID.
- 3. ANY EXISTING SEWER STRUCTURE ADJUSTMENT THAT IS 12 INCHES OR LESS TO BE PAID FOR AS _DR STRUCTURE COVER, ADJ, CASE 1 OR 2, MODIFIED. ANY EXISTING SEWER STRUCTURE ADJUSTMENT THAT IS MORE THAN 12 INCHES TO BE PAID FOR AS DR STRUCTURE, RECONSTRUCT CONE.
- 4. ADJUST ALL SEWER, WATER AND ELECTRICAL STRUCTURES OR INFRASTRUCTURE AS INDICATED ON DRAWINGS. COORDINATE WITH APPROPRIATE CITY DEPARTMENTS AS NECESSARY.
- 5. COORDINATE ADJUSTMENT OF ALL GAS, STEAM, FIBER AND COMMUNICATION STRUCTURES OR INFRASTRUCTURE WITH APPROPRIATE UTILITY PROVIDER. APPROPRIATE UTILITY PROVIDER TO MAKE ANY ADJUSTMENTS TO GAS, STEAM, FIBER AND COMMUNICATION STRUCTURES AS NECESSARY
- 6. RELOCATION OF LINES AND REMOVAL OF UTILITY POLES TO BE COORDINATED WITH DETROIT PUBLIC LIGHTING AUTHORITY (PLA) AND DTE ENERGY. STORM SEWER CONSTRUCTION NOTES:
- 1. SEWER WORK ON THESE DRAWINGS SHALL BE COORDINATED WITH THE DETROIT WATER AND SEWERAGE DEPARTMENT'S (DWSD).
- 2. ALL SEWER MANHOLES SHALL BE PRECAST CONCRETE IN ACCORDANCE WITH ASTM C478 WITH ECCENTRIC CONE OR FLAT-SLAB-TOP AS
- 3. PIPE CONNECTORS AT MANHOLES TO BE IN ACCORDANCE WITH ASTM C923, OR PER PIPE MANUFACTURER'S AND DWSD SPECIFICATIONS
- 4. SEWER PIPE TO BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76, CLASS IV, WALL B, MINIMUM INSIDE DIAMETER TO BE 8 INCHES OR PVC. ASTM D3034. SDR26 FOR SIZES 8 INCHES AND SMALLER.
- 5. PROPOSED INVERT FOR NEW SEWER CONNECTIONS TO EXISTING PIPES NOT AT EXISTING MANHOLES ARE ESTIMATED. VERIFY INVERT ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- 6. EXISTING OUTLET SEWER INVERT ELEVATIONS TO BE FIELD VERIFIED.
- 7. EXTENSIONS OF EXISTING SEWER PIPE TO BE PERFORMED USING PIPE MATERIALS AND DIAMETERS TO MATCH THE EXISTING SEWER.
- 8. CONSTRUCT ALL TAPS TO EXISTING SEWERS WHERE TAPPING PIPE SIZE IS EQUAL TO OR LARGER THAN HALF OF EXISTING SEWER SIZE WITH A TEE OR WYE CONNECTION. CONSTRUCT ALL TAPS TO EXISTING SEWERS WHERE TAPPING PIPE SIZE IS LESS THAN HALF OF THE EXISTING SEWER SIZE WITH DIRECT TAPS PER DETAIL 5 ON CU-501.
- 9. FOR ALL DIRECT TAPS TO EXISTING STRUCTURES, FIELD CORE DRILL EXISTING STRUCTURE TO ACCOMMODATE PROPOSED PIPE SIZE. GROUT PIPE OPENING TO BE WATERTIGHT.
- 10. ALL MANHOLE AND CATCH BASIN COVERS SHALL BE BOLTED DOWN.
- 11. SUBBASE UNDERDRAINS TO BE PERFORATED, CORRUGATED POLYETHYLENE PIPE CONFORMING TO AASHTO M252. UNDERDRAIN TO HAVE A GEOSYNTHETIC OUTER COVERING (SOCK WRAP). CONNECT UNDERDRAINS TO SEWER STRUCTURES INDICATED.

MAINTENANCE OF TRAFFIC NOTES

1. THE CONSTRUCTION INFLUENCE AREA (CIA) SHALL INCLUDE THE AREA WITHIN THE RIGHT-OF-WAY OF THE CONSTRUCTION LIMITS, ALL PROPERTIES ADJACENT TO THE CONSTRUCTION LIMITS, AND ALL STREETS LISTED IN THE SPECIAL PROVISIONS. MAINTENANCE OF TRAFFIC MEASURES SHALL BE PROVIDED FOR THE ENTIRE CIA.

2. PROVIDE ALL NECESSARY PROTECTION MEASURES INCLUDING ALL NECESSARY FENCING, BARRICADES, SIGNAGE, TEMPORARY PAVEMENT MARKINGS, PLASTIC DRUMS, LIGHTED ARROWS, TRAFFIC REGULATOR CONTROL, AND ALL NECESSARY MINOR TRAFFIC DEVICES WITHIN THE CIA TO ENSURE A SAFE, CLEARLY DEFINED, CONSTRUCTION AREA. INSTALL THE TRAFFIC MAINTENANCE MEASURES PRIOR TO INITIATING CONSTRUCTION AND MAINTAIN THEM UNTIL THE PROJECT IS ENTIRELY COMPLETED. TRAFFIC SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH MOT STANDARDS, COORDINATED WITH THE TRAFFIC ENGINEERING DIVISION (TED) AND PER ALL APPLICABLE SPECIAL PROVISIONS.

3. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) (LATEST EDITION). TRAFFIC CONTROL DEVICES SHALL BE PAID FOR PER APPLICABLE TRAFFIC MAINTENANCE PAY ITEMS IDENTIFIED ON THE PLANS. ALL OTHER REQUIRED TRAFFIC CONTROL DEVICES, ACTIVITIES, MATERIALS, LABOR, AND EQUIPMENT TO BE PAID FOR AS PART OF MINOR TRAFFIC DEVICES.

4. TRAFFIC ON PUBLIC ROADS SHALL NOT BE OBSTRUCTED EXCEPT AS AUTHORIZED BY PERMIT. CONTRACTOR SHALL SECURE AND COMPLY WITH ALL REQUIREMENTS OF ALL PERMITS REQUIRED INCLUDING THE CITY OF DETROIT, TED, AND MDOT AS APPLICABLE. OBTAIN PERMIT FROM TED FOR NECESSARY ROAD LANE CLOSURES, LANE SHIFTS OR TRAFFIC CIRCULATION MODIFICATIONS FOR WORK WITHIN THE PUBLIC RIGHT OF WAY. PREPARE AND OBTAIN APPROVAL OF MAINTENANCE AND TRAFFIC PROTECTION PLANS IN ACCORDANCE WITH THE CURRENT REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF DETROIT, MDOT, & ALL APPLICABLE FEDERAL, STATE AND COUNTY AGENCIES.

5. CONTRACTOR SHALL PROVIDE MOT PLANS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLING, MODIFYING, AND/OR EXPANDING THE CIA. MOT PLANS SHALL BE PROVIDED FOR EVERY INTERIM PHASE OF CONSTRUCTION AND SHALL BE SUBMITTED TO TED AND MDOT FOR APPROVAL. AS NECESSARY, CLEARLY DEFINE AND PROVIDE PEDESTRIAN AND VEHICULAR DETOUR ROUTES.

PROVIDE TRAFFIC CONTROL AND APPROPRIATE SIGNAGE TO MAINTAIN A MINIMUM OF ONE VEHICULAR TRAVEL LANE IN EACH DIRECTION UNLESS OTHERWISE NOTED ON PLANS AND/OR AS PERMITTED. MAINTAIN TRAFFIC FLOW ACROSS AND THROUGH INTERSECTIONS. TEMPORARY LANE CLOSURES AND SHORT TERM CLOSURES OF INTERSECTIONS (OR PORTIONS OF INTERSECTIONS) TO BE BY PERMIT AND AS APPROVED BY TED AND MDOT. TEMPORARY STEEL PLATING AND BRIDGING OF TRENCHES AND UTILITY WORK SHALL BE PROVIDED AS REQUIRED AND AS REQUESTED BY THE ENGINEER TO MAINTAIN TRAFFIC FLOW AND TO MINIMIZE TIME PERIODS FOR TEMPORARY LANE AND INTERSECTION CLOSURES.

NOTIFY THE ENGINEER, AND THE LOCAL POLICE AND FIRE DEPARTMENTS PATROLLING THE CIA A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO MAKING ANY ADDITIONS OR MODIFICATIONS TO TRAFFIC CONTROL MEASURES AND TEN (10) BUSINESS DAYS PRIOR TO ANY ROAD OR INTERSECTION CLOSURES.

MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. PROVIDE TEMPORARY ACCESS PATHS INCLUDING AGGREGATE BASE. FENCING. BARRICADES. SIGNAGE, AND ALL NECESSARY ITEMS TO ENSURE A SAFE AND CLEARLY DEFINED ACCESS PATH TO BOTH PEDESTRIAN AND VEHICULAR ACCESS POINTS TO ALL ADJACENT PROPERTIES IMPACTED BY CONSTRUCTION ACTIVITIES. PROVIDE A MINIMUM OF 48 HOURS OF PRIOR NOTIFICATION TO PROPERTY OWNERS AFFECTED BY ANY ADDITIONS OR MODIFICATIONS TO TRAFFIC CONTROL MEASURES. WALKS, DRIVEWAYS, ALLEYS AND ENTRANCES TO BUILDINGS SHALL NOT BE BLOCKED. TEMPORARY CLOSURES OF THESE ENTRANCES SHALL BE COORDINATED WITH THE PROPERTY OWNER AND ENGINEER PRIOR TO PROCEEDING WITH ASSOCIATED CONSTRUCTION ACTIVITIES. TIMING OF CONSTRUCTION ACTIVITIES AND ACCOMMODATIONS FOR PROPERTY OWNER OPERATIONAL REQUIREMENTS SHALL BE ACCOMMODATED AND PROVIDED FOR. PHASED CONSTRUCTION ACTIVITIES TO AVOID CLOSURES SHALL BE USED WHEREVER POSSIBLE WHEN ADEQUATE SPACE IS AVAILABLE I.E. REPLACE HALF OF A DRIVEWAY ENTRANCE AT A TIME. MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO MAINTAIN ACCESS SHALL BE PAID FOR AS _PROPERTY ACCESS, PROTECTION, TEMP.

9. ADDITIONS AND MODIFICATIONS TO THE MOT PLANS SHALL BE PROVIDED AS REQUESTED BY THE ENGINEER FOR ALL HOLIDAYS AND SPECIAL EVENTS NOTED IN THE SPECIAL PROVISIONS AND ANY ADDITIONAL DATES IDENTIFIED BY THE ENGINEER. WORK ACTIVITIES AND LANE CLOSURES SHALL NOT OCCUR DURING THESE TIME PERIODS.

10. COORDINATE ALL CONSTRUCTION ACTIVITIES, INCLUDING HOURS OF OPERATION WITH THE CITY OF DETROIT AND AS APPLICABLE INDIVIDUAL PROPERTY OWNERS.

11. TRUCK HAUL ROUTES TO BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF DETROIT PRIOR TO START OF CONSTRUCTION AND SHALL BE SUBJECT TO REGULATIONS AND REQUIREMENTS IMPOSED BY THE CITY OF DETROIT.

12. SUPPLY, ERECT AND MAINTAIN TEMPORARY CONSTRUCTION FENCING AND BARRICADES AS REQUIRED TO PROVIDE FOR THE PROTECTION OF THE GENERAL PUBLIC.

13. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIALS SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS, SIDEWALKS, OR OTHER AREAS DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY. ALL STREETS SHALL BE SCRAPED AND SWEPT AS NEED AND AS DIRECTED BY THE ENGINEER (DAILY IF NECESSARY) TO ENSURE A CLEAN AND SAFE CIA.

14. COORDINATE AND MODIFY MOT PLANS AS REQUIRED WITH ALL ADJACENT CONSTRUCTION PROJECTS, FOR THE RIOPELLE STREET PROJECT, AND WITH OTHER CONSTRUCTION PROJECTS BY OTHERS WITHIN THE CIA.

15. ALL EXISTING TRAFFIC SIGNALS AND POLES LOCATED WITHIN THE CIA SHALL NOT BE DISTURBED AND SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE INDICATED ON PLANS.

16. PRIOR TO OPENING UP CONSTRUCTION AREAS TO TRAFFIC ENSURE UTILITY STRUCTURE ELEVATIONS ARE SAFE FOR TRAFFIC MOVEMENTS. PROVIDE TEMPORARY RAMPING AS REQUIRED AROUND UTILITY STRUCTURES TO ENSURE THAT NO STRUCTURE EXTENDS ABOVE THE ROAD SURFACE GREATER THAN 1 1/2". PROVIDE TEMPORARY AGGREGATE BASE AS NECESSARY TO MAINTAIN ACCESS TO ADJACENT PROPERTY DRIVEWAYS AND ENTRANCES.

17. PRIOR TO OPENING UP CONSTRUCTION AREAS TO PEDESTRIAN CIRCULATION ENSURE A SAFE AND CLEARLY DEFINED PATHWAY WITH A STABLE SURFACE, DEFINED LIMITS WITH CONSTRUCTION FENCING AND/OR OTHER PROTECTION MEASURES AS NECESSARY. PROVIDE TEMPORARY AGGREGATE BASE AS NECESSARY AND AS REQUESTED BY THE ENGINEER. ENSURE ALL CONSTRUCTION IMPROVEMENTS ARE IN A SAFE CONDITION WITHOUT OPEN TRENCHES, TRIPPING HAZARDS, DEBRIS, CONSTRUCTION MATERIALS, OR OTHER UNSAFE CONDITION.

18. PRIOR TO LEAVING THE CONSTRUCTION SITE AT THE END OF EVERY WORK DAY, THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY TRAFFIC CONTROL MEASURES ARE IN PLACE AND OPERATING AS NECESSARY TO ENSURE A SAFE CIA.

EASTERN MARKET SxSE STREETSCAPE WINDER STREET **ORLEANS STREET DIVISION STREE**

Owner:

CITY OF DETROIT EASTERN MARKE CORPORATION

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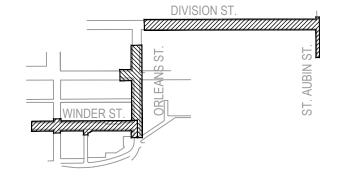
REV DATE

CONSTRUCTION DOCUMENTS O 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DRAWING TITLE **GENERAL NOTES**

N/A

SCALE

10257.001

PROJECT NUMBER

ITE REM	IOVALS & SESC PLAN		C	RAWING	SxSE TOTAL	
MDOT	Item Description	Units	Winder	Orleans	Division	
1500001	Mobilization, Max.	LS	1.00	1.00	1.00	3.00
8240001	Contractor Staking	LS	1.00	1.00	1.00	3.00
2040055	_Sidewalk, Rem, Modified	Syd	1143	443	0	1586
2040050	_Pavt, Rem, Modified	Syd	664	237	708	1609
5010002	Cold Milling HMA Surface	Syd	1111	650	1380	3141
2040021	_Curb, Rem, Modified	Ft	1040	500	979	2519
2010001	_Clearing, Modified	Acre	0	0	0.12	0.12
2047050	_Parking Block, Rem and Salv	Ea	0	4	0	4
2040035	Guardrail, Rem	Ft	35	0	0	35
2047001	_Foundation, Rem	Ft	45	0	0	45
2047050	_Sign and Post, Salv	Ea	2	3	2	7
2047050	_Vault, Grate	Ea	2	2	0	4
2047050	_Vault, Repair	Ea	2	2	0	4
2080022	Erosion Control, Inlet Protection, Geotextile and Stone	Ea	10	5	13	28
2080026	Erosion Control, Maintenance, Sediment Removal	Cyd	30	15	39	84
2047050	_Utility Pole, Rem (By CONT RACT OR)	Ea	0	0	2	2
2047050	_Utility Pole, Rem (By PLA)	Ea	2	0	0	2
2047050	_Utility Pole, Rem (By DTE)	Ea	0	0	3	3
2047050	_Bike Rack,Rem and Salv	Ea	1	0	0	1
2047050	_Wood Ramp, Stair, Foundation, Rem	Ea	1	0	0	1
8127051	_Pavt Mrkg, Rem	LS	1.00	1.00	1.00	3
2047051	_Property Access, Protection, Temp	LS	1.00	1.00	1.00	3

MAINTENANCE OF TRAFFIC (MOT)			D	SxSE TOTAL		
MDOT	Item Description	Units	Winder	Orleans	Division	
8120170	_Minor Traf Devices, Modified	LS	1.00	1.00	1.00	3.00

PAVING			DRAWING NUMBER				
MDOT	Item Description	Units	Winder	Orleans	Division		
6020074	_Conc Pavt, Misc, Reinf, 8 inch, Modified	Syd	359	120	411		890
8030046	Sidewalk, Conc, 6 inch	Sft	4121	2463	4703		11287
6020019	_Conc Base Cse, Nonreinf, 8 inch, Modified	Syd	681	210	765		1656.333333
5010025	Hand Patching	Ton	105.0	34.7	110.8		250.5
5010051	HMA, 4E3	Ton	7.33	0.00	15.44		22.77
2050023	Granular Material, CI II	Cyd	76.3	45.6	87.1		209.0
3027021	_Aggregate Base, 21AA	Cyd	382.4	120.1	431.3		933.8
3060005	_Aggregate Surface Cse, Modified	Cyd	0.00	7.07	0.00		7.07

CURBS			D		SxSE TOTAL		
MDOT	Item Description	Units	Winder	Orleans	Division		
8027001	_Integral Curb and Sidewalk, 2 Foot, Modified	Ft	733	323	817		1873
8027001	_Curb, Conc, Separate, 6 inch, Modified	Ft	0	24	70		94
8067001	_Curb, Conc, Double	Ft	0	0	80		80
8067001	_Curb, Conc, Transition	Ft	0	10	30		40
8067001	_Curb, Conc, Back of Walk	Ft	0	160	15		175
8037010	_Sidewalk Ramp, ADA, Modified	Sft	261	745	480		1486
8027001	_Detectable Warning Surface Tile, Modified	Ft	24	55	50		129

MATERIAL			D	RAWINGN	IUMBER	SxSE TOTAL
MDOT	Item Description	Units	Winder	Orleans	Division	
7087051	_Conc, Ramp	LS	0	0	1	1.0
7087051	_Pedestrian Ramp and Stair	LS	1	0	0	1.0

SIGNAGE AND STRIPING			D	RAWINGN	IUMBER	SxSE TOTAL
MDOT	Item Description	Units	Winder	Orleans	Division	
8110451	Recessing Pavement Markings, Transv	Sft	274	675	217	1166
8110153	Pavt Mrkg, Sprayable Thermopl, 4 inch, White	Ft	1318	1186	2102	4606
8110154	Pavt Mrkg, Sprayable Thermopl, 4 inch, Yellow	Ft	1024	754	1180	2958
8110041	Pavt Mrkg, Ovly Cold Plastic, 12 inch, Crosswalk	Ft	220	580	190	990
8110044	Pavt Mrkg, Ovly Cold Plastic, 18 inch, Stop Bar	Ft	36	64	18	117

GRADING			D	SxSE TOTAL			
MDOT	Item Description	Units	Winder	Orleans	Division A	Division B	
8507010	_Sidewalk Grading	Sft	7353	3544	5124	3276	19297
2050016	_Excavation, Earth, Modified	Cyd	136.2	65.6	94.9	60.7	357.4
2057021	_General Site Fill	Cyd	68.1	32.8	47.4	30.3	178.7

UTILITY			DRAWING NUMBER					SxSE TOTAL
MDOT	Item Description	Units	1	Winder	Orleans	Division A	Division B	
2030011	Dr Structure, Rem	Ea		0	0	1	0	1
4037050	_Dr Structure Cover, Adj, Case 1, Modified	Ea		8	0	3	2	13
4037050	_Dr Structure Cover, Type 1, Modified	Ea		0	0	2	0	2
4027050	_Dr Structure, Type L	Ea		1	0	2	1	4
4027001	_Sewer, Cl A, 12 inch, Tr Det B, Modified	Ft		0	0	212	0	212
4030312	Dr Structure, Tap, 12 inch	Ea		0	0	1	0	1
4027050	_Sewer Tap, Modified	Ea		3	1	3	0	7
8230431	Gate Box, Adj, Case 1	Ea		4	0	5	0	9
4037050	Gate Box, Adj, Case 1, Modified	Ea		12	4	0	1	17
4030200	Dr Structure, 24 inch dia	Ea		0	0	3	0	3

ELECTRICAL AND LIGHTING			DRAWING NUMBER				SxSE TOTAL
MDOT	Item Description	Units	Market	Winder	Orleans	Division	
8197050	_Connect to Existing Lighting Controller	Ea	1	0	0	0	1
8197050	_Hh, Elec	Ea	0	1	0	2	3
8197050	_Elec, Serv, Tap	Ea	0	0	0	1	1
8197050	_Fixture, Type 1	Ea	0	10	0	10	20
8190058	Conduit, Encased, 1, 3 inch	Ft	0	90	0	160	250
8190146	Conduit, Schedule 40, 1 1/2 inch	Ft	0	100	0	100	200
8190149	Conduit, Schedule 40, 3 inch	Ft	0	1100	0	1860	2960
8190213	DB Cable, in Conduit, 600V, 1/C#10	Ft	0	600	0	600	1200
8190211	DB Cable, in Conduit, 600V, 1/C#6	Ft	1650	795	0	1860	4305
8190207	DB Cable, in Conduit, 600V, 1/C#4	Ft	1650	1680	0	1860	5190

EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET DIVISION STREET

Owner: CITY OF DETROIT EASTERN MARKET CORPORATION

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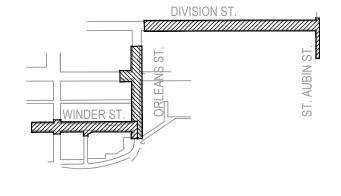
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SEALS AND SIGNATURES





KEY PLAN



DRAWING TITLE

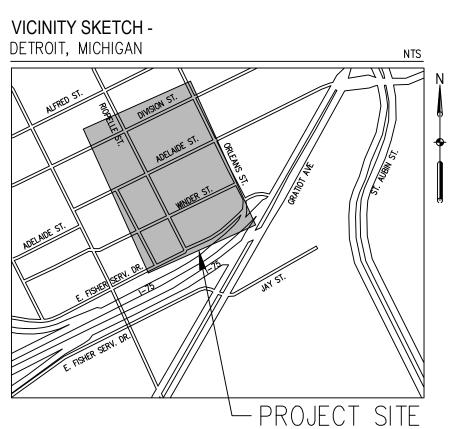
MDOT QUANTITIES

SCALE

N/A

PROJECT NUMBER

10257.001 G-004



SOURCE BENCHMARK

<u>SITE BM#5</u> SPAULDING DEDECKER & ASSOCIATES SURVEY (JOB SM08-043) DATED 9-14-2012. SCRIBED "X" ON SOUTHEAST CORNER OF TRANSFORMER PAD AT NORTHWEST CORNER OF MARKET AND ADELAIDE.

NORTHING = 311,502.68EASTING = 13,482,052.16

ELEVATION = 142.58 FEET (CDD*)

* SEE NOTE 2 IN SURVEYOR'S NOTES BELOW

SITE BENCHMARK TABLE

Point No.	Northing	Easting	Elevation	Description
28	311167.92	13482437.12	143.00	BM A - T/ARROW ON HYDRANT
29	311322.22	13482348.53	143.88	BM B – T/ARROW ON HYDRANT
30	311379.00	13482799.45	143.96	BM C – T/ARROW ON HYDRANT
31	311608.74	13482244.32	143.15	BM D – T/ARROW ON HYDRANT
32	311819.32	13482640.94	143.39	BM E - T/ARROW ON HYDRANT

CONTROL POINT TABLE

Point No.	Northing	Easting	Elevation	Description
1	311102.47	13482485.56	139.86	CP PK-MAGNAIL
2	311290.50	13482374.36	140.08	CP PK-MAGNAIL
3	311182.01	13482623.01	140.57	CP PK-MAGNAIL
4	311451.92	13482331.69	141.22	CP PK-MAGNAIL
5	311373.69	13482533.28	140.02	CP PK-MAGNAIL
6	311385.31	13482850.58	141.20	CP SGJJR CAP REBAR
7	311487.28	13482760.81	140.90	CP PK-MAGNAIL
8	311634.61	13482699.43	141.32	CP PK-MAGNAIL
9	311547.99	13482240.90	140.64	CP PK-MAGNAIL
10	311744.56	13482630.80	140.49	CP PK-MAGNAIL
11	311513.32	13482440.22	141.38	CP PK-MAGNAIL

SURVEYOR'S NOTES

- 1. HORIZONTAL DATUM IS ACCORDING TO MICHIGAN STATE PLANE GRID COORDINATES, SOUTH ZONE (2113), GEOID 2012A, INTERNATIONAL FEET AS LINEAR UNIT OF MEASURE.
- 2. VERTICAL DATUM IS THE CITY OF DETROIT (CDD) DATUM, AS ESTABLISHED ON A SURVEY BY SPALDING DeDECKER & ASSOCIATES (JOB SM08-043), DATED 09-14-2012, WITH SOURCE BENCHMARK LISTED HEREON. TO CONVERT FROM CDD DATUM TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88):

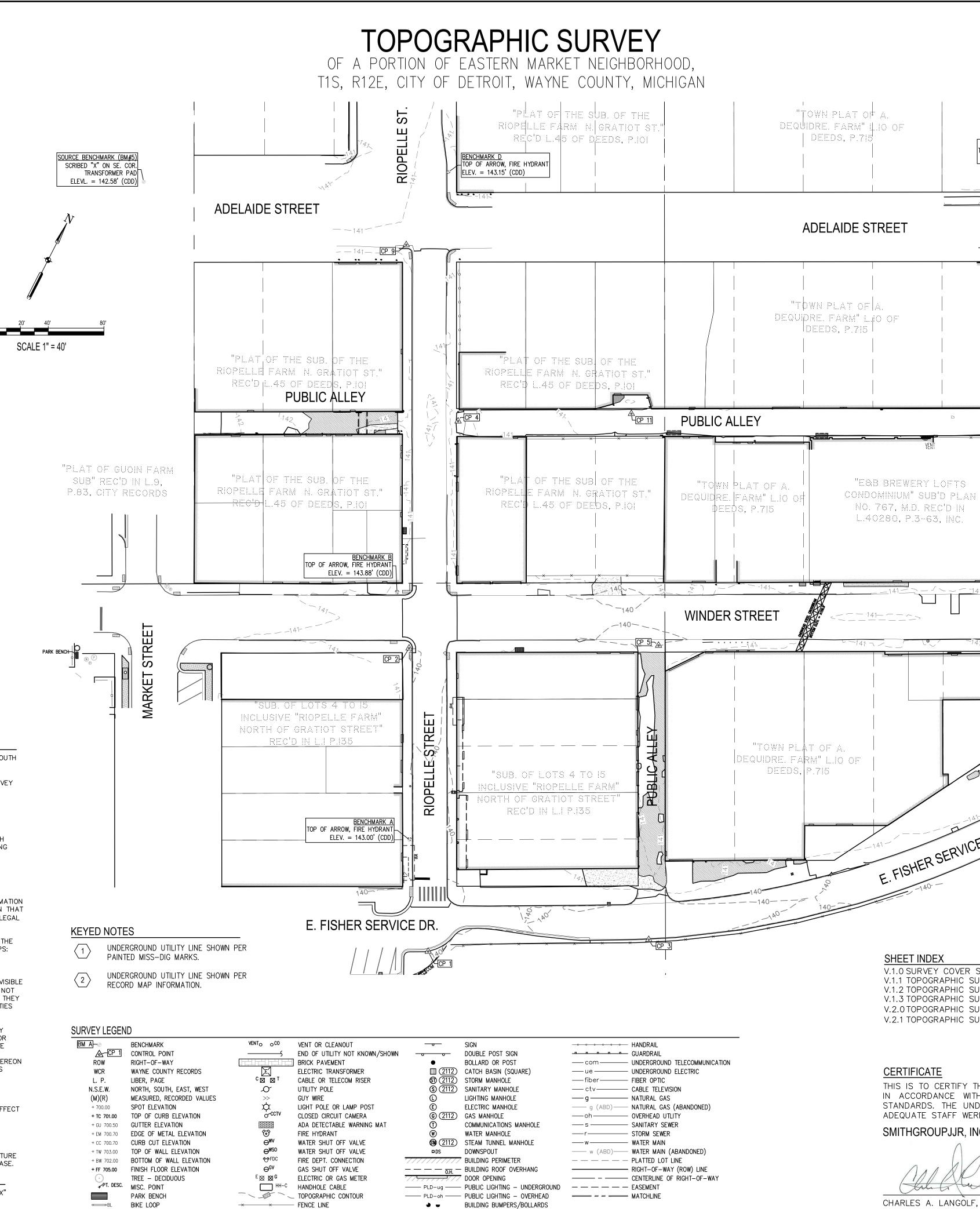
CDD + 479.38 FEET = NAVD88

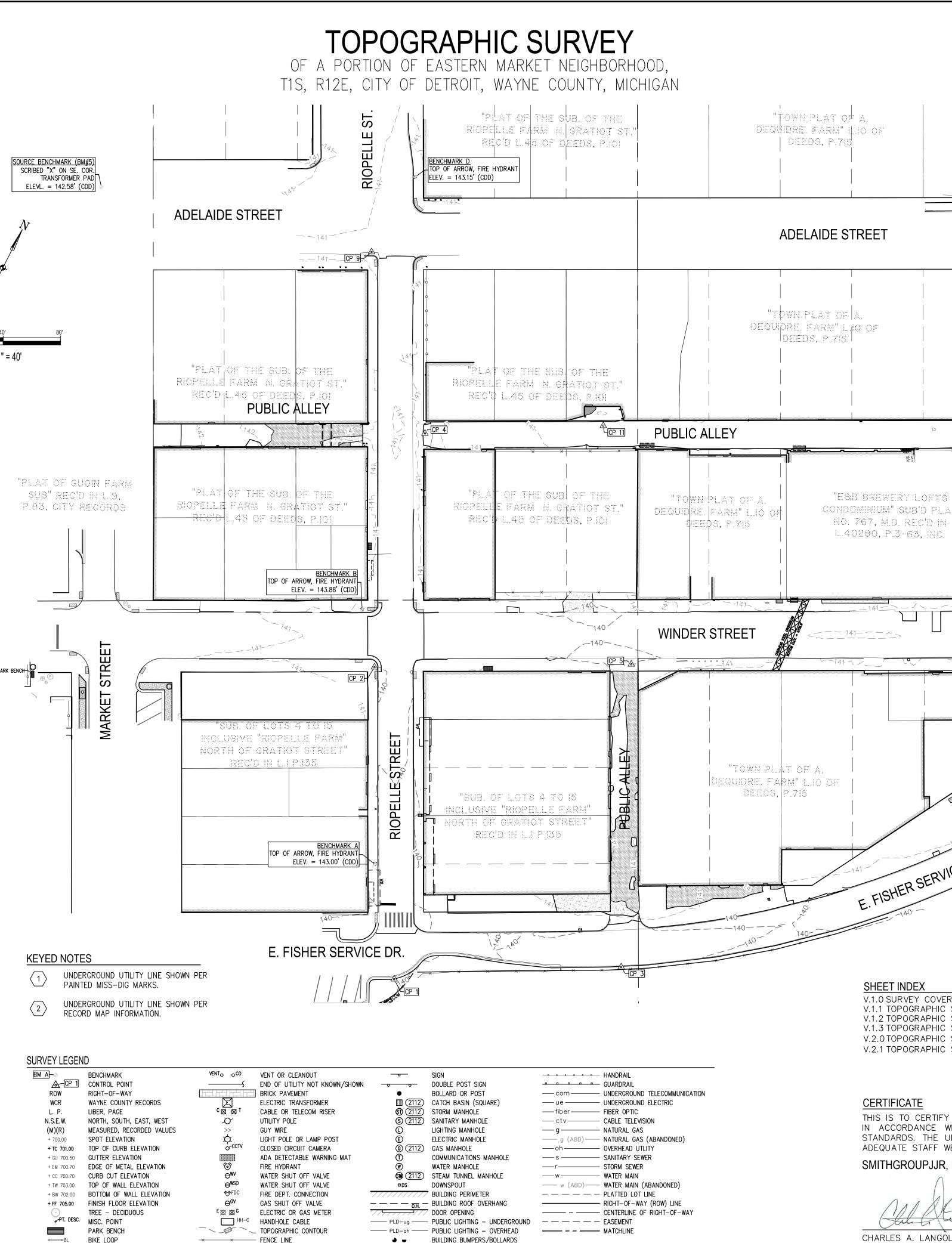
- 3. SMITHGROUPJJR PERFORMED A TOPOGRAPHIC SURVEY UTILIZING DATA COLLECTED WITH GLOBAL POSITIONING RECEIVERS REFERENCING THE MICHIGAN CONTINUOUSLY OPERATING REFERENCE NETWORK FOR SITE CONTROL AND DATA COLLECTION. ROBOTIC TOTAL STATIONS WERE ALSO USED FOR DATA COLLECTION.
- 4. UNLESS NOTED OTHERWISE, ALL FINISH FLOOR ELEVATIONS WERE OBSERVED ON THE DOORWAY THRESHOLD. NOT THE INTERIOR FLOOR
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION 5 REGARDING LAND BOUNDARY, EASEMENTS, RIGHTS-OF-WAY, AND OTHER INFORMATION THAT MAY AFFECT TITLE WAS GAINED FROM AVAILABLE TAX RECORDS AND/OR RECORDED LEGAL DOCUMENTS FOR ADJOINING PARCELS
- 6. MISS-DIG DESIGN TICKET A071980512-00A WAS ISSUED FOR THIS PROJECT. AS OF THE DATE OF THIS SURVEY THE FOLLOWING UTILITY OWNERS HAVE PROVIDED RECORD MAPS: – COMCAST (TELECOM) – DTE (GAS & ELECTRIC) – EXTENET (TELECOM) – PLD (LIGHTING) – DWSD (WATER & SEWER) – ITC (POWER)
- 7. UNDERGROUND UTILITY LOCATIONS WERE DERIVED FROM ACTUAL MEASUREMENTS ON VISIBLE UTILITIES, MISS-DIG FLAGS/MARKINGS, AND/OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS, NOR SHOULD THEY IT BE ASSUMED THAT THEY ARE THE ONLY UNDERGROUND UTILITIES IN THE AREA. TO DATE NONE OF THE UTILITIES WITHIN THE PROJECT LIMITS HAVE BEEN OPENED AND INVENTORIED.
- UNDERGROUND LOCATIONS OF UTILITY SERVICE LINES (ACTIVE OR INACTIVE) ARE ONLY SHOWN ON THIS DRAWING IF SUBSTANTIATED BY EITHER RECORD MAP INFORMATION OR MISS-DIG PAINT MARKINGS AND A PHYSICAL VALVE BOX OR CLEANOUT. MANY VALVE BOXES LOCATED ON THIS SURVEY HAD NEITHER RECORD MAP INFORMATION OR FIELD MARKINGS OF ANY KIND. SAID VALVE BOXES AND CLEANOUTS HAVE BEEN SHOWN HEREON WITHOUT SERVICE LINES DUE TO UNCERTAINTY OF LENGTH OR DIRECTION AND STATUS (ACTIVE OR INACTIVE). SEE KEYED NOTES FOR MORE INFORMATION.
- 9. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED AND ARE NOT CONSIDERED A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE AND OR DEVELOPMENT OF THIS SITE.
- 10. ADDITIONAL SPOT ELEVATIONS MAY BE CONTAINED IN THE PROJECT DATABASE, AND ALTHOUGH NOT APPEARING IN THE RECORD PLAN DOCUMENT DUE TO SCALE AND VISIBILITY, WERE UTILIZED IN THE DIGITAL TERRAIN MODEL FOR CREATION OF THE ONE-FOOT CONTOURS. THE ADDITIONAL SPOT ELEVATION DATA IS AVAILABLE FOR FUTURE DESIGN ANALYSIS, BEING LOCATED ON A FROZEN LAYER WITHIN THE PROJECT DATABASE.

FLOODPLAIN NOTE

ALL AREAS SHOWN ON THIS LIMITED TOPOGRAPHIC SURVEY, LIE IN (OTHER) AREA "ZONE X" (UNSHADED), ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 26163C, PANEL 0285E, FOR WAYNE COUNTY, MICHIGAN, EFFECTIVE DATE FEBRUARY 2, 2012. ACCORDING TO SAID PANEL, ZONE X (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

UN-SURVEYED PORTIONS OF THE PROJECT AREA MAY LIE IN OTHER FLOOD ZONES.





M A	BENCHMARK	VENTO
A-CP 1	CONTROL POINT	
ROW	RIGHT-OF-WAY	
WCR	WAYNE COUNTY RECORDS	
L. P.	LIBER, PAGE	C 🖂
N.S.E.W.	NORTH, SOUTH, EAST, WEST	Ĺ
(M)(R)	MEASURED, RECORDED VALUES	>
+ 700.00	SPOT ELEVATION	X
+ TC 701.00	TOP OF CURB ELEVATION	Ċ
+ GU 700.50	GUTTER ELEVATION	
+ EM 700.70	EDGE OF METAL ELEVATION	Ć
+ CC 700.70	CURB CUT ELEVATION	e
+ TW 703.00	TOP OF WALL ELEVATION	e
+ BW 702.00	BOTTOM OF WALL ELEVATION	Ŷ
+ FF 705.00	FINISH FLOOR ELEVATION	e
\odot	TREE - DECIDUOUS	E⊠
+∕ PT. DESC.	MISC. POINT	
	PARK BENCH	
-BL	BIKE LOOP	-*

TOP OF ARROW, FIRE HYDRANT ELEV. = 143.39' (CDD)	EASTERN SxSE STREETSC WINDER STREET ORLEANS STREE DIVISION STREET Owner: CITY OF DET
$\frac{1}{2}$	EASTERN MA
	SOO GRISWOLD ST SUITE 1700 DETROIT, MI 4822 313.983.3600 www.smithgroupjjr.c
AN TOWN PLAT OF A. DEQUIDRE. FARM" L.IO OF DEEDS, P.715	ISSUED FOR
	CONSTRUCTION DOCUMENTS SEALS AND SIGNATURES
BENCHMARK C TOP OF ARROW, FIRE HYDRANT ELEV. = 143.96' (CDD)	3 WORKING DAYS BEFORE YOU E CALL MISS E 1-800-482-7171
R SHEET SURVEY SURVEY SURVEY SURVEY – E. FISHER SERVICE DR. (SURVEY BY OTHERS) SURVEY – E. FISHER SERVICE DR. (SURVEY BY OTHERS)	UNDER ST.
THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE WITH LOCAL AND STATE JURISDICTIONAL REQUIREMENTS REGULATING MAPPING JNDERSIGNED STATES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION AND VERE EMPLOYED TO ACHIEVE THE RESULTS INDICATED HEREIN.	DRAWING TITLE TOPOGRAPHIC
DLF, PS 56210 VEYOR Nethgroup jjr.com	SCALE PROJECT NUMBER
	DRAWING NUMBER

STERN MARKET REETSCAPE ER STREET ANS STREET **ON STREET** OF DETROIT FERN MARKE PORATION **FHGROUP JJR O GRISWOLD STREET** JITE 1700 ETROIT, MI 48226 3.983.3600 ww.smithgroupjjr.com

REV DATE

0 31 JUL 18





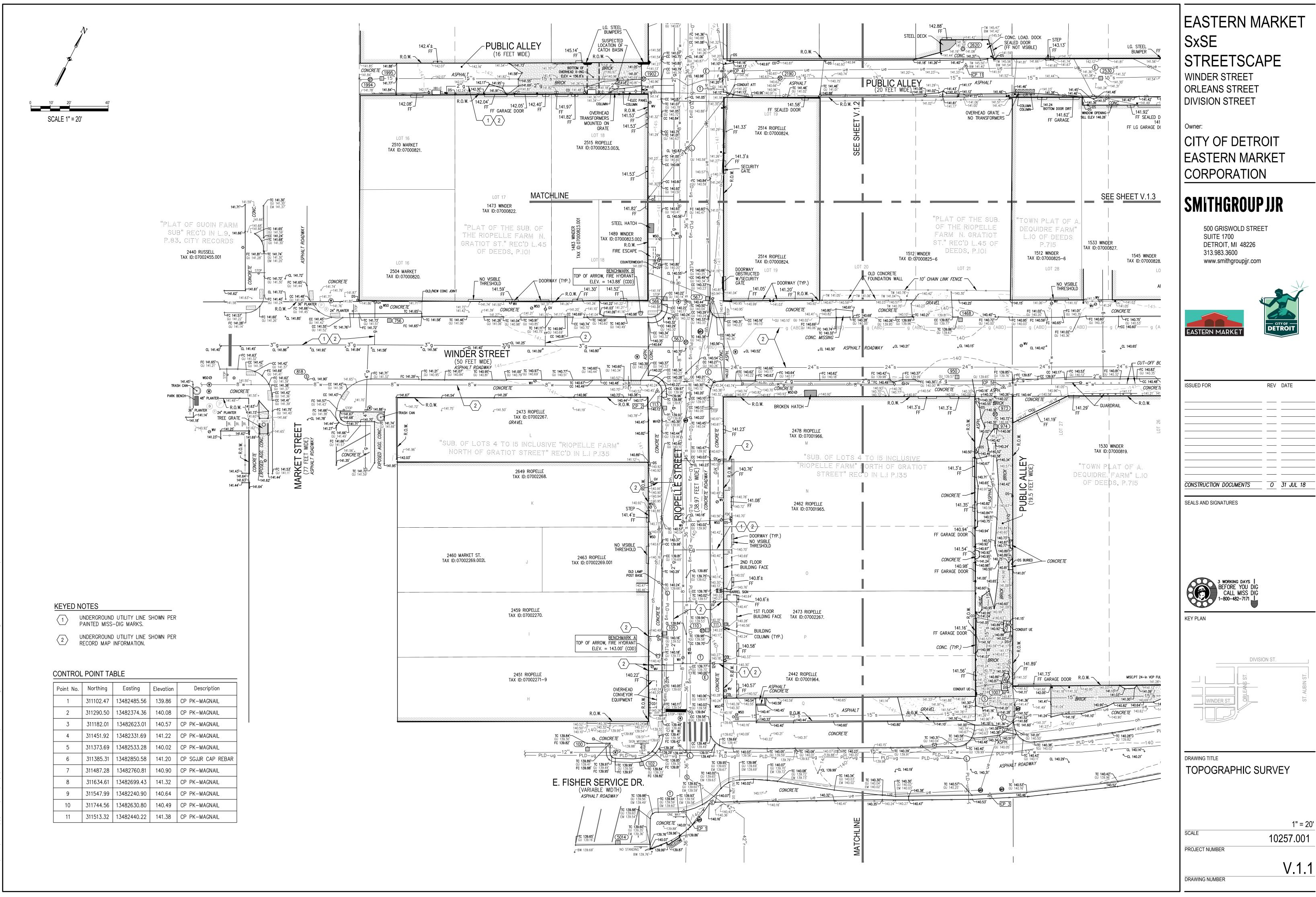
GRAPHIC SURVEY

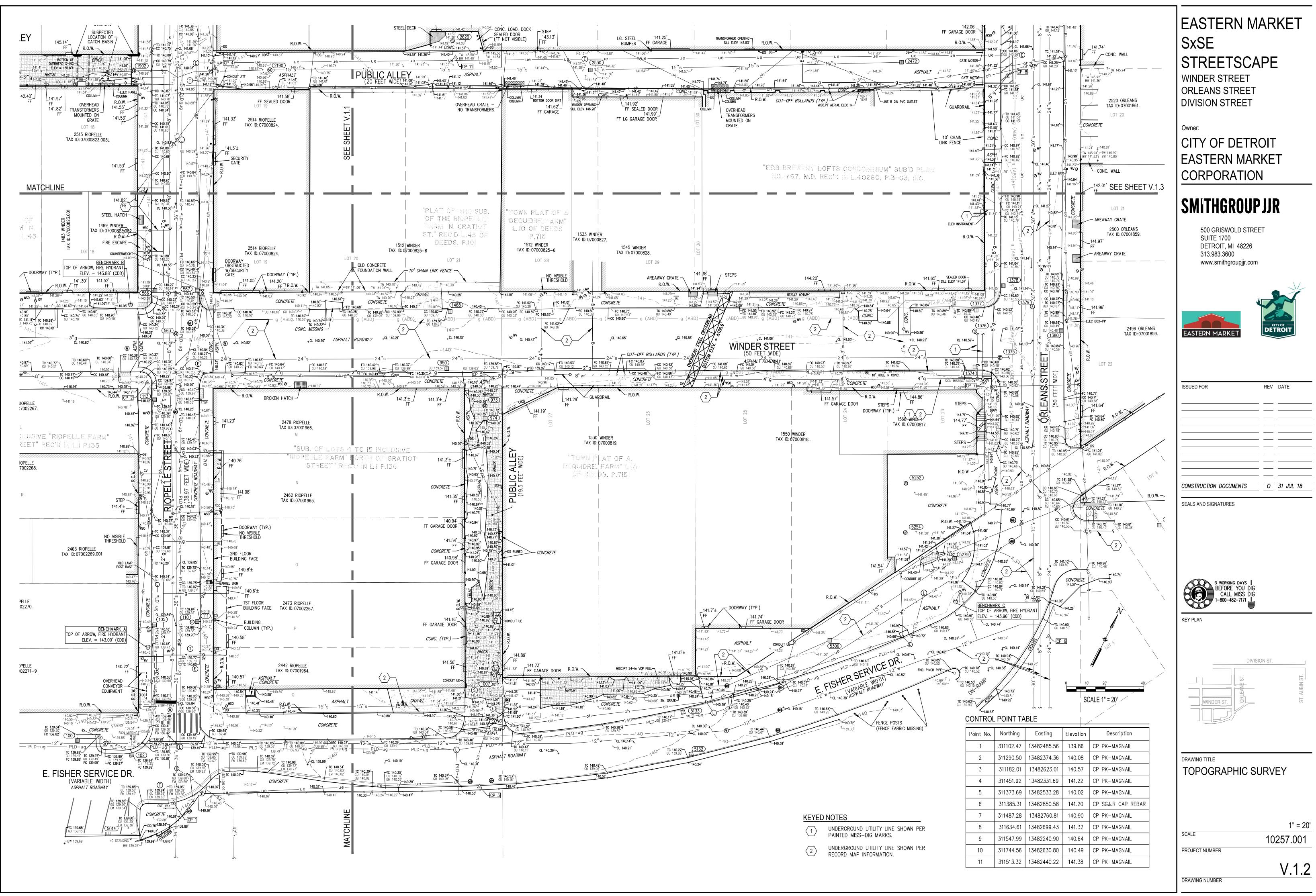
1" = 40' 10257.001

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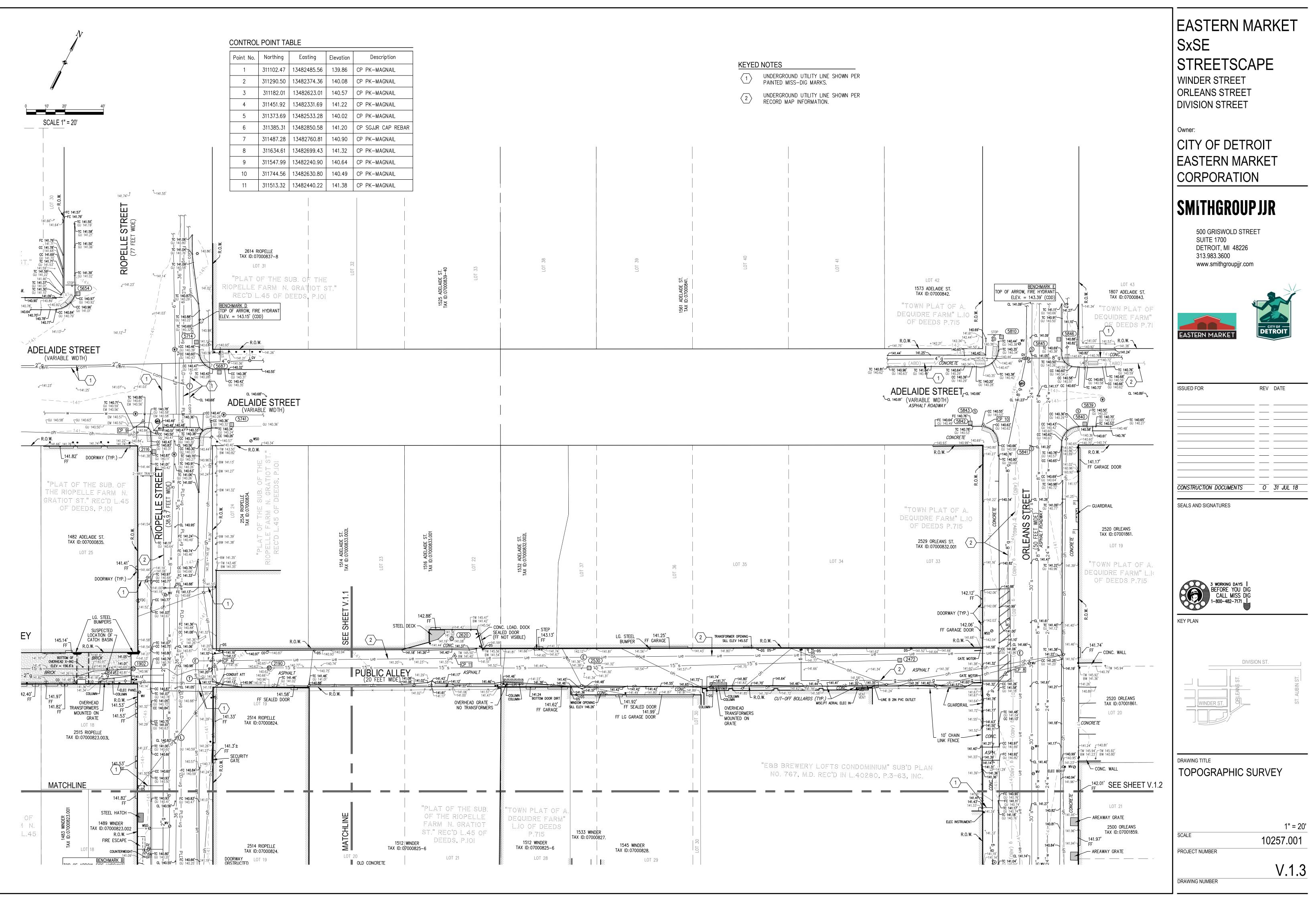
JMBER

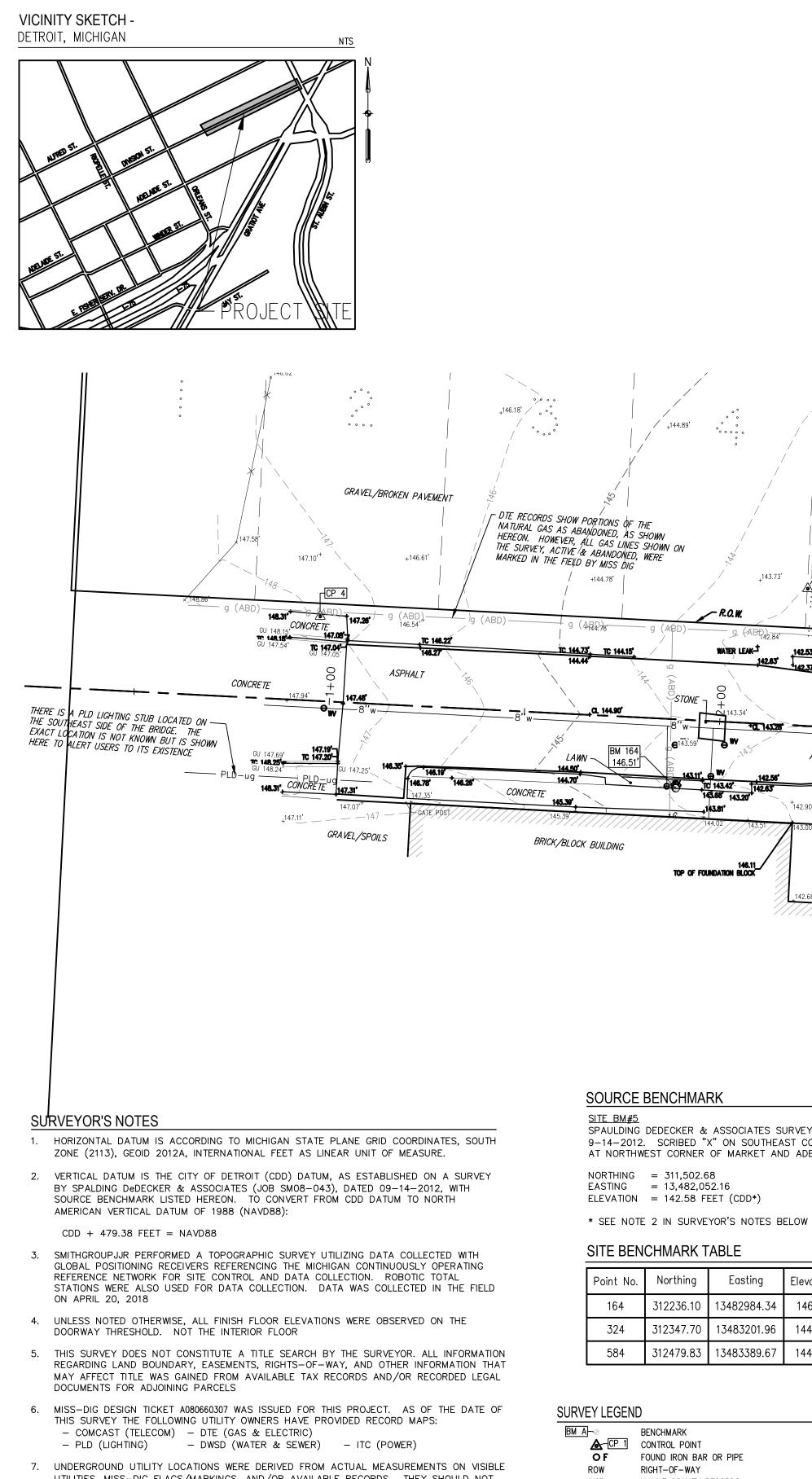
PROFESSIONAL SUR STATE OF MICHIGAN charles.langolf@smi





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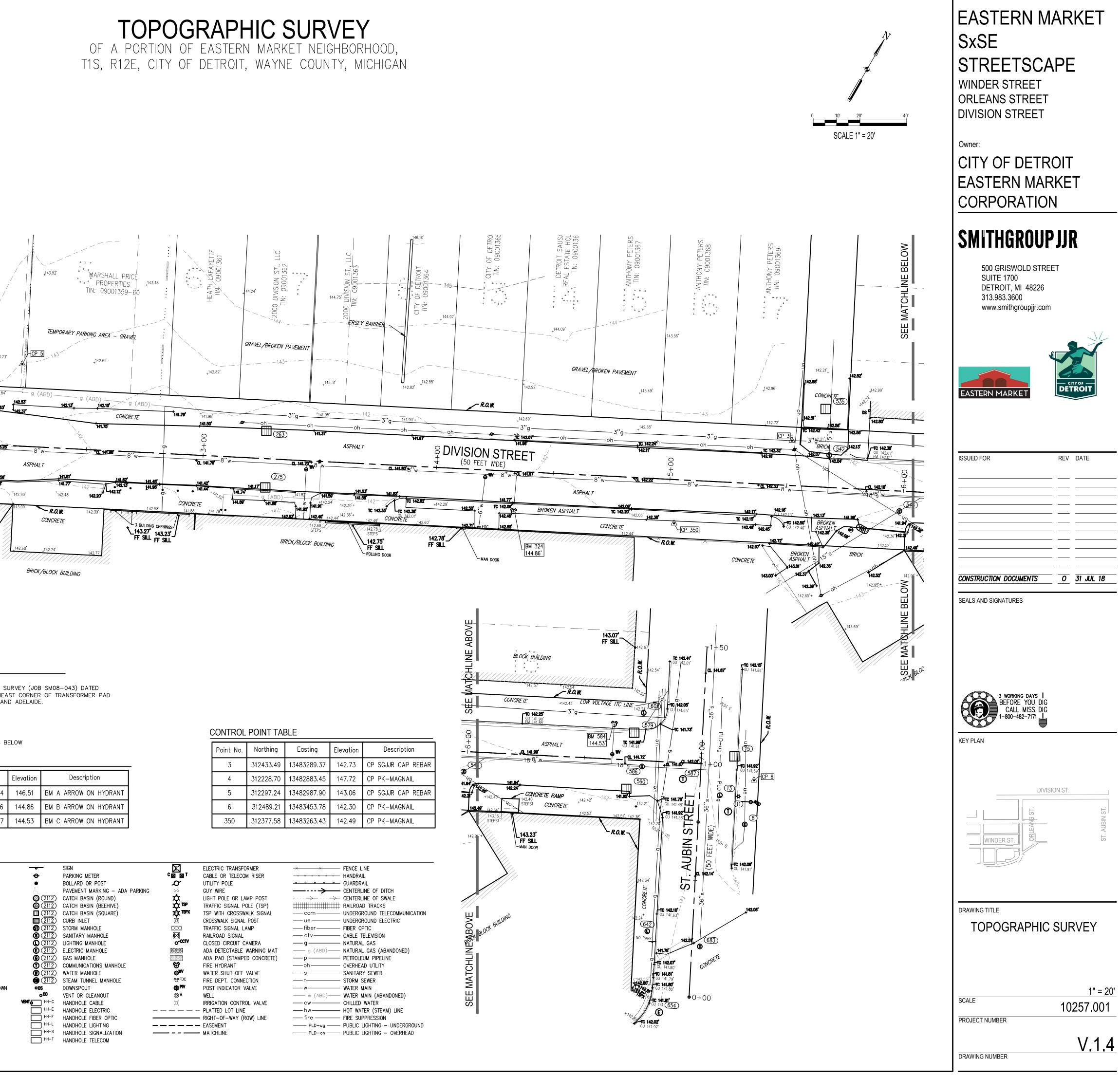
- UTILITIES, MISS-DIG FLAGS/MARKINGS, AND/OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS, NOR SHOULD THEY IT BE ASSUMED THAT THEY ARE THE ONLY UNDERGROUND UTILITIES IN THE AREA. TO DATE NONE OF THE UTILITIES WITHIN THE PROJECT LIMITS HAVE BEEN OPENED AND INVENTORIED.
- 8. UNDERGROUND LOCATIONS OF UTILITY SERVICE LINES (ACTIVE OR INACTIVE) ARE ONLY SHOWN ON THIS DRAWING IF SUBSTANTIATED BY EITHER RECORD MAP INFORMATION OR MISS-DIG PAINT MARKINGS AND A PHYSICAL VALVE BOX OR CLEANOUT. MANY VALVE BOXES LOCATED ON THIS SURVEY HAD NEITHER RECORD MAP INFORMATION OR FIELD MARKINGS OF ANY KIND. SAID VALVE BOXES AND CLEANOUTS HAVE BEEN SHOWN HEREON WITHOUT SERVICE LINES DUE TO UNCERTAINTY OF LENGTH OR DIRECTION AND STATUS (ACTIVE OR INACTIVE).
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SPAULDING DEDECKER & ASSOCIATES SURVEY (JOB SM08-043) DATED 9-14-2012. SCRIBED "X" ON SOUTHEAST CORNER OF TRANSFORMER PAD AT NORTHWEST CORNER OF MARKET AND ADELAIDE.

Point No.	Northing	Easting	Elevation	Description	
164	312236.10	13482984.34	146.51	BM A ARROW ON HYDRANT	
324	312347.70	13483201.96	144.86	BM B ARROW ON HYDRANT	
584	312479.83	13483389.67	144.53	BM C ARROW ON HYDRANT	

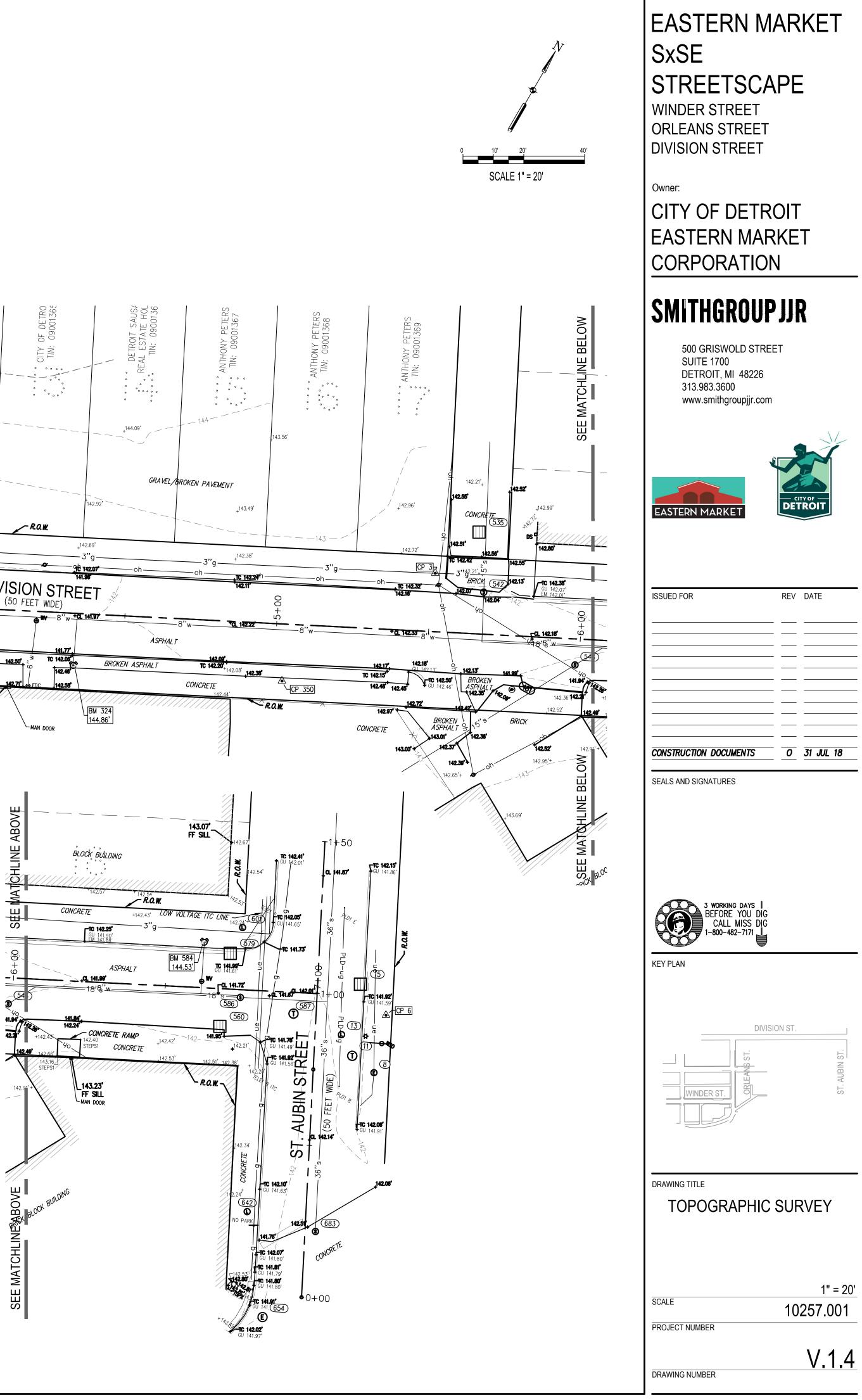
BM A-	BENCHMARK	_
CP_1	CONTROL POINT	-
ŌF	FOUND IRON BAR OR PIPE	
ROW	RIGHT-OF-WAY	
WCR	WAYNE COUNTY RECORDS	6
+ 700.00	SPOT ELEVATION	(
+ TC 701.00	TOP OF CURB ELEVATION	[
+ GU 700.50	GUTTER ELEVATION	6
+ EM 700.70	EDGE OF METAL ELEVATION	
+ CC 700.70	CURB CUT ELEVATION	(
+ TW 703.00	TOP OF WALL ELEVATION	(
+ BW 702.00	BOTTOM OF WALL ELEVATION	(
+ FF 705.00	FINISH FLOOR ELEVATION	(
₄ ∽PT. DESC.	MISC. POINT	(
AC	AIR CONDITIONER	(
HVAC	HEATING/COOLING UNIT (HVAC)	
S	END OF UTILITY NOT KNOWN/SHOWN	
	BRICK PAVEMENT	
¢	CONCRETE BUMPER BLOCK	VENT
	TOPOGRAPHIC CONTOUR	
1//////////////////////////////////////	BUILDING PERIMETER	
— — — — —	BUILDING ROOF OVERHANG	
⊖ ^{GV} ^{0.11.}	GAS SHUT OFF VALVE	
E⊠⊠G	ELECTRIC OR GAS METER	

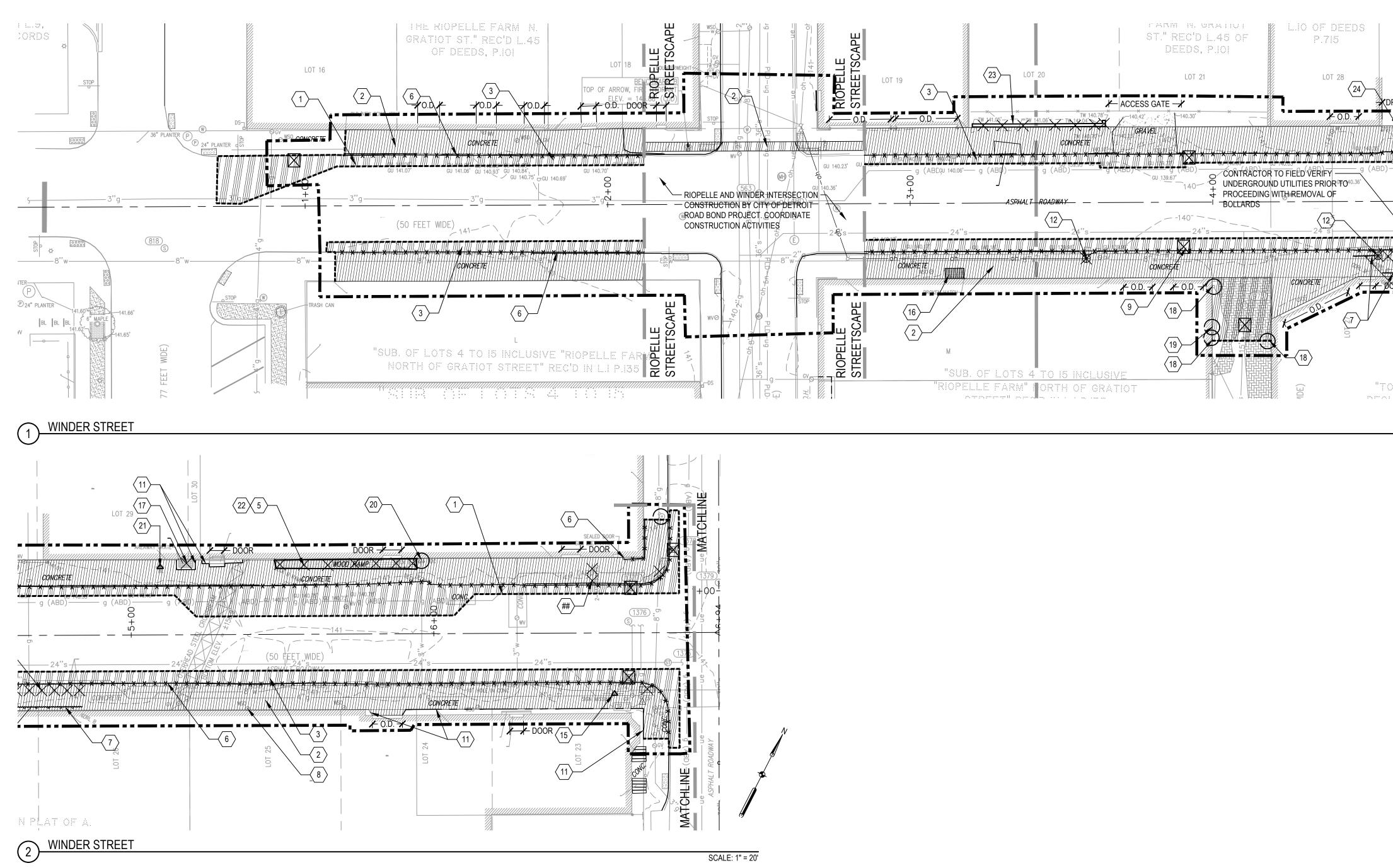
TOPOGRAPHIC SURVEY



Point No.	Northing	Easting	Elevation	Description
3	312433.49	13483289.37	142.73	CP SGJJR CAP REBAR
4	312228.70	13482883.45	147.72	CP PK-MAGNAIL
5	312297.24	13482987.90	143.06	CP SGJJR CAP REBAR
6	312489.21	13483453.78	142.30	CP PK-MAGNAIL
350	312377.58	13483263.43	142.49	CP PK-MAGNAIL

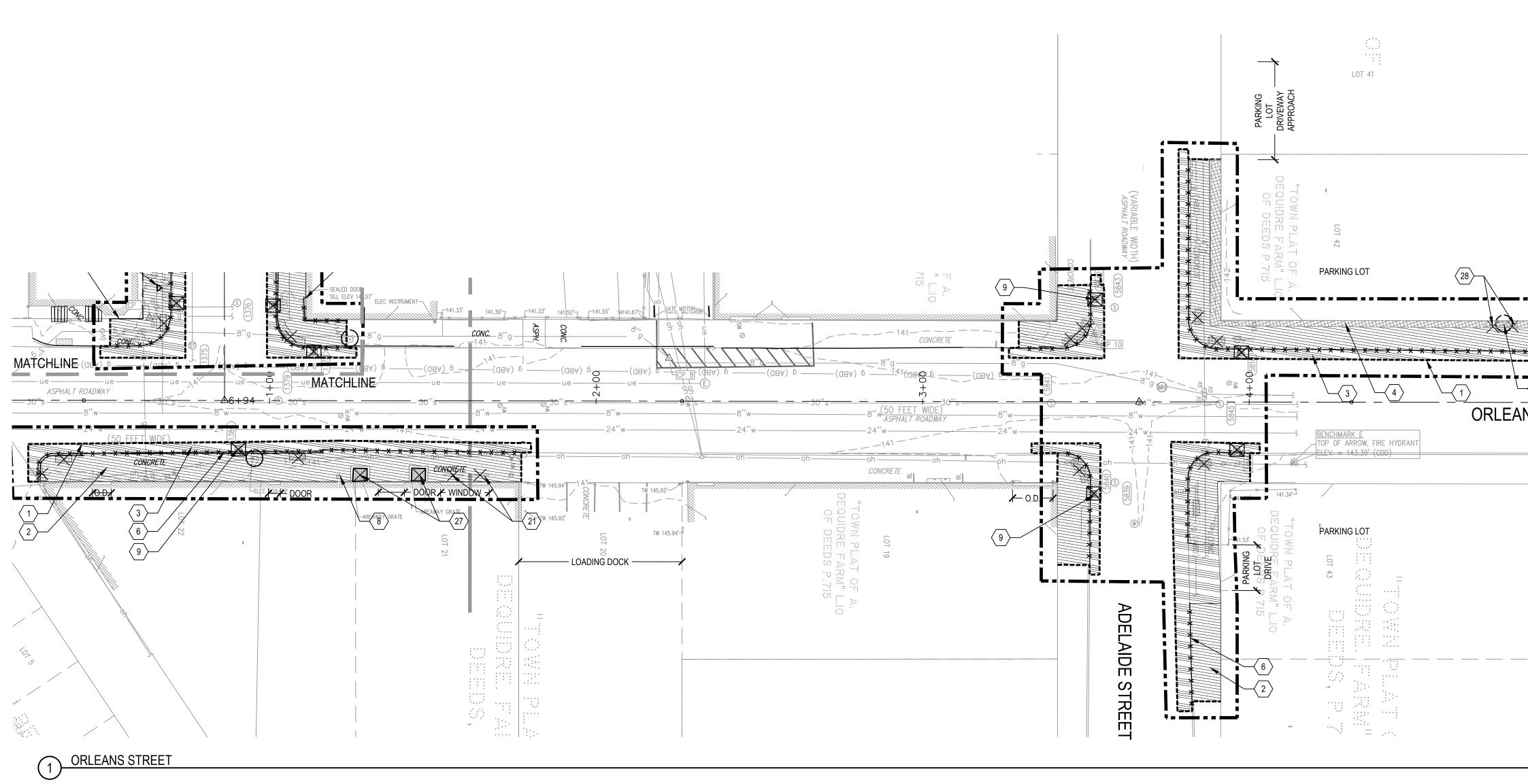
ER	- x	FENCE LINE
ISER	oooo	HANDRAIL
	<u> </u>	GUARDRAIL
	\longrightarrow	CENTERLINE OF DITCH
POST	$\cdots \rightarrow \cdots \rightarrow$	CENTERLINE OF SWALE
(TSP)		RAILROAD TRACKS
SIGNAL	com	UNDERGROUND TELECOMM
ST	— ue — —	UNDERGROUND ELECTRIC
	— fiber——	
	ctv	CABLE TELEVISION
RA	g	NATURAL GAS
NING MAT		NATURAL GAS (ABANDON
ONCRETE)		PETROLEUM PIPELINE
	oh	
VE	— s ——	
N	r	
E	— w —	
		WATER MAIN (ABANDONED
/ALVE	cw	
		HOT WATER (STEAM) LINE
LINE	—— fire ———	
		PUBLIC LIGHTING - UNDE
	—— PLD-oh ——	PUBLIC LIGHTING - OVER





QTY	UNIT	MDOT #	ITEM DESCRIPTI
1.00	LS	1500001	Mobilization, Max.
1.00	LS	8240001	Contractor Staking
1,143	Syd	2040055	_Sidewalk, Rem, I
664	Syd	2040050	_Pavt, Rem, Modi
1,111	Syd	5010002	Cold Milling HMA
1,040	Ft	2040021	_Curb, Rem, Modi
0.00	Acre	2010001	_Clearing, Modifie
0	Ea	2047050	_Parking Block, R
0	Ea	2047050	_Fence, Gate, Adj
45	Ft	2047001	_Foundation, Rem
2	Ea	2047050	_Sign and Post, S
2	Ea	2047050	_Vault, Grate
2	Ea	2047050	_Vault, Repair
10	Ea	2080022	Erosion Control, Ir
30	Cyd	2080026	Erosion Control, N
0	Ea	2047050	_Utility Pole, Rem
2	Ea	2047050	_Utility Pole, Rem
0	Ea	2047050	_Utility Pole, Rem
1	Ea	2047050	_Bike Rack,Rem a
1	Ea	2047050	_Wood Ramp, Sta
1	LS	8127051	_Pavt Mrkg, Rem
1	LS	2047051	_Property Access
1	LS	8120170	_Minor Traf Device

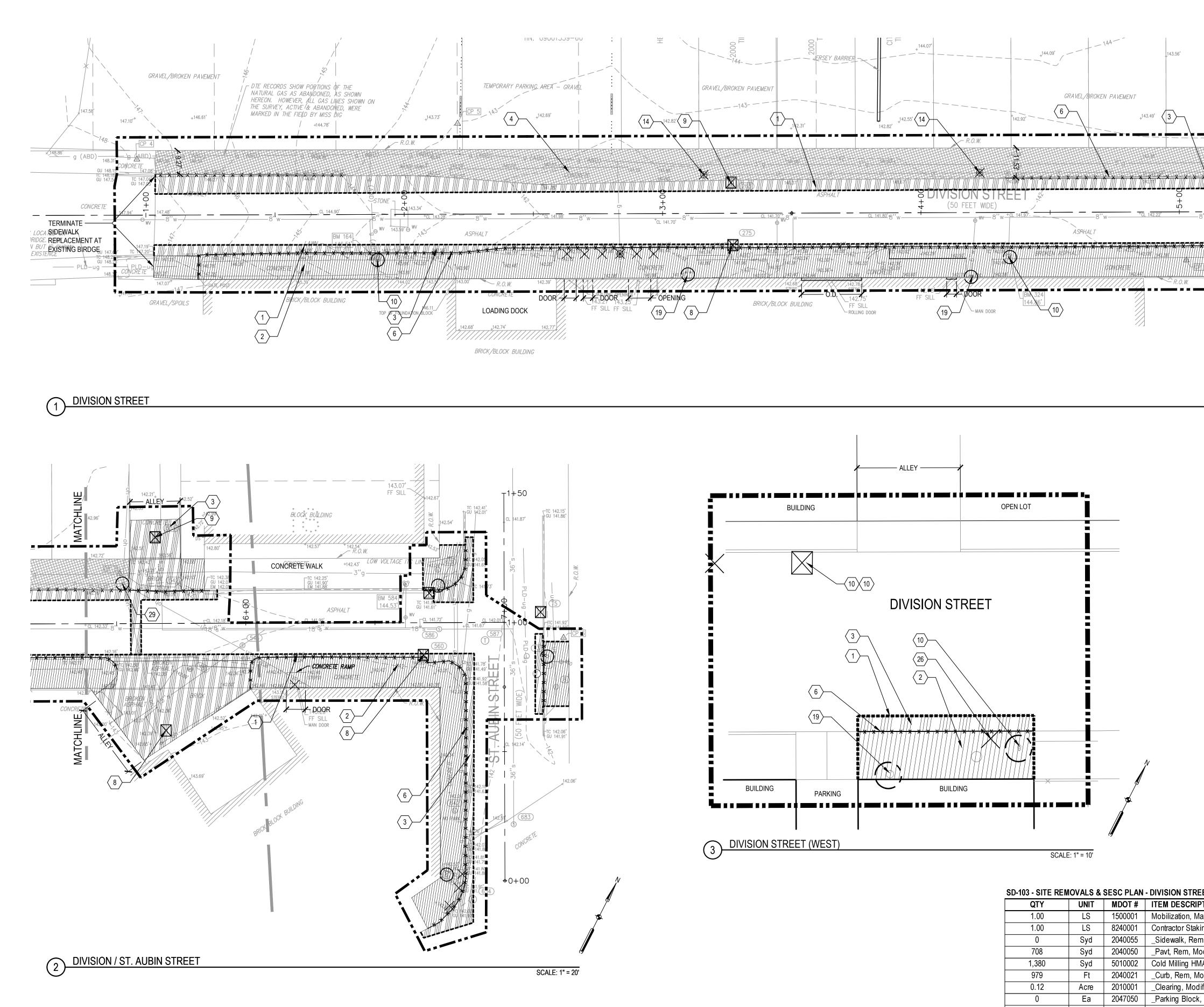
	SHE	ET NOTES	EASTERN MARKET
		DINATE THE ADJUSTMENTS TO ANY UTILITY THIN THE PROJECT LIMITS.	
		D AT WINDER AND RIOPELLE TO REMAIN.	SxSE
		DD RAMP, STAIR SHALL BE REMOVED TO A	STREETSCAPE
		E PROPOSED SIDEWALK PROFILE DEPTH. ILLED WITH AGGREGATE BASE, 21AA AS	WINDER STREET
	4. BUILDING FOUNDATION	REMOVAL, CONTRACTOR SHALL REMOVE THE IAN THE SIDEWALK PROFILE DEPTH. VOIDS	ORLEANS STREET DIVISION STREET
Перен Паліна 11	SHALL BE BACKFILLED V 5. CONTRACTOR TO NOTIF	VITH GRANULAR MATERIAL, CI II AS NEEDED.	Owner:
ABD) g (AB	PROPERTY OWNER.		CITY OF DETROIT
		DINATE ACCESS TO ANY ADJACENT PROPERTY PROCEED WITHOUT WRITTEN APPROVAL FROM	EASTERN MARKET
	7. COORDINATE BOLLARD SERVICE.	REMOVAL TO NOT INTERFERE WITH GAS LINE	CORPORATION
	KEY	ED NOTES	SMITHGROUP JJR
N			500 GRISWOLD STREET
		CONSTRUCTION LIMIT LINE	SUITE 1700 DETROIT, MI 48226
		RIGHT-OF-WAY LINE	313.983.3600 www.smithgroupjjr.com
TOWN PLAT		PROPERTY LINE MATCH LINE	
	20+00		
SCALE: 1" = 20'	(1)	SAWCUT PAVEMENT	
	$\langle 2 \rangle$	(AT NEAREST JOINT) _SIDEWALK, REM, MODIFIED	
		_PAVT, REM, MODIFIED (FULL	EASTERN MARKET
		PAVEMENT DEPTH REMOVAL INCLUDING SUB-BASE MATERIAL. MAY INCLUDE BRICK / CONCRETE / HMA / AGGREGATE)	
	4	CLEARING, MODIFIED	ISSUED FOR REV DATE
	$\langle 5 \rangle \otimes$	COORDINATION NEEDED FOR REMOVAL OF OBJECT	
	<u>6</u>	_CURB, REM, MODIFIED	
		_GUARDRAIL, REM	
		SURFACE UTILITY ADJUSTMENT (SEE GRADING AND DRAINAGE PLAN)	
	(9) X	EROSION CONTROL, INLET PROTECTION, GEOTEXTILE AND STONE (R-96-E)	
	(10)	PROTECT FIRE HYDRANT	
	$\langle 11 \rangle$	PROTECT UNDERGROUND VAULT	CONSTRUCTION DOCUMENTS <u>O</u> <u>31 JUL 18</u>
		_UTILITY POLE, REM (BY PLA)	SEALS AND SIGNATURES
	$\langle 13 \rangle$	_UTILITY POLE, REM (BY DTE)	
	< <u>14</u> >	_UTILITY POLE, REM (BY CONTRACTOR)	
	(15)	_SIGN AND POST, SALV	
	(16)		
	(17)	_VAULT, GRATE (REFER TO NOTE #5)	3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
		PROTECT DOWNSPOUT	1-800-482-7171
	$\langle 19 \rangle$ $\langle 20 \rangle$	PROTECT GAS METER PROTECT WALL HYDRANT	KEY PLAN
	$\langle 20 \rangle$	_BIKE RACK, REM AND SALV	PROJECT NORTH
	22	_WOOD RAMP, STAIR, FOUNDATION, REM (REFER TO NOTE #3)	DIVISION ST.
R STREET	$\langle 23 \rangle$		
ION		(REFER TO NOTE #4) CONTRACTOR TO COORDINATE WITH	LIS AUBIN ST.
K. 9 Martifact	<u>\24</u>	PROPERTY OWNER ON EXISTING GATE AND BOLLARDS TO REMAIN	WINDER ST. 0 0 15
Modified dified	25	_PARKING BLOCK, REM, SALV	
A Surface dified	26	REMOVE UTILITY POLE TO BELOW SIDEWALK PROFILE LIMITS	
ed Rem and Salv	$\langle 27 \rangle$	PROTECT EXISTING GRATE	
djust m	28	PARKING BLOCK, REM AND SALV	DRAWING TITLE SITE REMOVALS & SESC
Salv	29>	PROTECT EXISTING UTILITY POLE	PLAN - WINDER STREET
Inlet Protection, Geotextile and Stone			0' 10' 20' 40'
Maintenance, Sediment Removal n (By CONTRACTOR)			SCALE:1" = 20'
n (By PLA) n (By DTE)			SCALE 10257.001
and Salv			PROJECT NUMBER
tair, Foundation, Rem ו בייגר ד			CD-101
s, Protection, Temp ces, Modified			DRAWING NUMBER



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QTY	UNIT	MDOT #	ITEM DESCRIPTI
1.00	LS	1500001	Mobilization, Max.
1.00	LS	8240001	Contractor Staking
443	Syd	2040055	_Sidewalk, Rem, I
237	Syd	2040050	_Pavt, Rem, Modi
650	Syd	5010002	Cold Milling HMA
500	Ft	2040021	_Curb, Rem, Mod
0.00	Acre	2010001	_Clearing, Modifie
4	Ea	2047050	_Parking Block, R
0	Ea	2047050	_Fence, Gate, Ad
0	Ft	2047001	_Foundation, Rem
3	Ea	2047050	_Sign and Post, S
2	Ea	2047050	_Vault, Grate
2	Ea	2047050	_Vault, Repair
5	Ea	2080022	Erosion Control, Ir
15	Cyd	2080026	Erosion Control, N
0	Ea	2047050	_Utility Pole, Rem
0	Ea	2047050	_Utility Pole, Rem
0	Ea	2047050	_Utility Pole, Rem
0	Ea	2047050	_Bike Rack,Rem a
0	Ea	2047050	_Wood Ramp, Sta
1	LS	8127051	_Pavt Mrkg, Rem
1	LS	2047051	_Property Access
1	LS	8120170	_Minor Traf Device

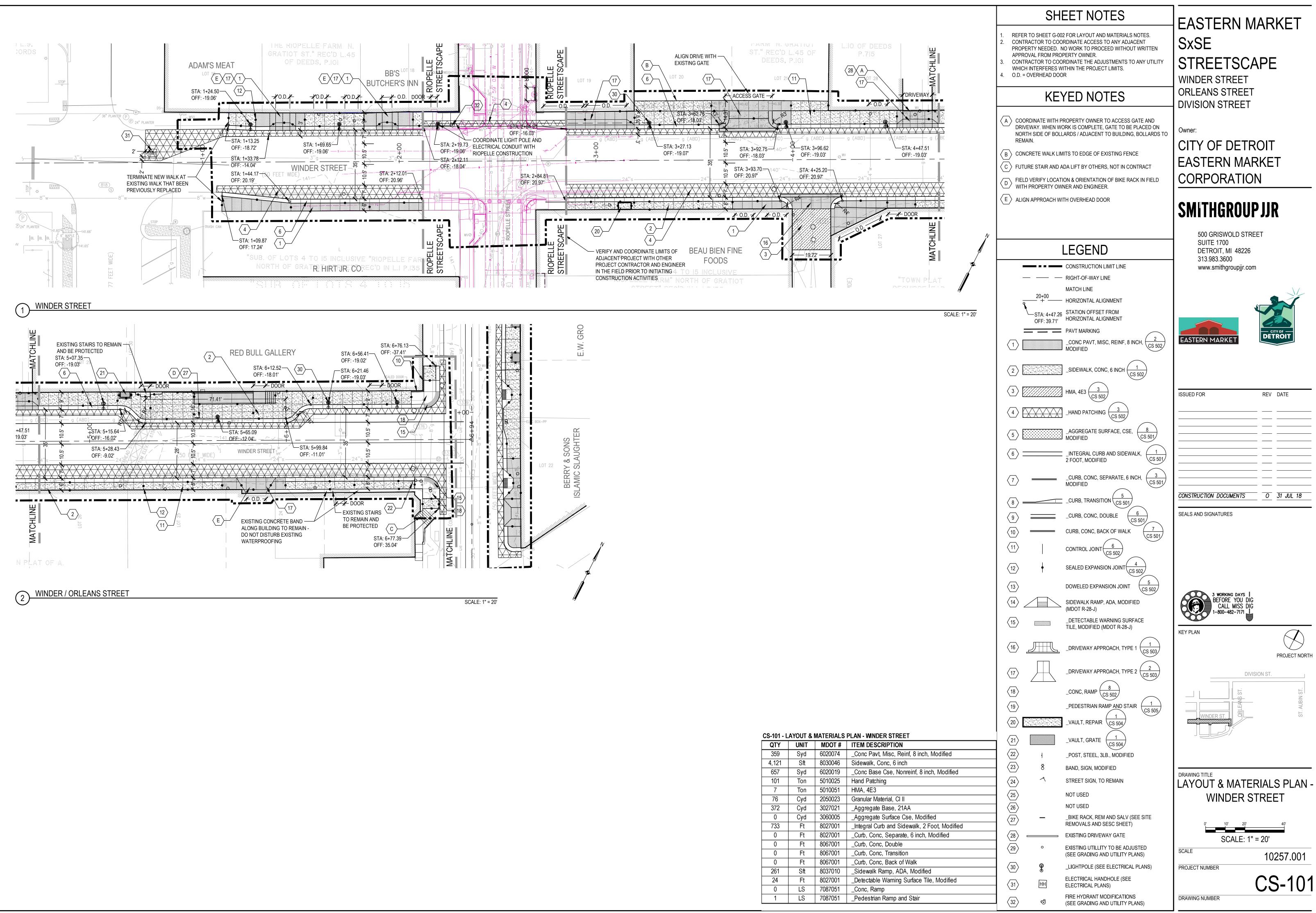
		SHE	ET NOTES	EASTERN M	VDKET
			NATE THE ADJUSTMENTS TO ANY UTILITY IN THE PROJECT LIMITS.	SxSE	
	2. FIRE HYD	RANT LOCATED	AT WINDER AND RIOPELLE TO REMAIN.	STREETSCA	DE
	DEPTH LC	OWER THAN THE	D RAMP, STAIR SHALL BE REMOVED TO A PROPOSED SIDEWALK PROFILE DEPTH. LED WITH AGGREGATE BASE, 21AA AS	WINDER STREET	
	FOUNDAT	ION LOWER THA	EMOVAL, CONTRACTOR SHALL REMOVE THE AN THE SIDEWALK PROFILE DEPTH. VOIDS ITH GRANULAR MATERIAL, CI II AS NEEDED.	DIVISION STREET	
	UTILITY H		PROPERTY OWNER AND ENGINEER WHEN ED. VAULT TO BE CLEANED OUT BY	Owner:	
ALLEY	NEEDED.		DINATE ACCESS TO ANY ADJACENT PROPERTY ROCEED WITHOUT WRITTEN APPROVAL FROM	EASTERN MAR	RKET
·	7. COORDIN SERVICE.		EMOVAL TO NOT INTERFERE WITH GAS LINE		N
		KEY	ED NOTES		JJR
				500 GRISWOLD STRE	ET
	-		CONSTRUCTION LIMIT LINE	DETROIT, MI 48226 313.983.3600	
NS STREET			RIGHT-OF-WAY LINE	www.smithgroupjjr.com	
	_		MATCH LINE		
	_	20+00	HORIZONTAL ALIGNMENT		
	1		SAWCUT PAVEMENT (AT NEAREST JOINT)		
ъ			_SIDEWALK, REM, MODIFIED		
	(3)		_PAVT, REM, MODIFIED (FULL PAVEMENT DEPTH REMOVAL INCLUDING SUB-BASE MATERIAL. MAY INCLUDE BRICK / CONCRETE / HMA / AGGREGATE)	EASTERN MARKET	
	4		CLEARING, MODIFIED		
	$\langle 5 \rangle$	\otimes	COORDINATION NEEDED FOR	ISSUED FOR	REV DATE
	$\begin{pmatrix} & 3 \\ & 6 \end{pmatrix} =$		REMOVAL OF OBJECT _CURB, REM, MODIFIED		
	$\left \begin{array}{c} 0 \\ 7 \\ \end{array} \right $	<u> </u>	_GUARDRAIL, REM		
	$\langle 8 \rangle$	0	SURFACE UTILITY ADJUSTMENT		
	(9)	\boxtimes	(SEE GRADING AND DRAINAGE PLAN) EROSION CONTROL, INLET PROTECTION, GEOTEXTILE AND STONE (R-96-E)		
SCALE: 1" = 20'	$\langle 10 \rangle$		PROTECT FIRE HYDRANT		·
	$\langle 11 \rangle$		PROTECT UNDERGROUND VAULT	CONSTRUCTION DOCUMENTS	0 31 JUL 18
	$\langle 12 \rangle$		_UTILITY POLE, REM (BY PLA)	SEALS AND SIGNATURES	
	$\langle 13 \rangle$		_UTILITY POLE, REM (BY DTE)		
			_UTILITY POLE, REM (BY		
			CONTRACTOR)		
			_SIGN AND POST, SALV		
			_VAULT, REPAIR _VAULT, GRATE (REFER		
	<u><17</u>		TO NOTE #5)	3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG	
			PROTECT DOWNSPOUT	1-800-482-7171	
	(19)		PROTECT GAS METER	KEY PLAN	\frown
	$\langle 20 \rangle$		PROTECT WALL HYDRANT _BIKE RACK, REM AND SALV		
	$\langle 21 \rangle$		_WOOD RAMP, STAIR, FOUNDATION,		PROJECT NORTH
	22		REM (REFER TO NOTE #3)	DIVIS	ION ST.
ANS STREET PTION	23		FOUNDATION, REM (REFER TO NOTE #4)	s st.	V ST.
ax.	24		CONTRACTOR TO COORDINATE WITH PROPERTY OWNER ON EXISTING		ST. AUBIN ST.
ing n, Modified			GATE AND BOLLARDS TO REMAIN	WINDER ST.	ω'
odified IA Surface	25		_PARKING BLOCK, REM, SALV		
odified	26		REMOVE UTILITY POLE TO BELOW SIDEWALK PROFILE LIMITS		
ified , Rem and Salv	27		PROTECT EXISTING GRATE		
Adjust em	28		PARKING BLOCK, REM AND SALV	DRAWING TITLE SITE REMOVAL	S & SESC
t, Salv	 (29)		PROTECT EXISTING UTILITY POLE	PLAN - ORLEAN	S STREET
I, Inlet Protection, Geotextile and Stone				0' 10' 20'	40'
l, Maintenance, Sediment Removal em (By CONTRACTOR)	1			SCALE: 1" =	= 20'
em (By PLA)				SCALE	10257.001
em (By DTE) m and Salv				PROJECT NUMBER	
Stair, Foundation, Rem				(CD-102
erm ess, Protection, Temp	1			DRAWING NUMBER	
vices, Modified	L]	



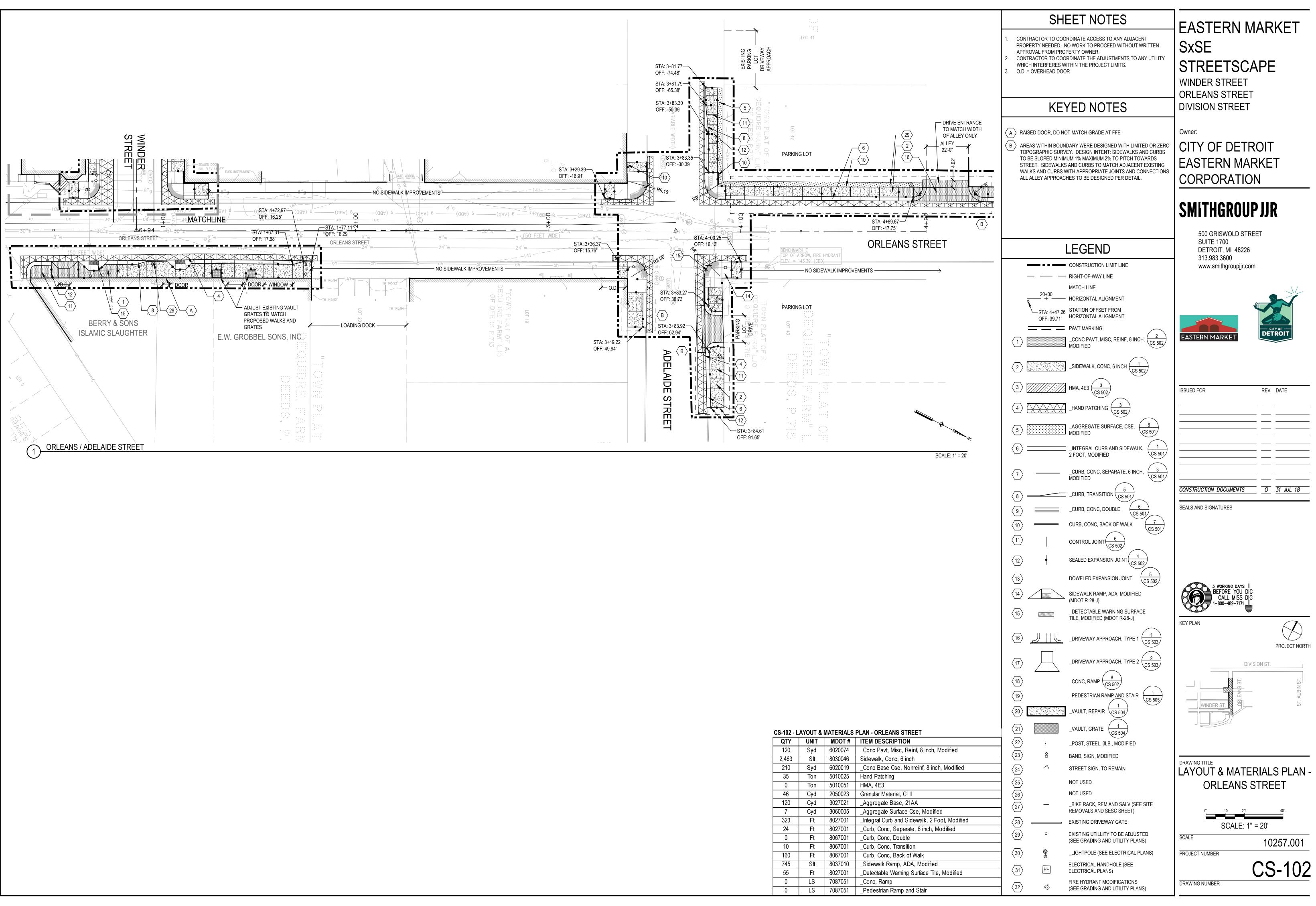


JNIT LS LS Syd Syd Syd Ft	MDOT # 1500001 8240001 2040055 2040050 5010002	ITEM DESCRIPTI Mobilization, Max Contractor Staking _Sidewalk, Rem, _Pavt, Rem, Mod
LS Syd Syd Syd	8240001 2040055 2040050 5010002	Contractor Staking _Sidewalk, Rem, _Pavt, Rem, Mod
Syd Syd Syd	2040055 2040050 5010002	_Sidewalk, Rem, _Pavt, Rem, Mod
Syd Syd	2040050 5010002	_Pavt, Rem, Mod
Syd	5010002	
•		
Ft		Cold Milling HMA
	2040021	_Curb, Rem, Mod
Acre	2010001	_Clearing, Modifie
Ea	2047050	_Parking Block, R
Ea	2047050	_Fence, Gate, Ad
Ft	2047001	_Foundation, Rem
Ea	2047050	_Sign and Post, S
Ea	2047050	_Vault, Grate
Ea	2047050	_Vault, Repair
Ea	2080022	Erosion Control, I
Cyd	2080026	Erosion Control, N
Ea	2047050	_Utility Pole, Rem
Ea	2047050	_Utility Pole, Rem
Ea	2047050	_Utility Pole, Rem
Ea	2047050	_Bike Rack,Rem
Ea	2047050	_Wood Ramp, Sta
LS	8127051	_Pavt Mrkg, Rem
LS	2047051	_Property Access
LS	8120170	_Minor Traf Device
	Ea Ea Ea Ea Ea Cyd Ea Ea Ea Ea	Ea2047050Ea2047050Ft2047001Ea2047050Ea2047050Ea2047050Ea2080022Cyd2080026Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050Ea2047050LS8127051

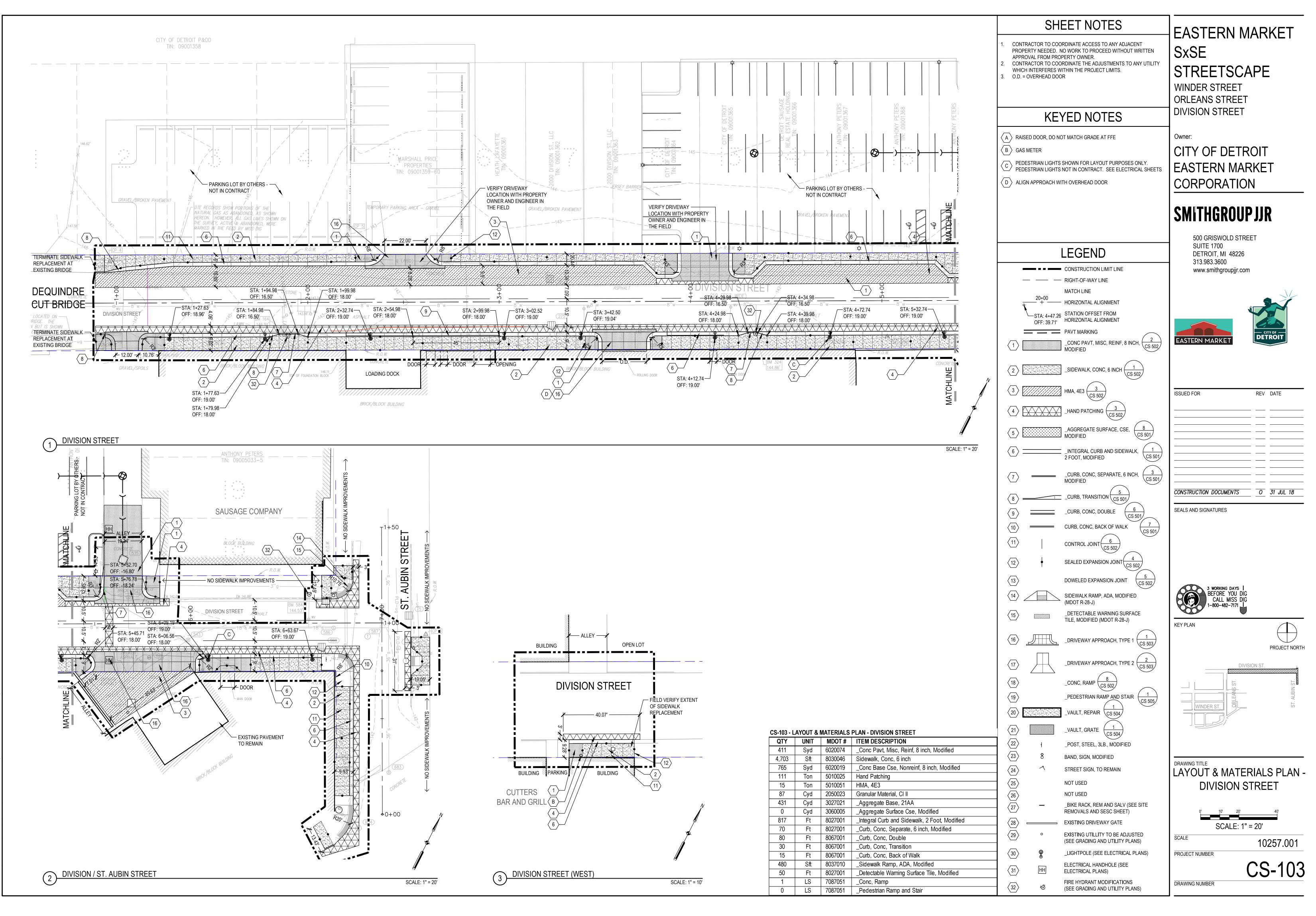
	SHEET NOTES	
	1. CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY U	
	WHICH INTERFERES WITHIN THE PROJECT LIMITS.	
	2. FIRE HYDRANT LOCATED AT WINDER AND RIOPELLE TO REMA	
Щ	3. FOUNDATIONS FOR WOOD RAMP, STAIR SHALL BE REMOVED ⁻ DEPTH LOWER THAN THE PROPOSED SIDEWALK PROFILE DEF	отн
HULL 42.96'	VOIDS SHALL BE BACKFILLED WITH AGGREGATE BASE, 21AA A	AS WINDER STREET
	4. BUILDING FOUNDATION REMOVAL, CONTRACTOR SHALL REMO	
	FOUNDATION LOWER THAN THE SIDEWALK PROFILE DEPTH. A SHALL BE BACKFILLED WITH GRANULAR MATERIAL, CI II AS NE	VOIDS DIVISION STREET
142.7;	5. CONTRACTOR TO NOTIFY PROPERTY OWNER AND ENGINEER	
	UTILITY HATCH IS REMOVED. VAULT TO BE CLEANED OUT BY PROPERTY OWNER.	
	6. CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT P	ROPERTY
•	NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROV PROPERTY OWNER.	
-8"w	 COORDINATE BOLLARD REMOVAL TO NOT INTERFERE WITH G SERVICE. 	
	JERVICE.	
11	KEYED NOTES	SMITHGROUPJJR
142. 7		
CONCRETE N L		500 GRISWOLD STREET SUITE 1700
	CONSTRUCTION LIMIT LINE	DETROIT, MI 48226
	RIGHT-OF-WAY LINE	313.983.3600 www.smithgroupjjr.com
≥		
d'	20+00 MATCH LINE	
SCALE: 1" = 20'	(1) ======== SAWCUT PAVEMENT (AT NEAREST JOINT)	
	2	EASTERN MARKET
	3PAVT, REM, MODIFIED (FULL PAVEMENT DEPTH REMOVAL	
	INCLUDING SUB-BASE MATERIAL. M/ INCLUDE BRICK / CONCRETE / HMA /	
	AGGREGATE)	
	4 CLEARING, MODIFIED	ISSUED FOR REV DATE
	5 S COORDINATION NEEDED FOR REMOVAL OF OBJECT	
	$\langle 6 \rangle - x - x - x - x - $ _CURB, REM, MODIFIED	
	7	
	8 0 SURFACE UTILITY ADJUSTMENT (SEE GRADING AND DRAINAGE PLAN)	n
	9 PROTECTION, GEOTEXTILE AND STONE (R-96-E)	
	10 PROTECT FIRE HYDRANT	
	VII PROTECT UNDERGROUND VAULT	CONSTRUCTION DOCUMENTS O 31 JUL 18
	12 _UTILITY POLE, REM (BY PLA)	SEALS AND SIGNATURES
	13 _UTILITY POLE, REM (BY DTE)	
	CONTRACTOR)	
	<15	
	17_VAULT, GRATE (REFERTO NOTE #5)	3 WORKING DAYS BEFORE YOU DIG
	18 PROTECT DOWNSPOUT	CALL MISS DIG 1-800-482-7171
	19 PROTECT GAS METER	KEY PLAN
	20 PROTECT WALL HYDRANT	
	_BIKE RACK, REM AND SALV	PROJECT NORTH
	22	, DIVISION ST.
REET	FOUNDATION, REM (REFER TO NOTE #4)	
PTION		H WINDER ST.
Max. king	24 PROPERTY OWNER ON EXISTING GATE AND BOLLARDS TO REMAIN	H IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII
em, Modified	25 _PARKING BLOCK, REM, SALV	
/odified MA Surface		
Nodified	26 REMOVE UTILITY POLE TO BELOW SIDEWALK PROFILE LIMITS	
dified k, Rem and Salv	27 PROTECT EXISTING GRATE	
, Adjust Rem	28 PARKING BLOCK, REM AND SALV	DRAWING TITLE SITE REMOVALS & SESC
Rem st, Salv	29 PROTECT EXISTING UTILITY POLE	PLAN - DIVISION STREET
ol, Inlet Protection, Geotextile and Stone		0' 10' 20' 40'
ol, Maintenance, Sediment Removal Rem (By CONTRACTOR)		SCALE: 1" = 20'
Rem (By PLA)		SCALE 10257.001
Rem (By DTE) em and Salv		
, Stair, Foundation, Rem		CD-103
em ess, Protection, Temp		
evices, Modified		

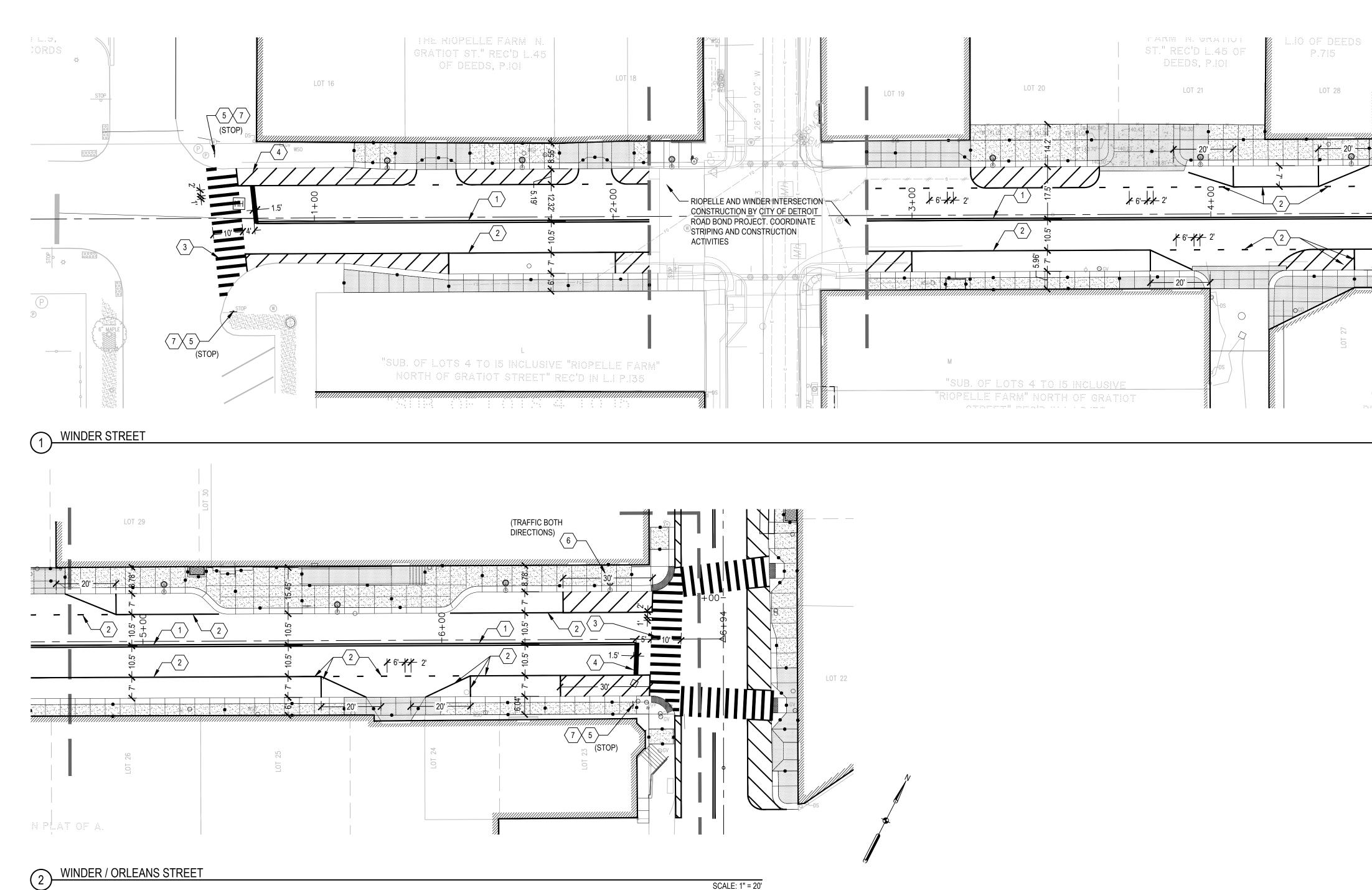


QTY	UNIT	MDOT #	ITEM DESCRIPTION
359	Syd	6020074	_Conc Pavt, Misc, Re
4,121	Sft	8030046	Sidewalk, Conc, 6 in
657	Syd	6020019	_Conc Base Cse, No
101	Ton	5010025	Hand Patching
7	Ton	5010051	HMA, 4E3
76	Cyd	2050023	Granular Material, Cl
372	Cyd	3027021	_Aggregate Base, 2 ⁻
0	Cyd	3060005	_Aggregate Surface
733	Ft	8027001	_Integral Curb and Si
0	Ft	8027001	_Curb, Conc, Separa
0	Ft	8067001	_Curb, Conc, Double
0	Ft	8067001	_Curb, Conc, Transiti
0	Ft	8067001	_Curb, Conc, Back o
261	Sft	8037010	_Sidewalk Ramp, AD
24	Ft	8027001	_Detectable Warning
0	LS	7087051	_Conc, Ramp
1	LS	7087051	_Pedestrian Ramp a



CS-102 - L	AYOUT & I	MATERIALS	PLAN - ORLEANS STR
QTY	UNIT	MDOT #	ITEM DESCRIPTION
120	Syd	6020074	_Conc Pavt, Misc, Re
2,463	Sft	8030046	Sidewalk, Conc, 6 in
210	Syd	6020019	_Conc Base Cse, No
35	Ton	5010025	Hand Patching
0	Ton	5010051	HMA, 4E3
46	Cyd	2050023	Granular Material, Cl
120	Cyd	3027021	_Aggregate Base, 2 ⁻
7	Cyd	3060005	_Aggregate Surface
323	Ft	8027001	_Integral Curb and Si
24	Ft	8027001	_Curb, Conc, Separa
0	Ft	8067001	_Curb, Conc, Double
10	Ft	8067001	_Curb, Conc, Transiti
160	Ft	8067001	_Curb, Conc, Back o
745	Sft	8037010	_Sidewalk Ramp, AD
55	Ft	8027001	_Detectable Warning
0	LS	7087051	_Conc, Ramp
0	LS	7087051	_Pedestrian Ramp a



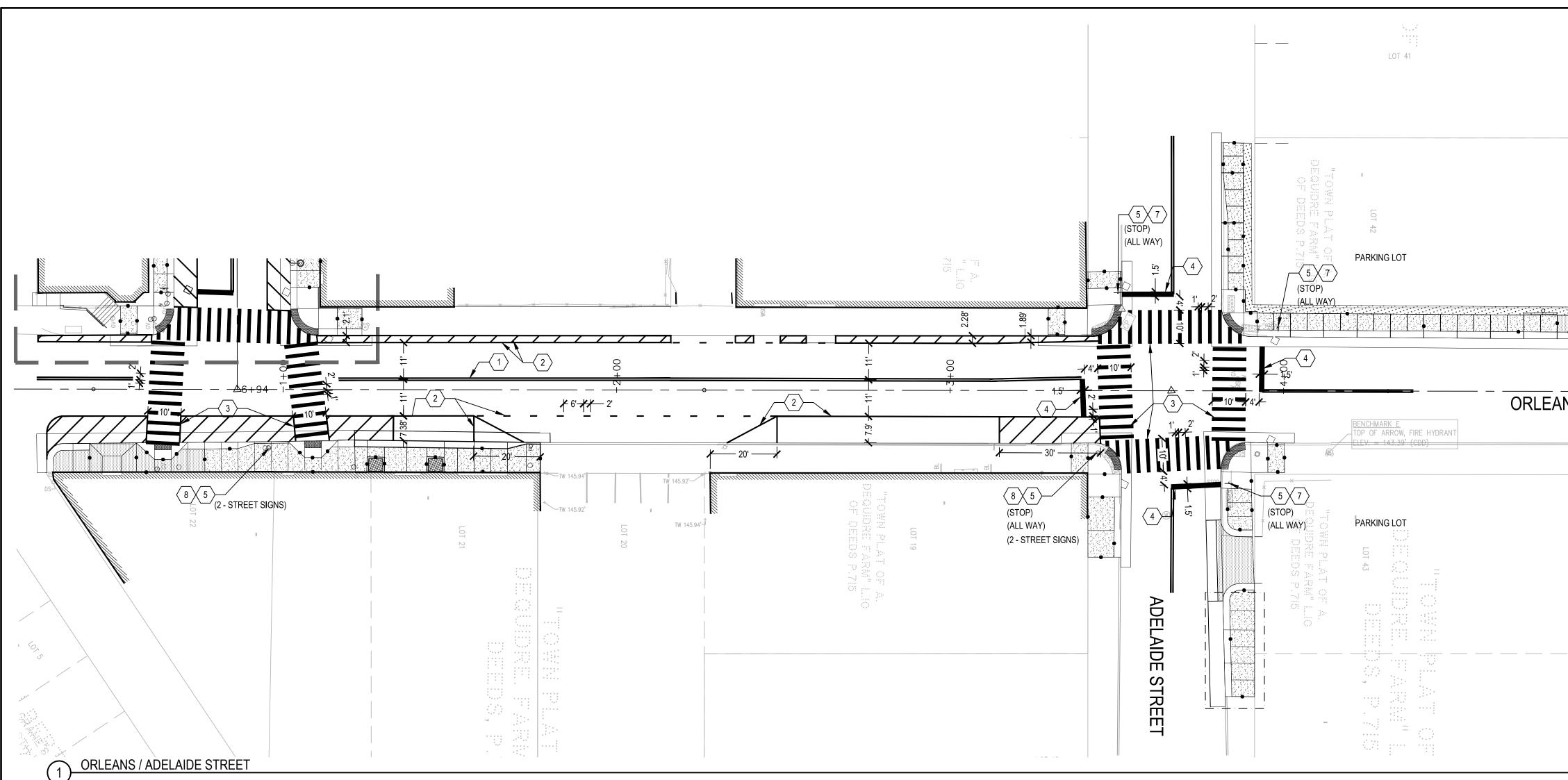


SCALE: 1" = 20'

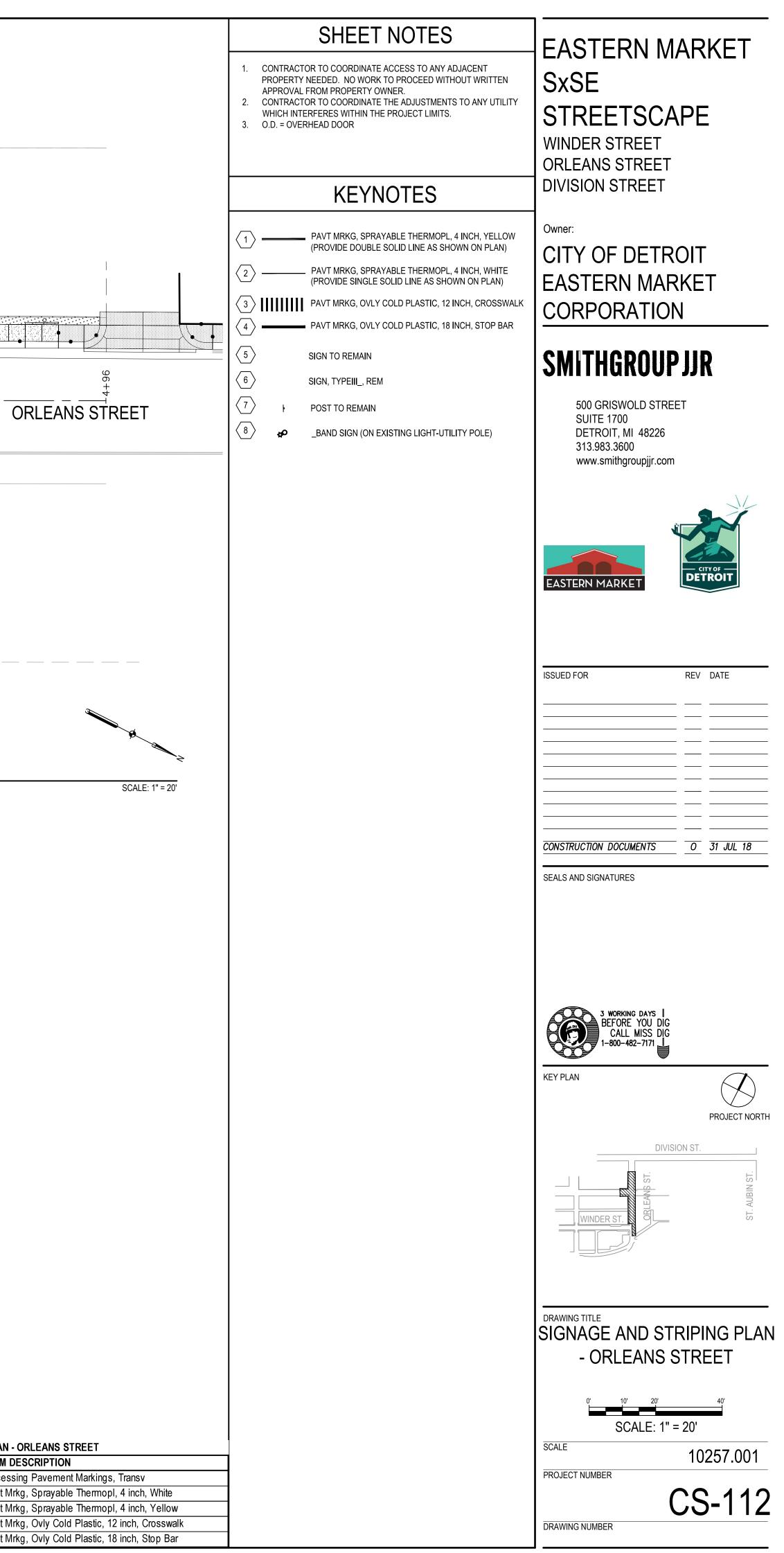
QTY UNIT MDOT # ITEM DESCRIPTION	CS-111 - S	IGNAGE A	ND STRIPIN	G PLAN - WINDER STRE
	QTY	UNIT	MDOT #	ITEM DESCRIPTION

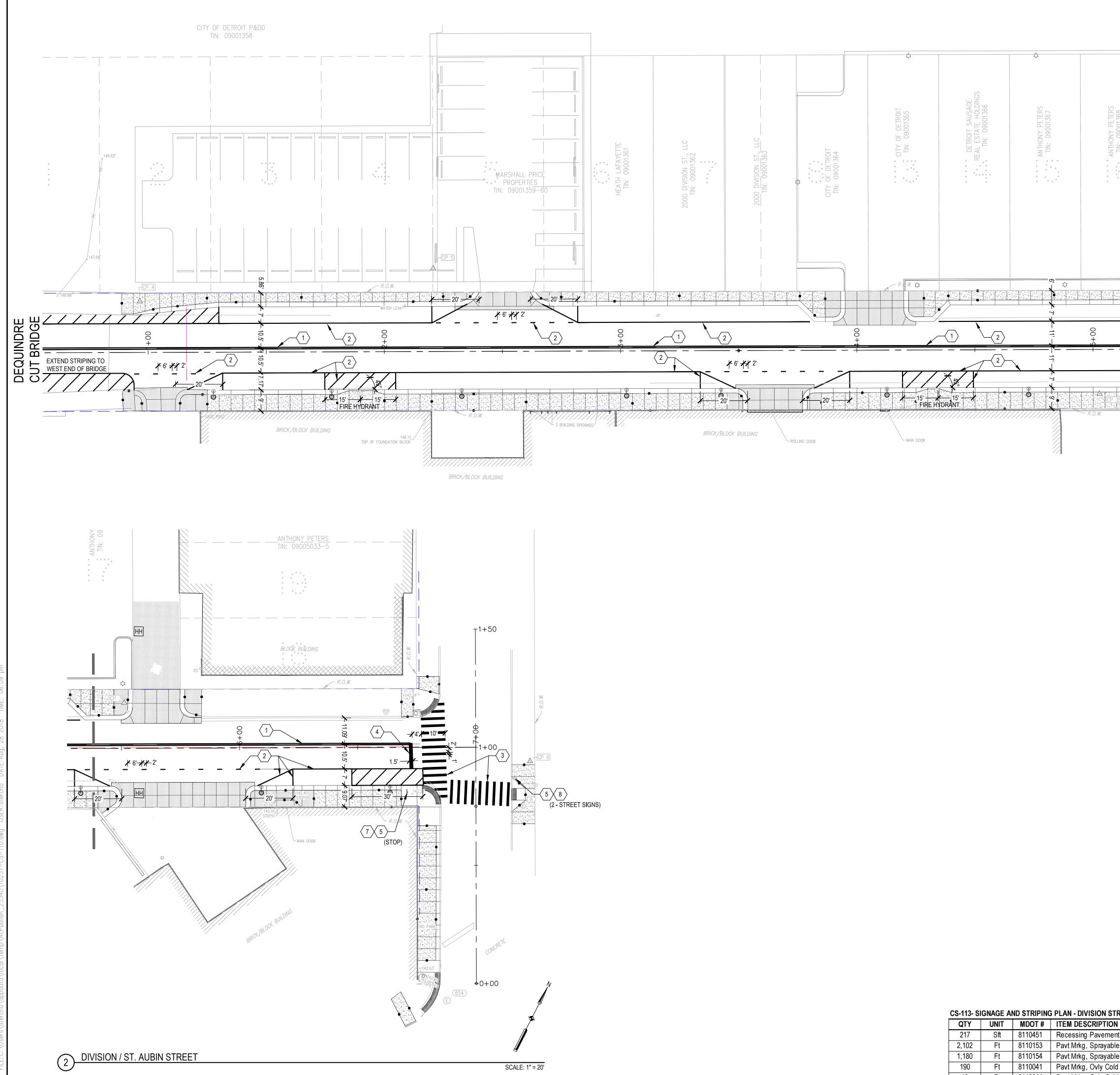
N I			
274	Sft	8110451	Recessing Pavement
1,318	Ft	8110153	Pavt Mrkg, Sprayable
1,024	Ft	8110154	Pavt Mrkg, Sprayable
220	Ft	8110041	Pavt Mrkg, Ovly Cold
36	Ft	8110044	Pavt Mrkg, Ovly Cold

	SHEET NOTES 1. CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN	EASTERN MARKET
	 APPROVAL FROM PROPERTY OWNER. 2. CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS. 3. O.D. = OVERHEAD DOOR 	STREETSCAPE WINDER STREET
	KEYNOTES	ORLEANS STREET DIVISION STREET
	1 PAVT MRKG, SPRAYABLE THERMOPL, 4 INCH, YELLOW (PROVIDE DOUBLE SOLID LINE AS SHOWN ON PLAN) 2 PAVT MRKG, SPRAYABLE THERMOPL, 4 INCH, WHITE (PROVIDE SINGLE SOLID LINE AS SHOWN ON PLAN) 3 PAVT MRKG, OVLY COLD PLASTIC, 12 INCH, CROSSWALK 4 PAVT MRKG, OVLY COLD PLASTIC, 18 INCH, STOP BAR 5 SIGN TO REMAIN	Owner: CITY OF DETROIT EASTERN MARKET CORPORATION SMITHGROUP JJR
TOWN PLAT	6 SIGN, TYPEIII_, REM 7 ► 8	SWITTUKUUT JJK 500 GRISWOLD STREET SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com
SCALE: 1" = 20'		EASTERN MARKET
		ISSUED FOR REV DATE
		CONSTRUCTION DOCUMENTS 0 31 JUL 18 SEALS AND SIGNATURES
		3 WORKING DAYS I BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
		DIVISION ST.
		DRAWING TITLE SIGNAGE AND STRIPING PLAN - WINDER STREET
REET N Int Markings, Transv		0' 10' 20' 40' SCALE: 1" = 20' SCALE 10257.001 PROJECT NUMBER
e Thermopl, 4 inch, White e Thermopl, 4 inch, Yellow d Plastic, 12 inch, Crosswalk d Plastic, 18 inch, Stop Bar		CS-111 DRAWING NUMBER
a naouo, ro mon, olup Dal		



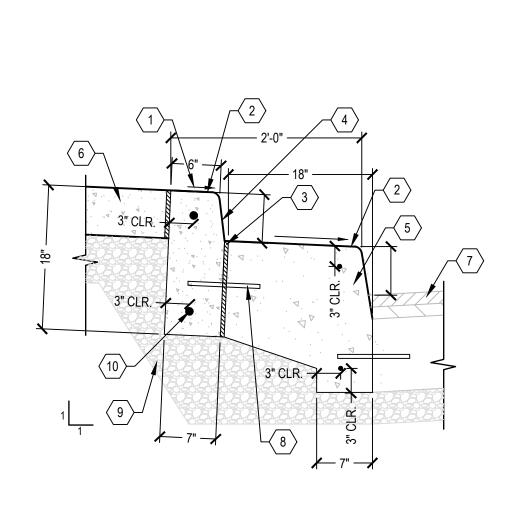
QTY	UNIT	MDOT #	ITEM DESCRIPTION
675	Sft	8110451	Recessing Pavement Markings, Transv
1,186	Ft	8110153	Pavt Mrkg, Sprayable Thermopl, 4 inch, White
754	Ft	8110154	Pavt Mrkg, Sprayable Thermopl, 4 inch, Yellow
580	Ft	8110041	Pavt Mrkg, Ovly Cold Plastic, 12 inch, Crosswalk
64	Ft	8110044	Pavt Mrkg, Ovly Cold Plastic, 18 inch, Stop Bar





				SHEET NOTES	
SS	¢.	¢		 CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER. CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS. O.D. = OVERHEAD DOOR 	EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET
DETROIT SAUSAGE EAL ESTATE HOLDINGS TIN: 09001366	ANTHONY PETERS TIN: 09001367	ANTHONY PETERS TIN: 09001368	ANTHONY PETERS TIN: 09001369	KEYNOTES	DIVISION STREET
° ° DETRC ° ° REAL ES ° ° ° ° TIN:	ANTHON ANTHON ANTHON ANTHON	ANTHON MIN: 0	°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°°	1 PAVT MRKG, SPRAYABLE THERMOPL, 4 INCH, YELLOW (PROVIDE DOUBLE SOLID LINE AS SHOWN ON PLAN) 2 PAVT MRKG, SPRAYABLE THERMOPL, 4 INCH, WHITE (PROVIDE SINGLE SOLID LINE AS SHOWN ON PLAN) 3 PAVT MRKG, OVLY COLD PLASTIC, 12 INCH, CROSSWALK 4 PAVT MRKG, OVLY COLD PLASTIC, 18 INCH, STOP BAR	Owner: CITY OF DETROIT EASTERN MARKET CORPORATION
				5 SIGN TO REMAIN 6 SIGN, TYPEIII_, REM	SMITHGROUP JJR
				7 Image: Post to Remain 8 BAND SIGN (ON EXISTING LIGHT-UTILITY POLE)	500 GRISWOLD STREET SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com
		00+ <u>+</u> <u>-</u>			EASTERN MARKET
					ISSUED FOR REV DATE
					CONSTRUCTION DOCUMENTS 0 31 JUL 18 SEALS AND SIGNATURES
					3 WORKING DAYS I BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
					DIVISION ST.
					DRAWING TITLE SIGNAGE AND STRIPING PLAN - DIVISION STREET
					0' 10' 20' 40' SCALE: 1" = 20'
QTY UNIT 217 Sft	8110451 Recessing	CRIPTION Pavement Markings, Tran			SCALE 10257.001 PROJECT NUMBER
2,102 Ft 1,180 Ft 190 Ft	8110153 Pavt Mrkg 8110154 Pavt Mrkg	, Sprayable Thermopl, 4 in , Sprayable Thermopl, 4 in , Ovly Cold Plastic, 12 inch	ch, White ch, Yellow		CS-113
18 Ft	_	, Ovly Cold Plastic, 18 inch			





6 __CURB, CONC, DOUBLE

 $\int 1$ (2)

8

_INTEGRAL CURB AND SIDEWALK, 2 FOOT MODIFIED

1:10 MAX

1:10 MAX

(4)___CURB, CONC, SEPARATE, 6 INCH, TAPER, MODIFIED

ELEVATION

 $\langle 4 \rangle$

-{9}`

√10 >

the second se

SCALE: 1" = 1'

SCALE: 1" = 1'

8#4 X 18" EPOXY COATED TIE BARS, DRILLED AND EPOXY
GROUTED INTO EXISTING CONCRETE PAVEMENT 24" O.C.

4 AGGREGATE BASE 21AA, MODIFIED

 $\langle 10 \rangle$ #4 BAR, EPOXY COATED, CONTINUOUS

(1) SLOPE AT 1.5%

 $\langle 3 \rangle$ SEALED EXPANSION JOINT

- (7) ADJACENT PAVEMENT
- 6 _SIDEWALK, CONC, 6 INCH, MODIFIED $\left(\frac{1}{CS 502}\right)$

(1) ADJACENT SURFACE

WITH CURB

WITH CURB

1 BACK OF CURB

3 GUTTER

4 TOP OF CURB

 $\langle 4 \rangle$

2 CURB TRANSITION AREA

5 CURB TRANSITION SHALL BE MINIMUM 5' LENGTH MAX 10' LENGTH

 $\langle 3 \rangle$

(2) _SEALED EXPANSION JOINT (4)

_TIED COLD (CONSTRUCTION) JOINT $\begin{pmatrix} \prime \\ (CS 502) \end{pmatrix}$

 $\langle 5 \rangle$ TOP OF CURB ELEVATION NOTED ON GRADING PLAN

6 GUTTER ELEVATION NOTED ON GRADING PLANS

7 > BASE MATERIAL PER PAVEMENT TYPE

 (8)
 _AGGREGATE BASE 21AA, MODIFIED

9 #4 BAR, EPOXY COATED, CONTINUOUS

12 CURB HEIGHT DEFINED ON GRADING PLANS

4 MEDIUM BROOM FINISH ON EXPOSED SURFACES PARALLEL

(10) WHEN ADJACENT TO CONCRETE PAVEMENT OR CONCRETE

 $\langle 11 \rangle$ SLOPE TO MATCH CROSS SLOPE AT ADJACENT SIDEWALK

(13) MEDIUM BROOM FINISH, EXPOSED SURFACES, PARALLEL

BASE PROVIDE #4 x 9" EPOXY COATED TIE BARS, 24" O.C.

IN AREA WITHOUT ADJACENT SIDEWALK SLOPE AT 1.5%.

SCALE: 1" = 1'

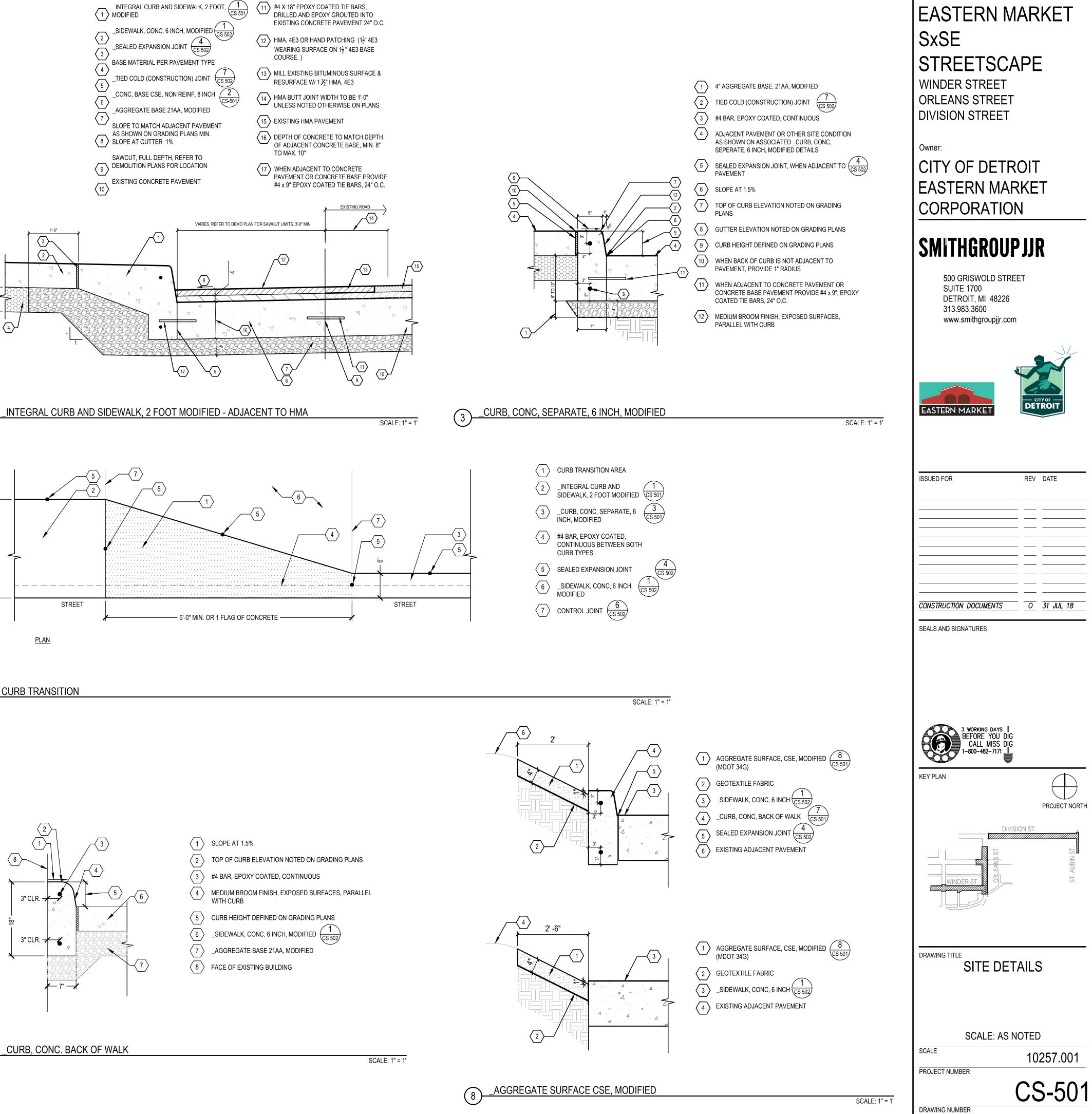
- 5 _INTEGRAL CURB AND SIDEWALK, 2 FOOT, MODIFIED $\frac{1}{(CS 501)}$

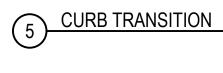
 $\langle 2 \rangle$ TOP OF CURB ELEVATION NOTED ON GRADING PLANS

- 4 MEDIUM BROOM FINISH, EXPOSED SURFACES, PARALLEL WITH CURB





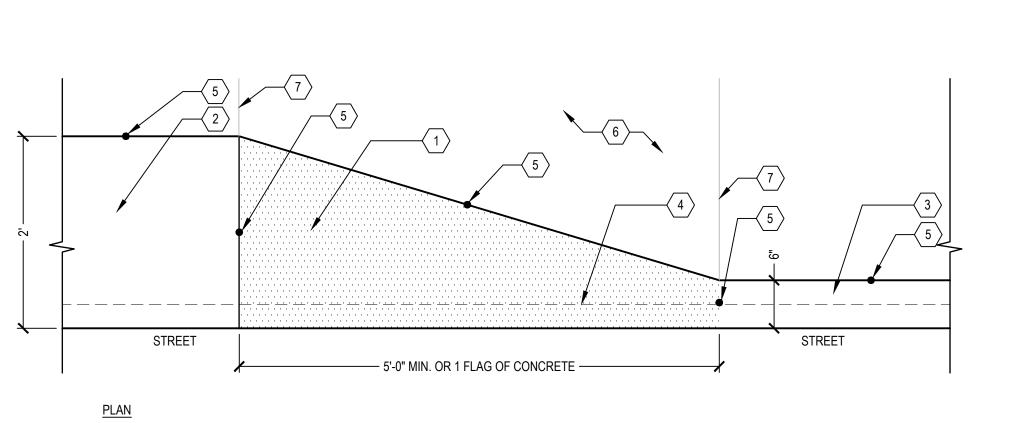




3" CLR.

3" CLR. 🗡 🧉

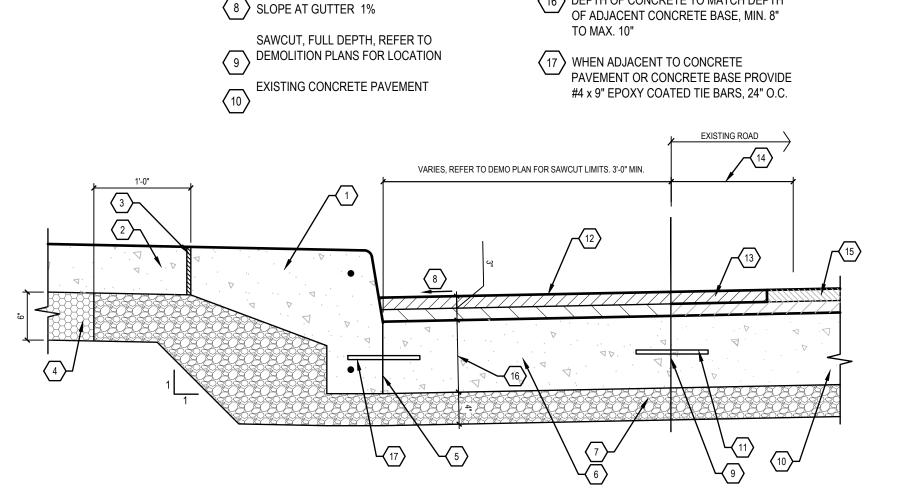
— 7" —



1 SLOPE AT 1.5%

 $\langle 6 \rangle$

 $\langle 7 \rangle$



1 _INTEGRAL CURB AND SIDEWALK, 2 FOOT, 1 MODIFIED

2 _SIDEWALK, CONC, 6 INCH, MODIFIED (1) CS 502

_SEALED EXPANSION JOINT (________

BASE MATERIAL PER PAVEMENT TYPE

_AGGREGATE BASE 21AA, MODIFIED

AS SHOWN ON GRADING PLANS MIN.

SLOPE TO MATCH ADJACENT PAVEMENT

_TIED COLD (CONSTRUCTION) JOINT $\binom{\prime}{(CS 502)}$

_CONC, BASE CSE, NON REINF, 8 INCH (2)

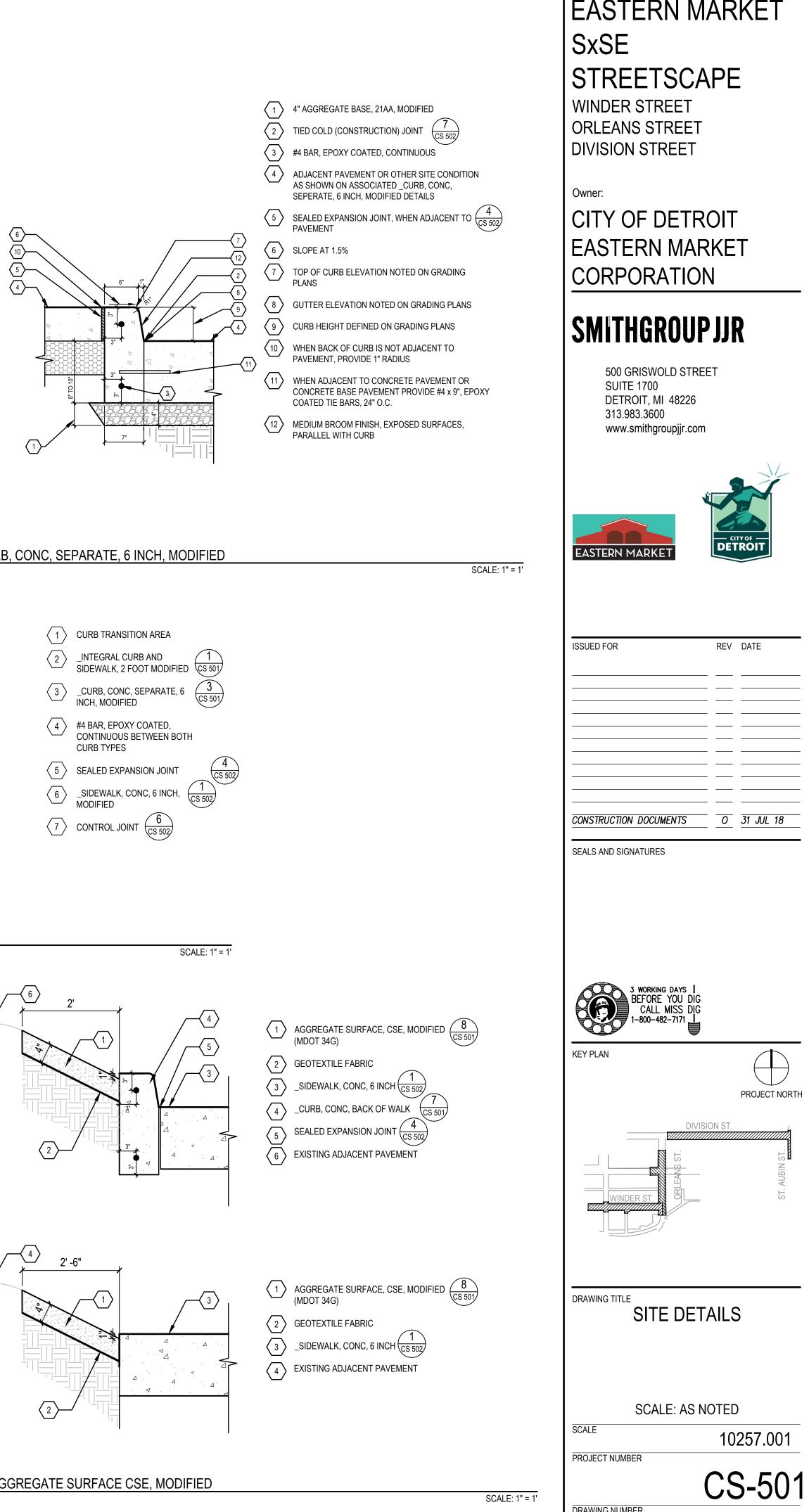
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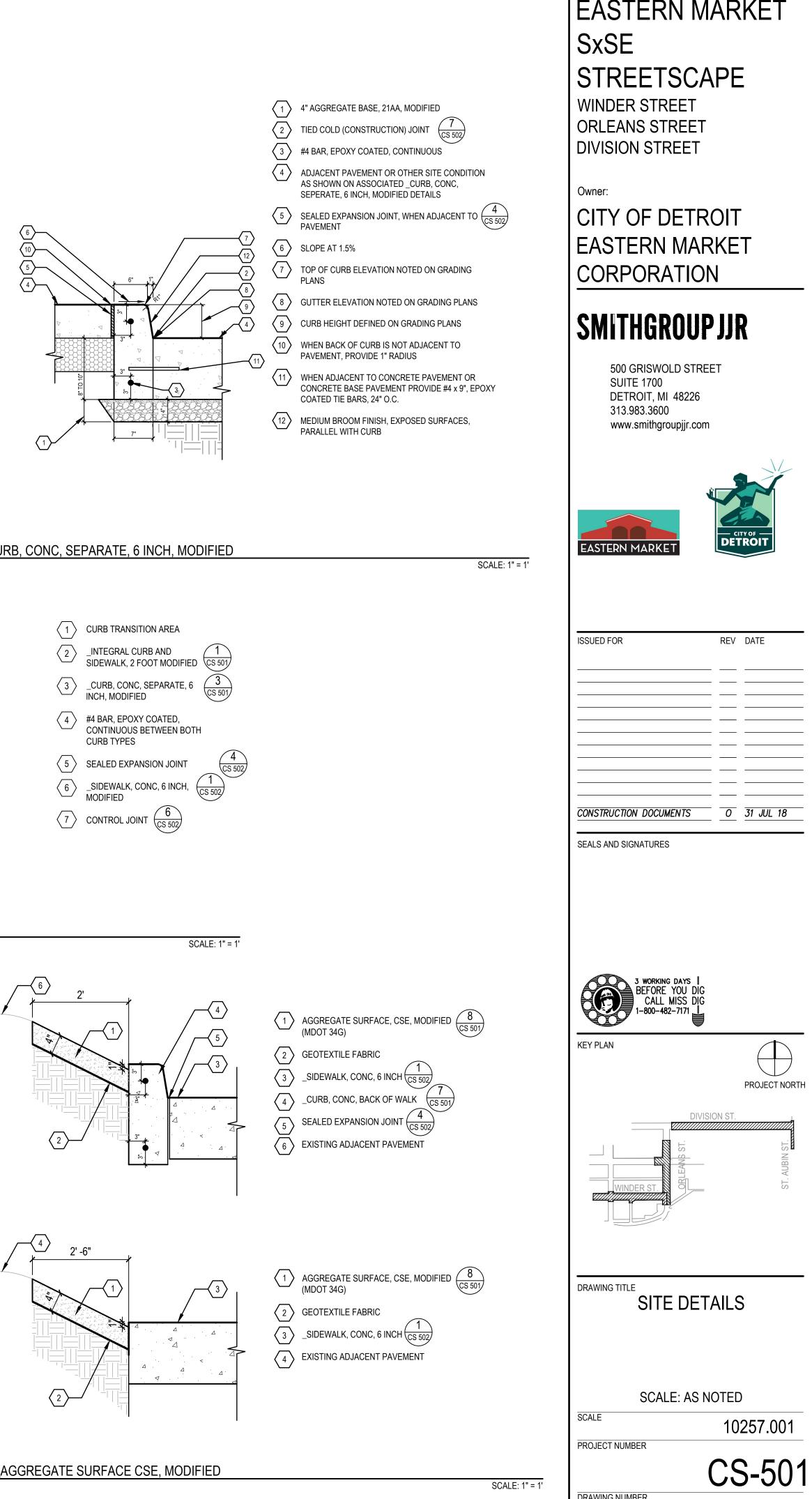
 $\langle 4 \rangle$

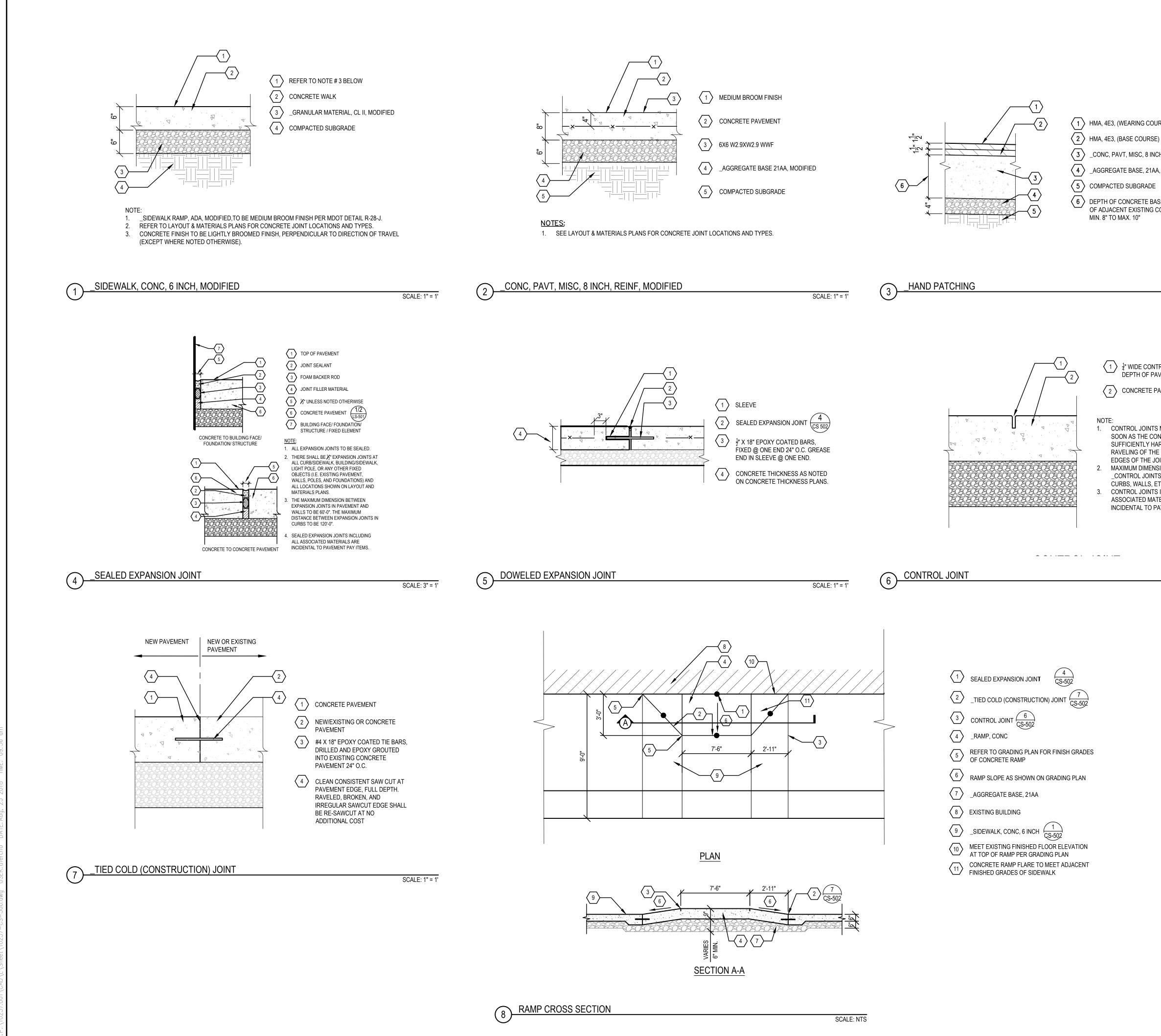
 $\left< 5 \right>$

6

 $\sqrt{7}$







(1) HMA, 4E3, (WEARING COURSE)

3 _CONC, PAVT, MISC, 8 INCH, REINF, MODIFIED 24 _AGGREGATE BASE, 21AA, MODIFIED

6 DEPTH OF CONCRETE BASE TO MATCH DEPTH OF ADJACENT EXISTING CONCRETE BASE, MIN. 8" TO MAX. 10"

SCALE: 1" = 1'

 $\left< \frac{2}{2} \right>$ CONCRETE PAVEMENT

CONTROL JOINTS MAY BE SAWCUT AS SOON AS THE CONCRETE HAS SUFFICIENTLY HARDENED TO PREVENT RAVELING OF THE CONCRETE AT THE EDGES OF THE JOINT. MAXIMUM DIMENSION BETWEEN _CONTROL JOINTS IN SIDEWALKS, CURBS, WALLS, ETC. TO BE 10'-0". 3. CONTROL JOINTS INCLUDING ALL ASSOCIATED MATERIALS ARE INCIDENTAL TO PAVEMENT PAY ITEMS

SCALE: 1" = 1'

EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET **DIVISION STREET**

Owner:

CITY OF DETROIT EASTERN MARKET CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



ISSUED FOR

REV DATE

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN

-800-482-7171 📜



DIVISION ST

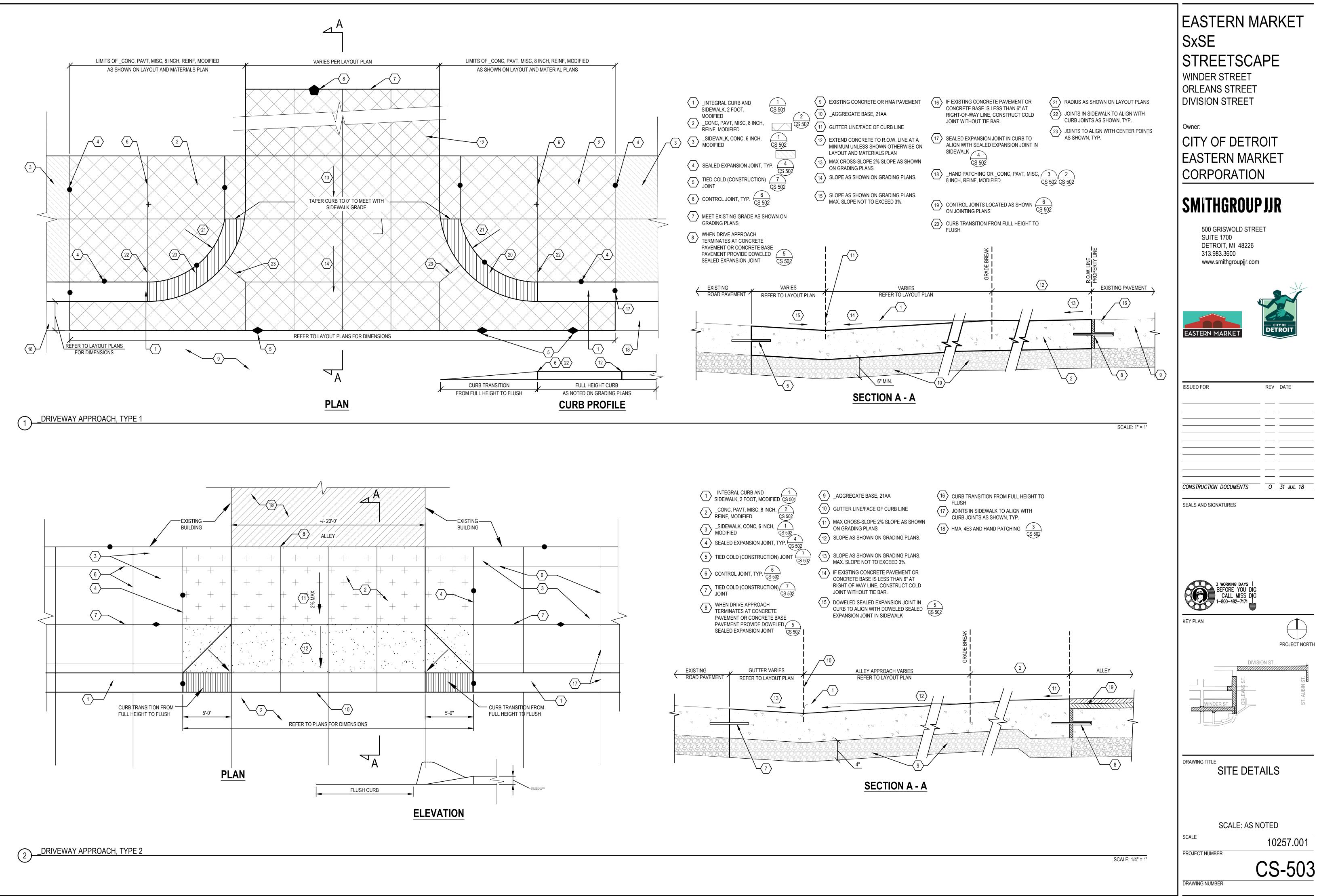
DRAWING TITLE SITE DETAILS

SCALE

SCALE: AS NOTED 10257.001

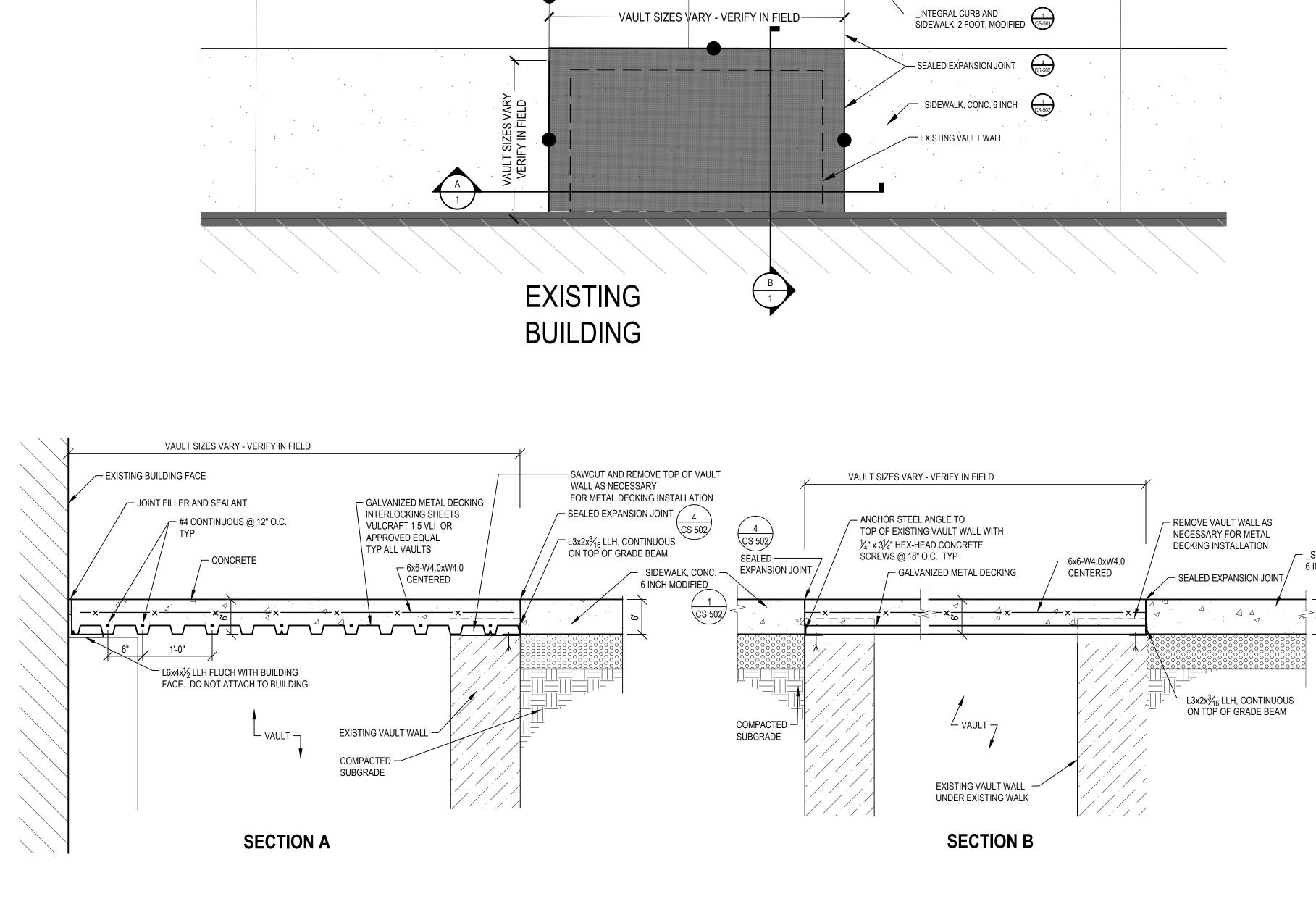
PROJECT NUMBER

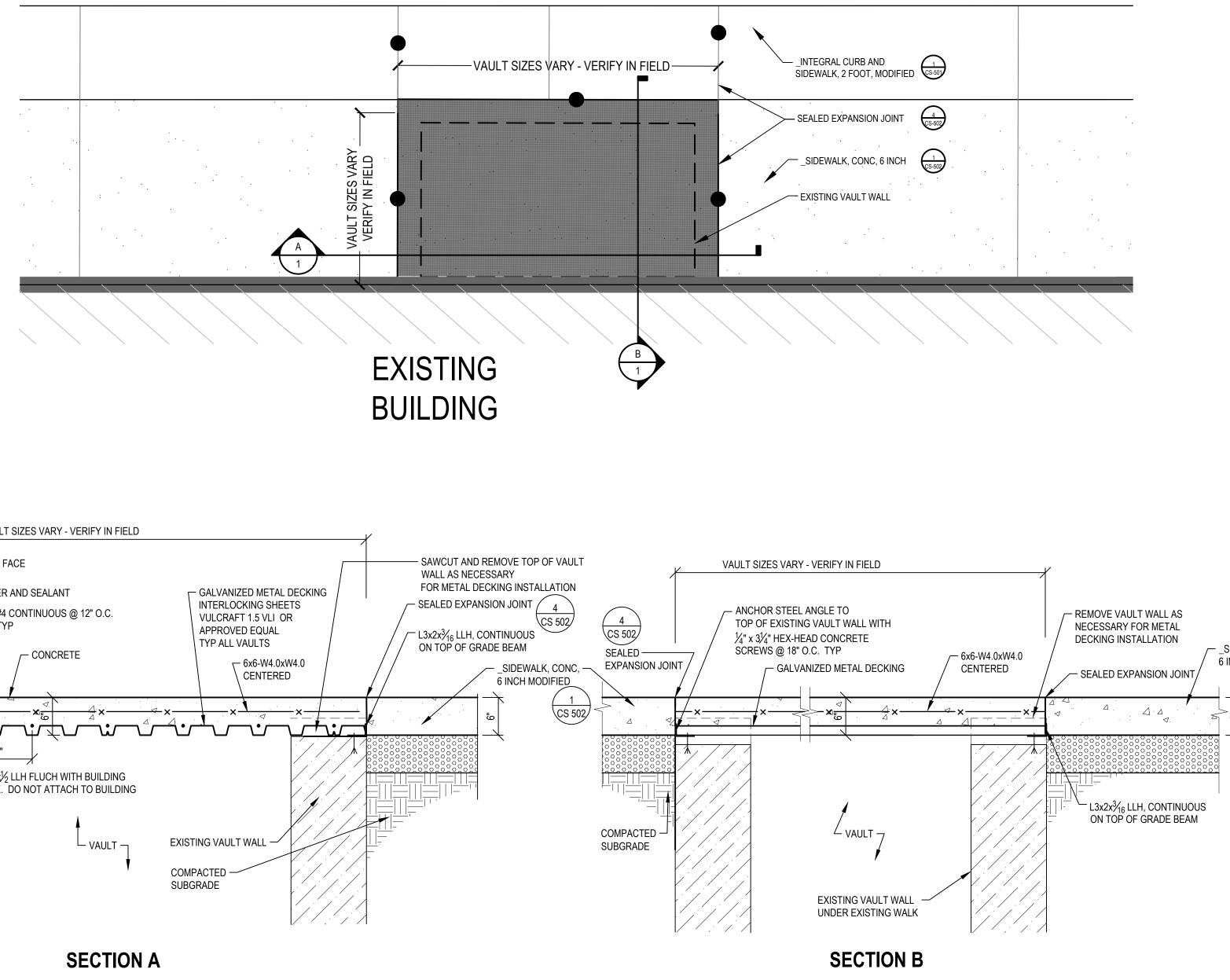
CS-502



_VAULT, REPAIR

(1





VAULT MODIFICATION NOTES:

- 1. EXISTING SUB-SLAB UTILITY VAULTS ARE SHOW IN THEIR APPROXIMATE LOCATIONS. ACTUAL LOCATIONS WILL VARY.
- 2. VERIFY THE GRADE BEAM AND DECKING LAYOUTS SHOWN ON THESE PLANS WITH EXISTING UTILITY LINES AND STRUCTURES. REPORT DISCREPANCIES TO THE ENGINEER.
- 3. COORDINATE VAULT MODIFICATIONS WITH BUILDING OWNER PRIOR TO THE START OF WORK. MAINTAIN PUBLIC ACCESS TO BUILDINGS DURING NORMAL BUSINESS HOURS. PROVIDE FIRM, HARD SURFACE FOR PUBLIC ACCESS.
- 4. PROTECT EXPOSED BASEMENTS AND FOUNDATIONS FROM WIND, WEATHER AND INSECTS.
- 5. PERFORM MINOR MODIFICATIONS TO EXISTING VAULT WALLS AS NECESSARY FOR INSTALLATION OF STRUCTURAL FRAMING AND METAL DECKING. COORDINATE EXTENTS OF MODIFICATIONS WITH THE BUILDING OWNER.
- 6. PENETRATIONS OF EXISTING VAULT WALLS ARE TO BE SEALED WATER TIGHT.

VAULT MODIFICATION MATERIALS:

- 1. METAL DECKING TO BE COMPOSITE, 1.5" x 18 GAGE GALVANIZED STEEL WITH INTERLOCKING SHEETS. DECKING SHALL BE CAPABLE OF SUPPORTING A FULL DEAD LOAD AND LIVE LOAD OF 250 PSF FOR A CLEAR SPAN OF 10'-0". DECKING TO BE VULCRAFT 1.5 VLI OR APPROVED EQUAL.
- 2. STEEL FRAMING (BEAMS, ANGLES AND PLATES) TO BE ASTM A36, GALVANIZED.
- 3. REINFORCING STEEL TO BE ASTM A615, GRADE 60. REINFORCING BARS IN DECKING SLABS TO BE EPOXY COATED
- 4. REINFORCING FABRIC IN DECKING (WWM / WWF) TO BE ASTM A185, GALVANIZED.
- 5. CONCRETE FOR GRADE BEAMS AND FOOTINGSTO BE MDOT S1, 4000 PSI.
- 6. PROVIDE AND INSTALL LATERAL SUPPORT STEEL FOR DECKING AS REQUIRED BY DECKING MANUFACTURER FOR SINGLE SPAN CONDITIONS.
- 7. PROVIDE CONSTRUCTION SHORING AS REQUIRED BY DECKING MANUFACTURER.

EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET

DIVISION STREET

Owner: CITY OF DETROIT EASTERN MARKET CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



ISSUED FOR

REV DATE

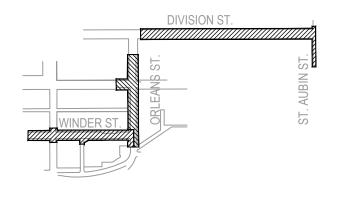
CONSTRUCTION DOCUMENTS O 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN

PROJECT NORTH



DRAWING TITLE		
VAUL	T DE	ETAILS

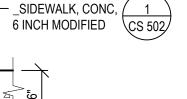
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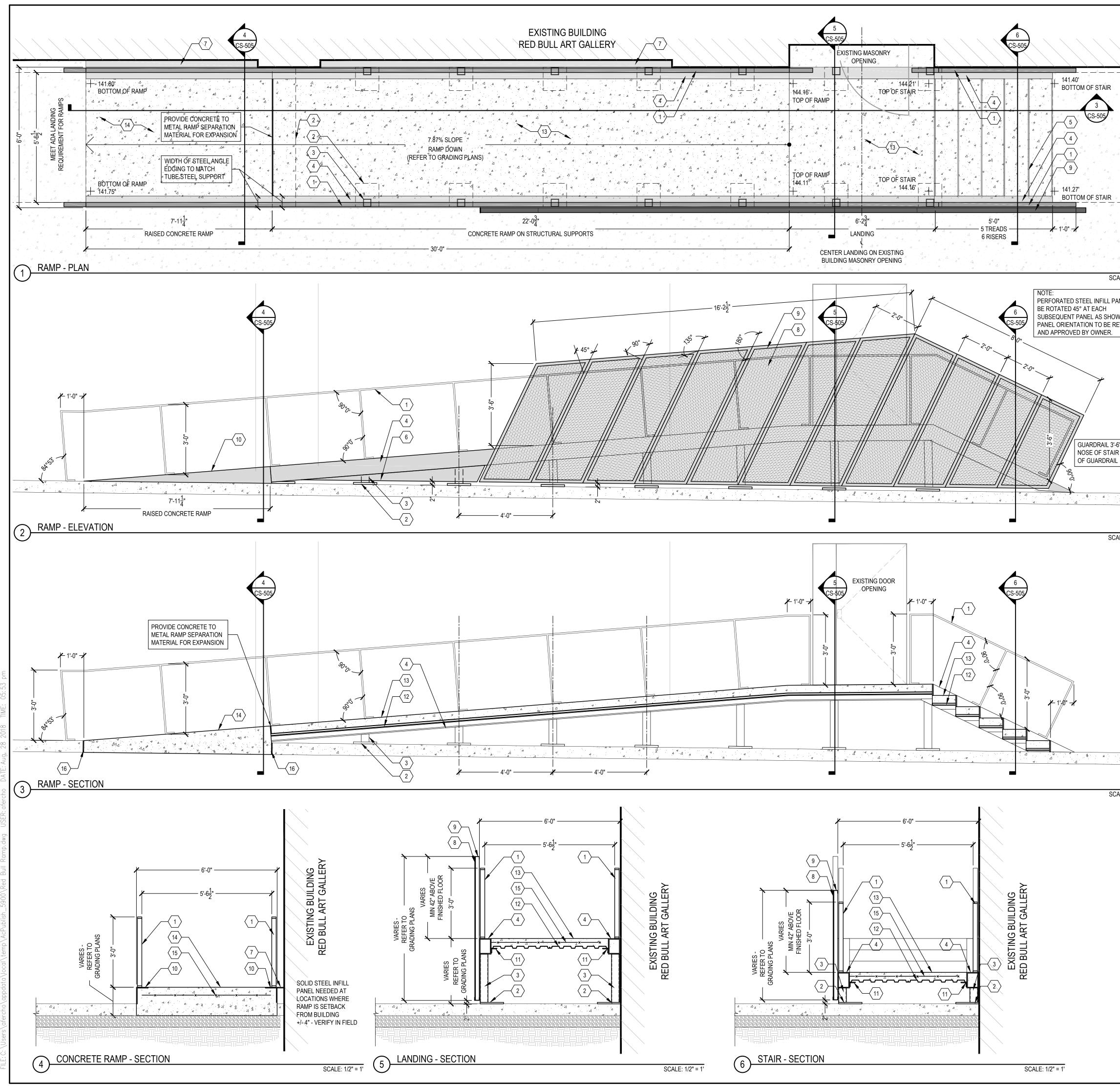
PROJECT NUMBER

DRAWING NUMBER

SCALE



SCALE: 1" = 1'



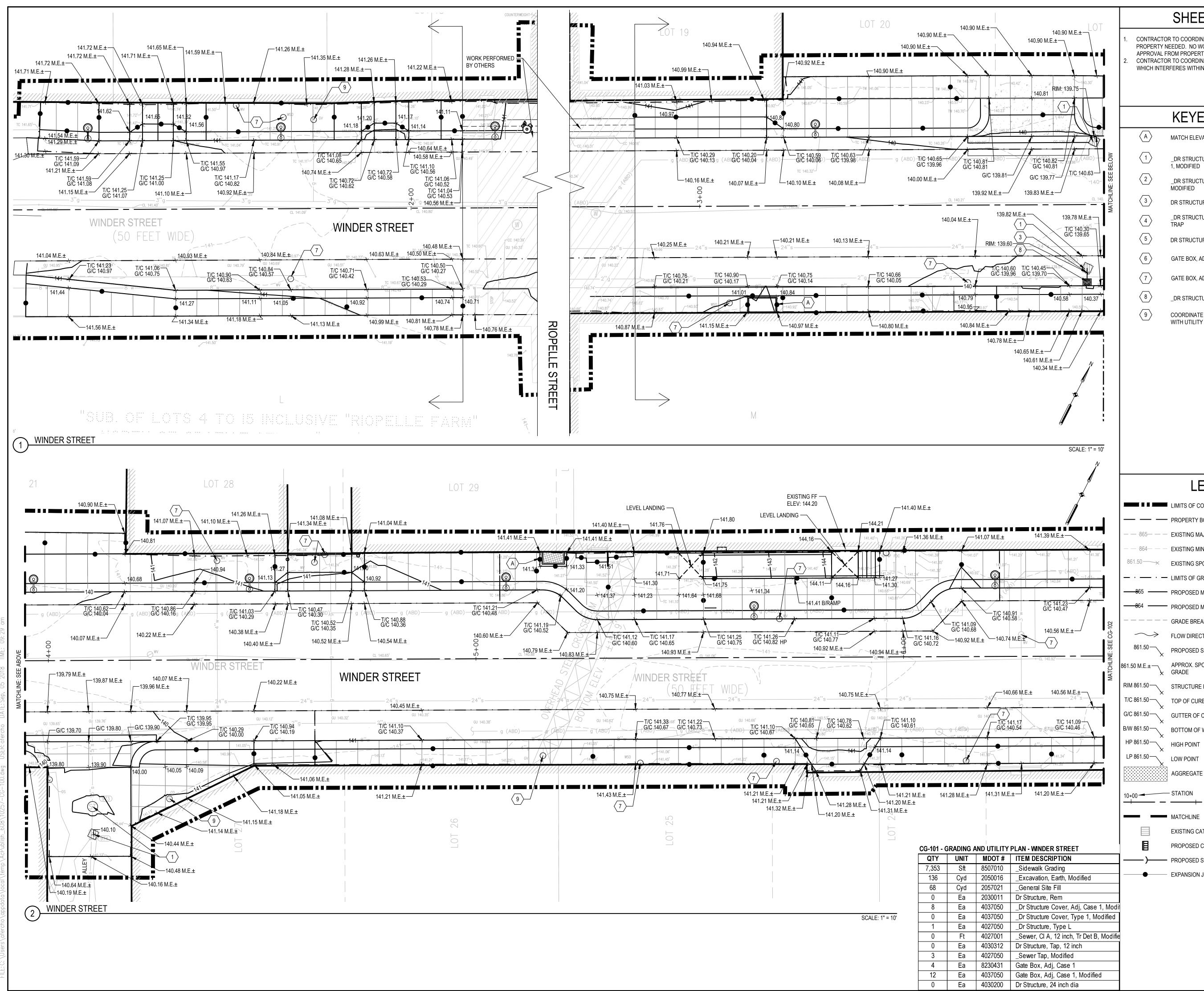
			·
		SHEET NOTES	EASTERN MARKET
	1.	THE CONTRACTOR IS REQUIRED TO PROVIDE THE ENGINEERING AND STRUCTURAL DESIGN AS WELL AS ALL OTHER REQUIRED COMPONENTS IN ORDER TO PROVIDE A COMPLETE AND OPERATIONAL ADA RAMP AND STAIRS THAT MATCHES THE DESIGN ILLUSTRATED. MODIFICATIONS TO THE FOUNDATION, ANCHORAGES/FASTENERS, STRUCTURAL MEMBERS AND OTHER	SxSE
STAIRS	2.	COMPONENTS MAY BE NECESSARY. THE RAMP DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ARE PROVIDED TO ILLUSTRATE THE AESTHETIC, PERFORMANCE AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY THE FORM AND OVERALL SCALE OF THE RAMP AND STAIRS. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES.	STREETSCAPE WINDER STREET ORLEANS STREET
MEET ADA LANDING REQUIREMENT FOR STAIRS	3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL WORK AND INSTALLED RAMP AND STAIRS MEETS ALL APPLICABLE CODES, LAWS AND REGULATIONS. THE DESIGN LOADS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL AND MICHIGAN BUILDING CODES. PERFORATED SCREEN PANELS PROVIDED TO ACT AS THE RAMP AND STAIRS GUARDRAIL MUST WITHSTAND 100 MPH WIND LOADS AND MEET ALL APPLICABLE BUILDING CODES, LAWS AND REGULATIONS.	DIVISION STREET Owner: CITY OF DETROIT
	4.	SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE RAMP AND STAIRS INSTALLATION TO THE ENGINEER FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.	EASTERN MARKET CORPORATION
ALE: 1/2" = 1'	5.	THE CONTRACTOR IS REQUIRED TO PROVIDE THE ENGINEERING, MATERIALS, EQUIPMENT, FABRICATION, TOOLS, LABOR AND INSTALLTION OF THE RAMP AND STAIRS INCLUDING ALL ANCHORAGES/MOUNTING ACCESSORIES, FOUNDATIONS, FITTINGS, FASTENINGS, STRUCTURAL SUPPORTS, RIGGING AND FINISHES. ALL MATERIALS SHALL BE DESIGNED AND RATED FOR EXTERIOR ENVIRONMENTS. PROVIDE STEEL FRAMING AND SUPPORTS NOT SPECIFIED AND/OR SHOWN AS NEEDED TO PROPERLY SUPPORT AND COMPLETE THE DESIGN OF THE RAMP AND STAIRS.	SMITHGROUP JJR 500 GRISWOLD STREET
ANELS TO WN. EVIEWED	6.	VERIFY FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION. COORDINATE RAMP SLOPES, STAIR RISERS AND TREAD DIMENSIONS WITH PROPOSED GRADING PLAN. RAMP TO BE ADA COMPLIANT AND SHALL NOT BE MORE THAN (ONE) - 30-FOOT-LONG RAMP SEGMENT. COORDINATE CONCRETE LANDINGS FOR BOTH RAMP AND STAIR WITH THE PROPOSED CONCRETE SIDEWALK.	SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com
	7.	VERIFY UTILITY LINES IN THE AREA PROPOSED FOR THE RAMP INSTALLATION. ANY DAMAGE DURING INSTALLATION OF RAMP AND STAIRS TO UTILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AT NO ADDITIONAL COST.	
	8.	SHOP FABRICATE AND PRE-ASSEMBLE HANDRAILS AND PERFORATED SCREEN PANELS. PREASSEMBLE ITEMS IN THE FABRICATORS FACILITY TO THE GREATEST EXTENT POSSIBLE. DISASEMBLE UNITS ONLY AS NECESSARY FOR SHIPPING AND HANDLING LIMITATIONS. METAL RAMP AND PERFORATED PANEL COMPONENTS SHALL BE MANUFACTURED, FABRICATED AND FINISHED WITH THE FINAL POWDERCOATED COLOR AT THE METAL FABRICATOR'S FACILITY. WORK ON SITE SHOULD BE LIMITED TO ASSEMBLY OF THE MAJOR RAMP AND STAIR COMPONENTS AND THE POURING OF THE CONCRETE SURFACES.	EASTERN MARKET
6" FROM R TO TOP -	9.	DESIGN SHALL ALLOW FOR THERMAL MOVEMENTS FROM AMBIENT AND SURFACE TEMPERATURE CHANGES ACTING ON EXTERIOR METAL AND CONCRETE FABRICATIONS BY PREVENTING BUCKLING, OPENING OF JOINTS, OVERSTRESSING OF COMPONENTS, FAILURE OF CONNECTIONS AND OTHER DETRIMENTAL EFFECTS.	ISSUED FOR REV DATE
ά 4	10.	FORM EXPOSED CONNECTIONS WITH HAIRLINE JOINTS, FLUSH AND SMOOTH, USING CONCEALED FASTENERS OR WELDS WHERE POSSIBLE. WHERE EXPOSED FASTENERS ARE REQUIRED USE VANDAL/TAMPERPROOF HARDWARE. LOCATE FASTENERS AND JOINTS WHERE LEAST CONSPICIUOUS.	
ALE: 1/2" = 1'	11.	ALL STEEL COMPONENTS TO BE STRUCTURAL STEEL EXTERIOR RATED AND SHALL BE WEATHER PROOFED, PRIMED AND POWDERCOATED. HANDRAIL AND STEEL RAMP COMPONENTS COLOR TO BE A DARK NEUTRAL TONE (DARK GRAY) TO BE REVIEWED AND APPROVED BY OWNER. THE PERFORATED PANEL AND FRAME TO BE A DIFFERENT COLOR (DARK BRICK RED, SLATE BLUE GRAY, BRIGHT BLUE, OR GOLD/YELLOW) TO BE REVIEWED AND APPROVED BY OWNER. CHANGE IN COLOR AS APPROVED BY OWNER TO BE PROVIDED AT NO ADDITIONAL COST.	
	12.	PERFORATED PRIMED AND POWEDERCOATED METAL PANEL DESIGN TO BE SUBMITTED FOR OWNER REVIEW AND APPROVAL. CHANGE IN PERFORATED PANEL DESIGN AND ORIENTATION OF PATTERN SHOWN ON DETAILS SHALL BE PROVIDED AS APPROVED BY OWNER AND TO BE PROVIDED AT NO ADDITIONAL COST.	CONSTRUCTION DOCUMENTS 0 31 JUL 18
	13.	PROVIDE METAL SURFACES EXPOSED TO VIEW IN THE COMPLETED WORK WITH SMOOTH, FLAT SURFACES WITHOUT SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, TOOL AND DIE MARKS, STRETCH LINES, BURS, POCKMARKING OR OTHER BLEMISHES.	SEALS AND SIGNATURES
		CONCRETE FOR RAMP AND STAIRS AS SPECIFIED FOR SITE SIDEWALKS, MDOT GRADE S1, MINIMUM 28 DAY COMPRESSIVE STRENGTH TO BE 4,000 PSI WITH AIR CONTENT OF 6.5% +/- 1.5%. REINFORCING FABRIC IN DECKING (WWM / WWF) TO BE ASTM 185, GALVANIZED.	
	15.	CONCRETE SHALL BE CLEAN, SMOOTH, CONSISTENT FINISH WITHOUT IMPERFECTIONS, CHIPS, MARKS AND HONEYCOMB. CONCRETE FINISH ON RAMP AND STAIR RISERS TO BE A LIGHT BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL. CONCRETE NOT MEETING THESE REQUIREMENTS SHALL BE REPLACED AT NO ADDITIONAL COST.	3 WORKING DAYS
		APPROVED METAL FABRICATOR SHALL BE THE FOLLOWING OR APPROVED EQUAL: TARU LAHTI DESIGN	BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
4 <u>4</u>		3101 24TH STREET DETROIT, MICHIGAN 48216 TARU LAHTI 313-600-1599 TARULAHTI12@GMAIL.COM	KEY PLAN
ALE: 1/2" = 1'		PRIOR TO PROJECT COMPLETION, CLEAN ALL SURFACES, TOUCH UP MARRED OR DAMAGED FINISHES. PERFORM ANY REPAIRS REQUIRED, AND IF NECESSARY, REPLACE DAMAGED WORK. ENSURE THAT THE WORK IS CLEAN, PRISTINE, AND THAT ALL FINISHES ARE FREE OF DEFECTS AT TIME OF COMPLETION.	DIVISION ST.
		KEYED NOTES	ST.
	$\langle 1 \rangle$	FLAT BAR STEEL HANDRAIL (2 1/4" x 3/4")	
	$\left\langle \begin{array}{c} 2 \end{array} \right\rangle$	SOLID STEEL SUPPORT PLATE ANCHORED TO CONCRETE SIDEWALK	WINDER ST. 5
	$\left \begin{array}{c} 3 \end{array} \right $	TUBE STEEL SUPPORT POSTS	
	$\begin{pmatrix} 4 \\ 5 \end{pmatrix}$	TUBE STEEL SUPPORT RAIL SOLID STEEL INFILL PANEL FOR STAIR RISER	
	$\begin{pmatrix} 0 \\ 6 \end{pmatrix}$	SOLID STEEL INFILL PANEL FOR STAIR RISER SOLID STEEL INFILL PANEL FOR FACE OF RAMP	DRAWING TITLE
	$\left(\begin{array}{c}7\\7\\8\end{array}\right)$	SOLID STEEL INFILL PANEL FOR RAMP EDGE AT EXST BLD MASONRY INSET PERFORATED STEEL INFILL PANEL	RAMP DETAILS
	9	STEEL 'C' CHANNEL FRAME FOR INFILL PANEL	
		STEEL ANGLE EDGING	
		STEEL ANGLE SUPPORT	SCALE: 1/2" = 1'-0"
	$\left< \frac{12}{12} \right>$	GALVANIZED METAL DECKING INTERLOCKING SHEETS	SCALE 10257.001
	$\begin{pmatrix} 13 \\ 14 \end{pmatrix}$	CONCRETE CONCRETE RAMP ON GRADE - COORDINATE ELEVATIONS WITH GRADING PLAN	
	$\left< \frac{14}{15} \right>$	WELDED WIRE MESH REINFORCEMENT FOR CONCRETE RAMP AND STAIRS	CS-505
	$\left< \frac{16}{16} \right>$	SEALED EXPANSION JOINT	DRAWING NUMBER







NOT TO SCALE



SHEET NOTES

CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER.

CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS.

KEYED NOTES

- MATCH ELEVATION OF VAULTS
- _DR STRUCTURE COVER, ADJ, CASE
- 1, MODIFIED _DR STRUCTURE COVER, TYPE 1,
- MODIFIED DR STRUCTURE, TAP, 12 INCH
- _DR STRUCTURE, 48 INCH DIA, WITH
- DR STRUCTURE, 24 INCH DIA
- GATE BOX, ADJ, CASE 1
- GATE BOX, ADJ, CASE 1, MODIFIED
- _DR STRUCTURE, TYPE L
- COORDINATE UTILITY STRUCTURE ADJUSTMENT WITH UTILITY PROVIDER

EASTERN MARKET SxSE STREETSCAPE WINDER STREET **ORLEANS STREET DIVISION STREET**

Owner: **CITY OF DETROIT** EASTERN MARKET CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



ISSUED FOR

REV DATE

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES

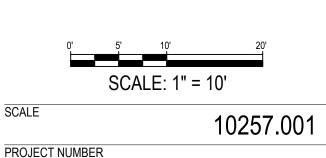


KEY PLAN



DIVISION ST.

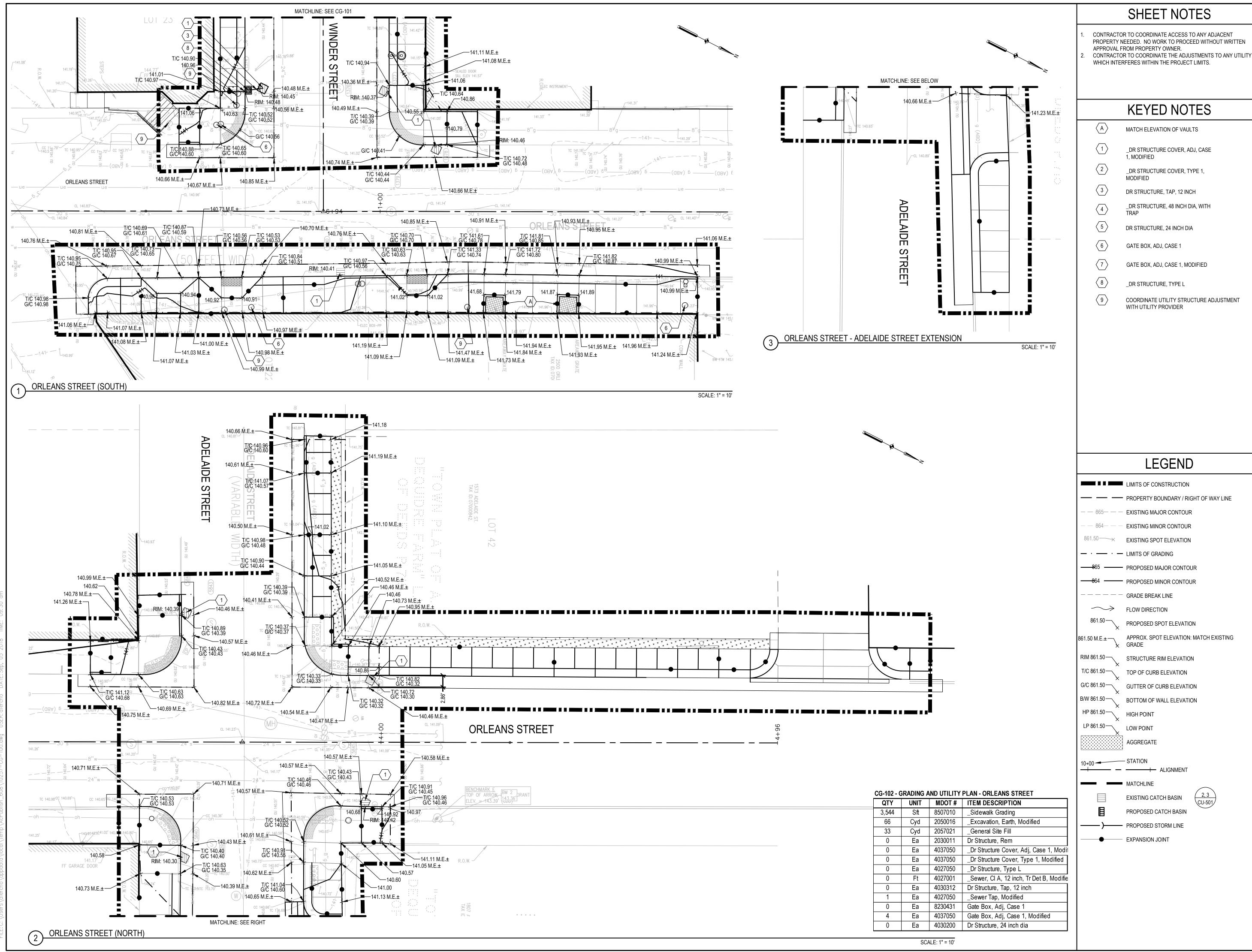
DRAWING TITLE SITE GRADING & UTILITY PLAN - WINDER STREET



CG-101 DRAWING NUMBER

LEGEND

LIMITS OF CONSTRUCTION ----- PROPERTY BOUNDARY / RIGHT OF WAY LINE - - - - - EXISTING MAJOR CONTOUR - 864 ---- EXISTING MINOR CONTOUR - · -- · -- LIMITS OF GRADING GRADE BREAK LINE FLOW DIRECTION 861.50 PROPOSED SPOT ELEVATION 861.50 M.E.± — APPROX. SPOT ELEVATION: MATCH EXISTING 🗙 GRADE RIM 861.50 STRUCTURE RIM ELEVATION T/C 861.50 TOP OF CURB ELEVATION G/C 861.50 GUTTER OF CURB ELEVATION B/W 861.50 BOTTOM OF WALL ELEVATION AGGREGATE MATCHLINE 2, 3 EXISTING CATCH BASIN \CU-501/ PROPOSED CATCH BASIN -) PROPOSED STORM LINE EXPANSION JOINT



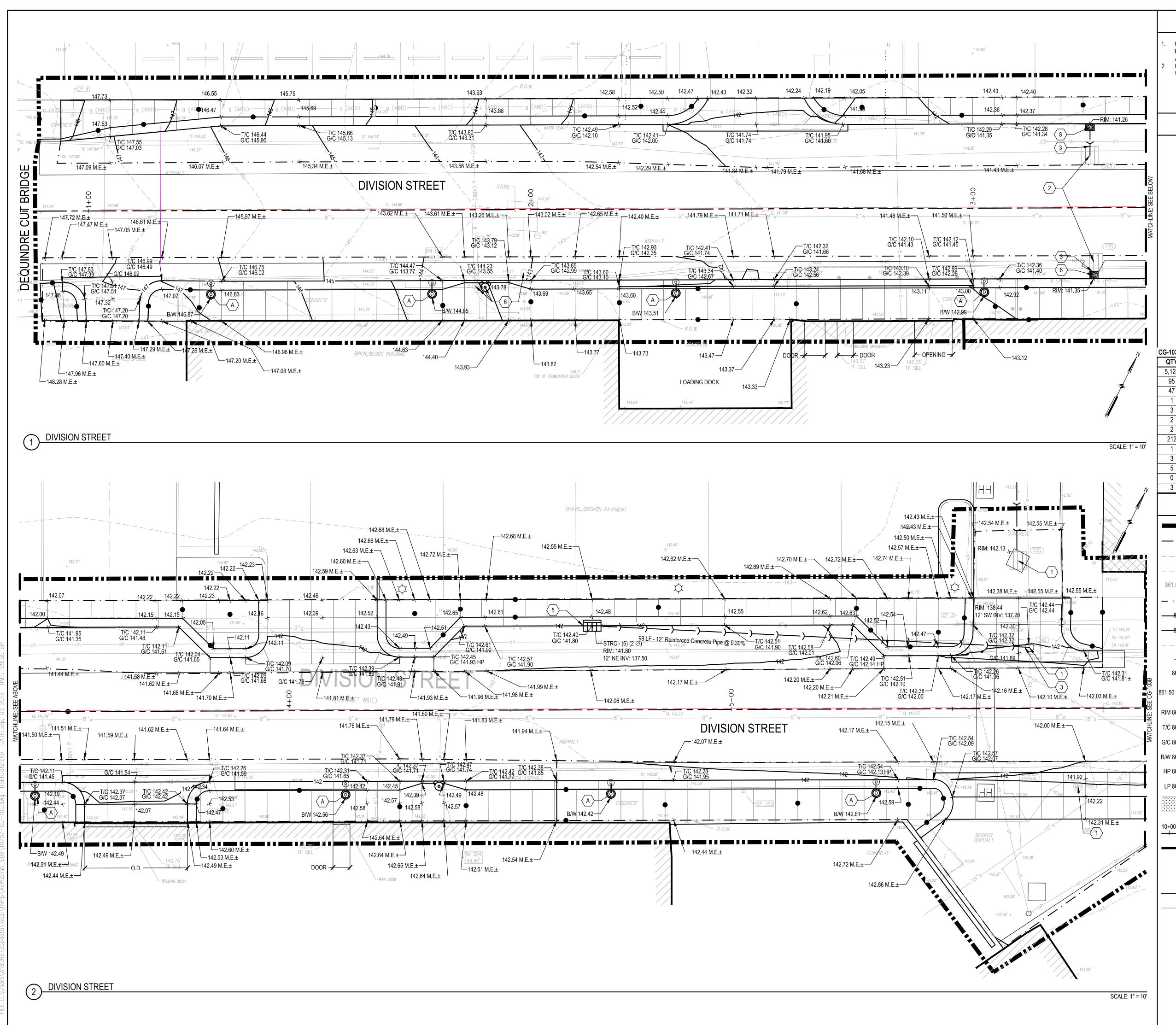
$\frac{\text{BENCHMARK E}}{\text{TOP OF ARROW}} = \frac{\text{BM 2}}{143.39}, \text{DRANT}$ $\text{ELEV.} = 143.39'$	CG-102 -	GRADING ,	AND UTILITY	PLAN
$ELEV. = 143.39' \begin{bmatrix} 143.36' \\ (UDD) \end{bmatrix}$	QTY	UNIT	MDOT #	ITE
	3,544	Sft	8507010	_Sic
	66	Cyd	2050016	_Ex
	33	Cyd	2057021	_Ge
	0	Ea	2030011	Dr S
	0	Ea	4037050	_Dr
R.O.W	0	Ea	4037050	_Dr
	0	Ea	4027050	_Dr
	0	Ft	4027001	_Se
	0	Ea	4030312	Dr S
	1	Ea	4027050	_Se
1807	0	Ea	8230431	Gate
	4	Ea	4037050	Gate
	0	Ea	4030200	Dr S

EASTERN MARKET SxSE STREETSCAPE WINDER STREET **ORLEANS STREET DIVISION STREET** Owner: CITY OF DETROIT EASTERN MARKET CORPORATION **SMITHGROUP JJR** 500 GRISWOLD STREET **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com EASTERN MARK ISSUED FOR REV DATE CONSTRUCTION DOCUMENTS 0 31 JUL 18 SEALS AND SIGNATURES 3 WORKING DAYS | BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 | KEY PLAN \bigcirc PROJECT NORTH DIVISION ST. DRAWING TITLE SITE GRADING & UTILITY **PLAN - ORLEANS STREET**

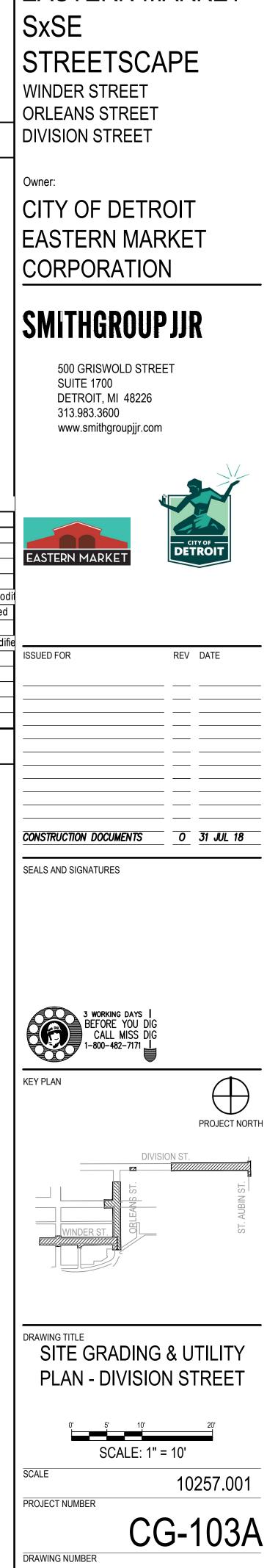
SCALE: 1" = 10' SCALE 10257.001 PROJECT NUMBER CG-102

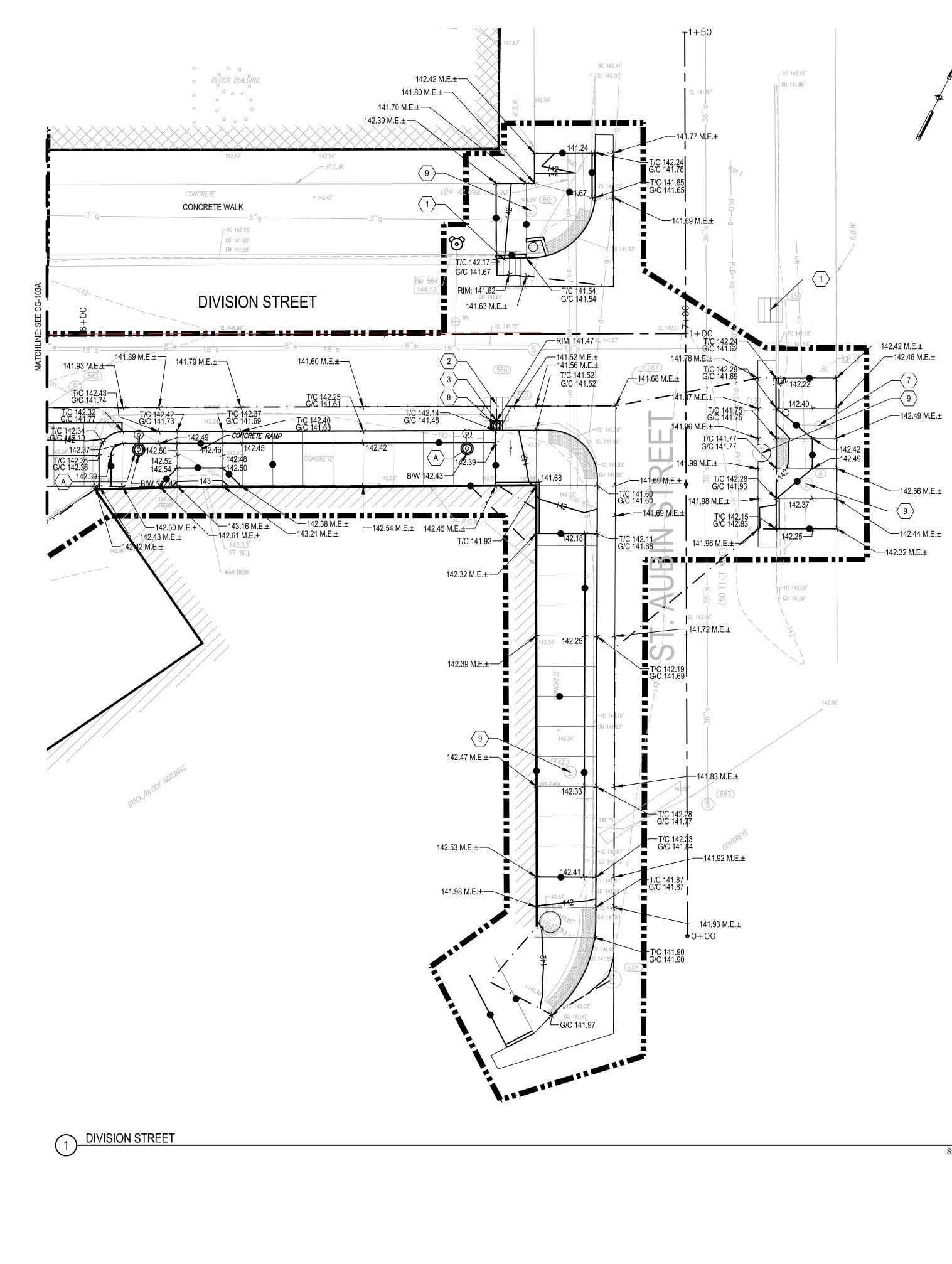
DRAWING NUMBER

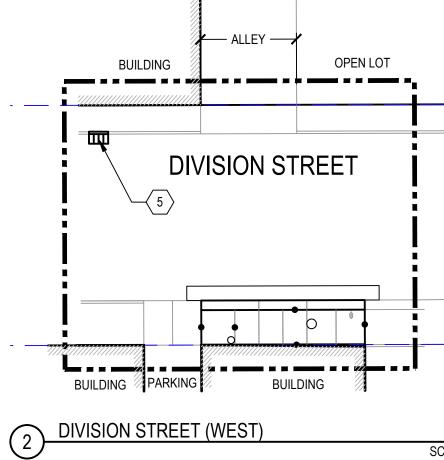
(2, 3) CU-501



SHEET NOTES **EASTERN MARKET** CONTRACTOR TO COORDINATE ACCESS TO ANY ADJACENT PROPERTY NEEDED. NO WORK TO PROCEED WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER. CONTRACTOR TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY WHICH INTERFERES WITHIN THE PROJECT LIMITS. **KEYED NOTES** MATCH ELEVATION OF VAULTS $\langle 1 \rangle$ _DR STRUCTURE COVER, ADJ, CASE 1, MODIFIED $\langle 2 \rangle$ _DR STRUCTURE COVER, TYPE 1, MODIFIED $\langle 3 \rangle$ DR STRUCTURE, TAP, 12 INCH _DR STRUCTURE, 48 INCH DIA, WITH $\langle 4 \rangle$ TRAP $\left< 5 \right>$ DR STRUCTURE, 24 INCH DIA $\langle 6 \rangle$ GATE BOX, ADJ, CASE 1 $\langle 7 \rangle$ GATE BOX, ADJ, CASE 1, MODIFIED 8 _DR STRUCTURE, TYPE L 9 COORDINATE UTILITY STRUCTURE ADJUSTMENT WITH UTILITY PROVIDER CG-103A - GRADING AND UTILITY PLAN - DIVISION STREET (WEST) QTY UNIT MDOT # ITEM DESCRIPTION Sft | 8507010 | _Sidewalk Grading 5.124 Cyd | 2050016 | _Excavation, Earth, Modified 95 47 Cyd 2057021 General Site Fill Ea 2030011 Dr Structure, Rem 4037050 | _Dr Structure Cover, Adj, Case 1, Modi Ea 4037050 | _Dr Structure Cover, Type 1, Modified Ea 4027050 _Dr Structure, Type L Ea 2 212 4027001 Sewer, CI A, 12 inch, Tr Det B, Modifie Ft 4030312 Dr Structure, Tap, 12 inch Ea 1 Ea 4027050 Sewer Tap, Modified - 3 8230431 Gate Box, Adj, Case 1 5 Ea 4037050 Gate Box, Adj, Case 1, Modified Ea 0 3 Ea 4030200 Dr Structure, 24 inch dia LEGEND LIMITS OF CONSTRUCTION ----- PROPERTY BOUNDARY / RIGHT OF WAY LINE - - - - 865- - - EXISTING MAJOR CONTOUR - 864— — — EXISTING MINOR CONTOUR 861.50 × EXISTING SPOT ELEVATION — · — LIMITS OF GRADING 865 — PROPOSED MAJOR CONTOUR -864 ------ PROPOSED MINOR CONTOUR ----- GRADE BREAK LINE FLOW DIRECTION 861.50 PROPOSED SPOT ELEVATION 861.50 M.E.± — APPROX. SPOT ELEVATION: MATCH EXISTING 🖌 GRADE RIM 861.50 _____ STRUCTURE RIM ELEVATION T/C 861.50 TOP OF CURB ELEVATION G/C 861.50 GUTTER OF CURB ELEVATION B/W 861.50 BOTTOM OF WALL ELEVATION HP 861.50 HIGH POINT LP 861.50 — 🔨 LOW POINT AGGREGATE MATCHLINE (2, 3) CU-501 EXISTING CATCH BASIN PROPOSED CATCH BASIN PROPOSED STORM LINE ------ EXPANSION JOINT



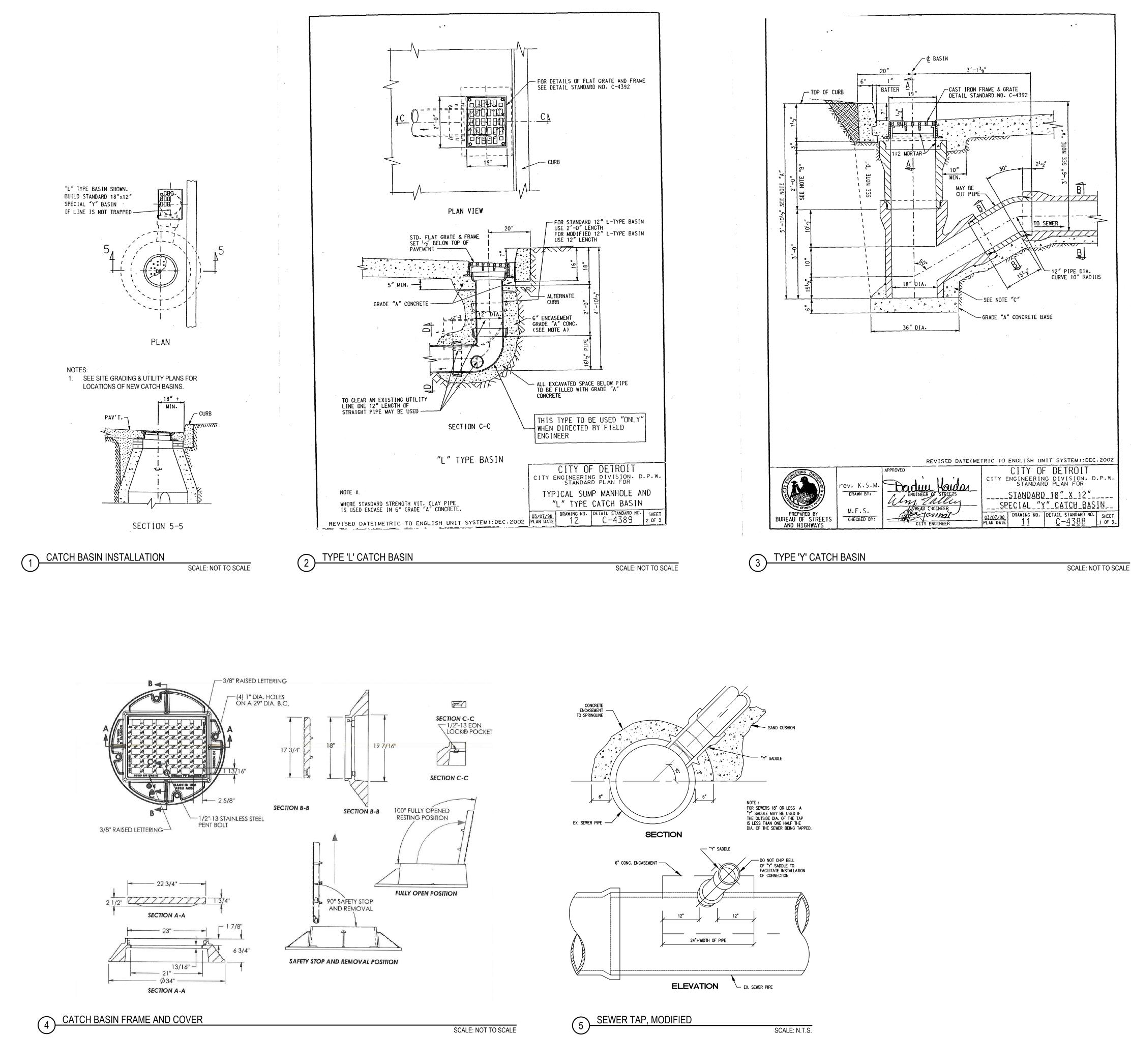




QTY	UNIT	MDOT #	ITEM DESCRIPTION
3,276	Sft	8507010	_Sidewalk Grading
61	Cyd	2050016	_Excavation, Earth,
30	Cyd	2057021	_General Site Fill
0	Ea	2030011	Dr Structure, Rem
2	Ea	4037050	_Dr Structure Cover,
0	Ea	4037050	_Dr Structure Cover,
1	Ea	4027050	_Dr Structure, Type
0	Ft	4027001	_Sewer, CI A, 12 inc
0	Ea	4030312	Dr Structure, Tap, 12
0	Ea	4027050	_Sewer Tap, Modifie
0	Ea	8230431	Gate Box, Adj, Case
1	Ea	4037050	Gate Box, Adj, Case

SCALE: 1" = 10'

					SHEET NOTES	EASTERN MARKET
					R TO COORDINATE ACCESS TO ANY ADJACENT	
				PROPERTY N APPROVAL F	IEEDED. NO WORK TO PROCEED WITHOUT WRITTEN ROM PROPERTY OWNER.	SxSE
				2. CONTRACTO	R TO COORDINATE THE ADJUSTMENTS TO ANY UTILITY RFERES WITHIN THE PROJECT LIMITS.	STREETSCAPE
						WINDER STREET
						ORLEANS STREET
			N		KEYED NOTES	
			l'		MATCH ELEVATION OF VAULTS	Owner:
			The second se	$\langle 1 \rangle$	_DR STRUCTURE COVER, ADJ, CASE	CITY OF DETROIT
- ALLEY —	r				1, MODIFIED	EASTERN MARKET
				$\langle 2 \rangle$	_DR STRUCTURE COVER, TYPE 1, MODIFIED	_
		i-	<u> </u>	3	DR STRUCTURE, TAP, 12 INCH	CORPORATION
				$\langle 4 \rangle$	_DR STRUCTURE, 48 INCH DIA, WITH	
ION ST	REET					SMITHGROUP JJR
				$\langle 5 \rangle$	DR STRUCTURE, 24 INCH DIA	
		ļ		6	GATE BOX, ADJ, CASE 1	500 GRISWOLD STREET SUITE 1700
				$\langle 7 \rangle$	GATE BOX, ADJ, CASE 1, MODIFIED	DETROIT, MI 48226 313.983.3600
				$\langle 8 \rangle$	_DR STRUCTURE, TYPE L	www.smithgroupjjr.com
				(9)	COORDINATE UTILITY STRUCTURE ADJUSTMENT	$\lambda = r$
BUIL	DING	} ■		<u> </u>	WITH UTILITY PROVIDER	
EST)		S	CALE: 1" = 10'			
						EASTERN MARKET
						ISSUED FOR REV DATE
						l
					LEGEND	
					LIMITS OF CONSTRUCTION	1
					PROPERTY BOUNDARY / RIGHT OF WAY LINE	
				— — ·865— — —	EXISTING MAJOR CONTOUR	CONSTRUCTION DOCUMENTS 0 31 JUL 18
				— — 864— — —	EXISTING MINOR CONTOUR	
				861.50	EXISTING SPOT ELEVATION	SEALS AND SIGNATURES
				_ · · _	LIMITS OF GRADING	
				—8 65 ——	PROPOSED MAJOR CONTOUR	
					PROPOSED MINOR CONTOUR	
					GRADE BREAK LINE	
				\longrightarrow	FLOW DIRECTION	
				861.50	PROPOSED SPOT ELEVATION	3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
				861.50 M.E.±	APPROX. SPOT ELEVATION: MATCH EXISTING GRADE	CALL MISS DIG 1-800-482-7171
				x RIM 861.50	STRUCTURE RIM ELEVATION	KEY PLAN
				T/C 861.50	TOP OF CURB ELEVATION	
				G/C 861.50	GUTTER OF CURB ELEVATION	PROJECT NORTH
				B/W 861.50	BOTTOM OF WALL ELEVATION	DIVISION ST.
				HP 861.50	HIGH POINT	
				LP 861.50	LOW POINT	
				×	AGGREGATE	U S S NIBIN ST. WINDER ST. WINDER ST.
						WINDER ST. COL
				10+00		
				— —	MATCHLINE	
	AF 1 - 1				EXISTING CATCH BASIN (2, 3) CU-501	
CG-103B · QTY	- GRADING UNIT	AND UTILIT	Y PLAN - DIVISION STREET (EAST)	ן 🗉	PROPOSED CATCH BASIN	DRAWING TITLE SITE GRADING & UTILITY
3,276	Sft	8507010	_Sidewalk Grading	1	PROPOSED STORM LINE	PLAN - DIVISION STREET
61 30	Cyd Cyd	2050016 2057021	_Excavation, Earth, Modified _General Site Fill	1		
0	Ea	2030011 4037050	Dr Structure, Rem]		0' 5' 10' 20'
2 0	Ea Ea	4037050	_Dr Structure Cover, Adj, Case 1, Mod _Dr Structure Cover, Type 1, Modified			SCALE: 1" = 10'
1 0	Ea Ft	4027050 4027001	_Dr Structure, Type L _Sewer, CI A, 12 inch, Tr Det B, Modifi			SCALE 10257.001
0	Ea	4030312	Dr Structure, Tap, 12 inch	Ĩ		PROJECT NUMBER
0	Ea Ea	4027050 8230431	_Sewer Tap, Modified Gate Box, Adj, Case 1	-		
1	Ea	4037050	Gate Box, Adj, Case 1, Modified			CG-103B
0	Ea	4030200	Dr Structure, 24 inch dia	1		DRAWING NUMBER



EASTERN MARKET SxSE STREETSCAPE WINDER STREET ORLEANS STREET **DIVISION STREET**

Owner:

CITY OF DETROIT EASTERN MARKET CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET **SUITE 1700** DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



ISSUED FOR

REV DATE

CONSTRUCTION DOCUMENTS 0 31 JUL 18

SEALS AND SIGNATURES



KEY PLAN



DIVISION ST.

DRAWING TITLE UTILITY DETAILS

SCALE: AS NOTED

SCALE

PROJECT NUMBER

10257.001

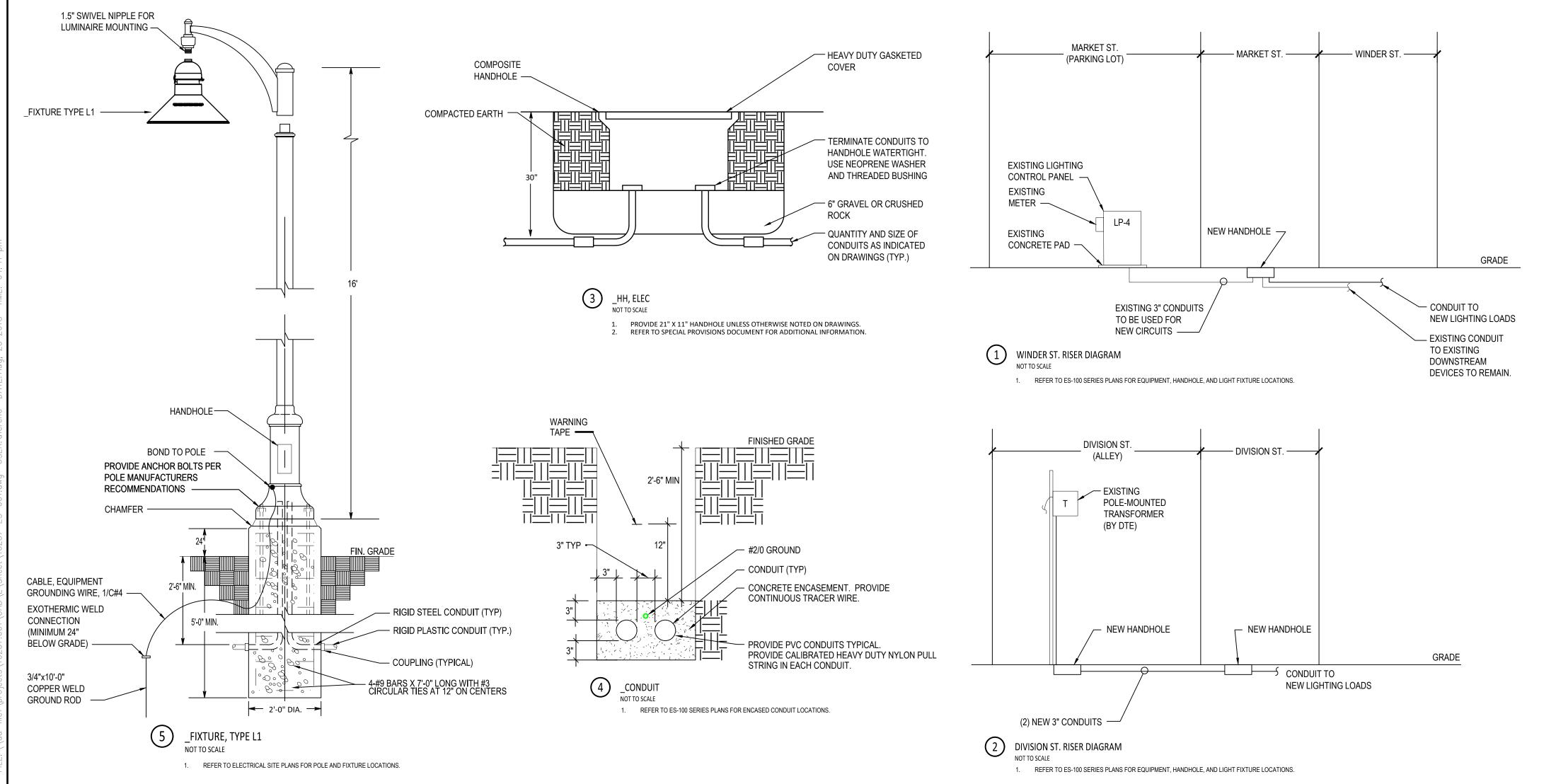
CU-501

ABBREVIATIONS

A		<u>E</u>				R	
A	AMPERE	EA	EACH	J-BOX	JUNCTION BOX	RECEPT	RECEPTACLE
AC	ABOVE COUNTER	EDF	ELECTRIC DRINKING FOUNTAIN			REQ	REQUIRED
AFF	ABOVE FINISHED FLOOR	ELEC	ELECTRICAL	К			
AL	ALUMINUM	ELEV	ELEVATION	KV	KILOVOLT	S	
ALM	ALARM	EMER	EMERGENCY	KVA	KILOVOLT AMPERE	SCHED	SCHEDULE
AMM	AMMETER	EQ	EQUAL	KW	KILOWATT	SD	SMOKE DETECTOR
ARF	ABOVE RAISED FLOOR	EQUIP	EQUIPMENT	кун	KILOWATT HOUR	SECT	SECTION
ATS	AUTOMATIC TRANSFER SWITCH	ER	EXISTING TO RELOCATE		REGWATTHOOR	SPEC	SPECIFICATION
			ELECTRIC REHEAT COIL				
AUTO		ERC				SPKLR	SPRINKLER
AWG	AMERICAN WIRE GAUGE	EW	EACH WAY	LTG	LIGHTING	SPKR	SPEAKER
		EWC	ELECTRIC WATER COOLER			SV	SOLENOID VALVE
В		_ E	EXISTING	Μ		SW	SWITCH
BG	BREAK GLASS	EXT	EXTERIOR	MAX	MAXIMUM	SWBD	SWITCHBOARD
BIL	BASIC IMPULSE LEVEL			MC	MOTOR CONTROLLER	SYM	SYMMETRICAL
BLDG	BUILDING	F		MCB	MAIN CIRCUIT BREAKER	SYS	SYSTEM(S)
		FA	FIRE ALARM	 MCC	MOTOR CONTROL CENTER		
С		FAP	FIRE ALARM PANEL	MECH	MECHANICAL	т	
C	CONDUIT	– FCU	FAN COIL UNIT	MH	MANHOLE	ТВ	TROUBLE BELL
САВ	CABINET	FDR	FEEDER	MIC	MICROPHONE	TBB	TELEPHONE BACKBOARD
CAT	CATEGORY	FDS	FUSED DISCONNECT SWITCH	MIN	MINIMUM	TEL	TELEPHONE
CB		FIXT	FIXTURE	MTD	MOUNTED	TEMP	TEMPERATURE
CCTV	CLOSED CIRCUIT TELEVISION	FLEX	FLEXIBLE	MTG	MOUNTING	THERM	THERMOSTAT
СКТ	CIRCUIT BREAKER	FLUOR	FLUORESCENT			TS	TAMPER SWITCH
CL	CENTERLINE	FT	FEET OR FOOT	N		TV	TELEVISION
CLG	CEILING			Ν	NEUTRAL	TYP	TYPICAL
CM	CEILING MOUNTED	G		NC	NORMALLY CLOSED		
CNTL	CONTROL	GND/GRD	GROUND	NIC	NOT IN CONTRACT	U	
COMM	COMMUNICATION	GEN	GENERATOR	NO	NORMALLY OPEN	U.N.O.	UNLESS NOTED OTHERWIS
CONT	CONTINUATION	GFCI	GROUND FAULT CIRCUIT	NTS	NOT TO SCALE	UFD	UNDERFLOOR DUCT
СТ	CURRENT TRANSFORMER		INTERRUPTER			UH	UNIT HEATER
CU	COPPER	Н	-	0		UNF	UNFUSED
CUH	CABINET UNIT HEATER	НН	HANDHOLE	<u>_</u>	ON CENTER		0111 0020
com	CADINET ON THEATER	HID	HIGH INTENSITY DISCHARGE	OD	OUTSIDE DIAMETER	V	
D				OD	OUTSIDE DIAMETER	V	VOLT OR VOLTAGE
D	DECIDEL	_ HP	HORSE POWER	D O			
DB	DECIBEL	HV	HIGH VOLTAGE	<u>P,Q</u>	2015	VA	VOLT AMPERE
DE	DOUBLE ENDED SUBSTATION	HZ	HERTZ	P	POLE	VM	VOLTMETER
DEG	DEGREE			PB	PULL BOX	VP	VAPORPROOF
DEG C	DEGREE CELSIUS	<u> </u>		_ PH	PHASE		
DEG F	DEGREE FAHRENHEIT	IC	INTERRUPTING CAPACITY	PJ	PROJECTOR	W	
DIA	DIAMETER	ID	INSIDE DIAMETER	PLA	PUBLIC LIGHTING AUTHORITY	W	WATT
DISC	DISCONNECT	IG	ISOLATED GROUND	PNL	PANEL	WP	WEATHERPROOF
DIV	DIVISION	INC	INCANDESCENT	PS	PRESSURE SWITCH	WT	WATER TIGHT
DP	DISTRIBUTION PANELBOARD	INST	INSTRUMENT	PT	POTENTIAL TRANSFORMER		
DT	DUST TIGHT			PWR	POWER	X,Y,Z	
DWG	DRAWING				TOWER	XFMR	TRANSFORMER
000	DRAWING						
						XP	EXPLOSION PROOF

LIGHTING FIXTURE SCHEDULE

TYI	PE DESCRIF	RIPTION	PAY ITEM NUMBER	MANUFACTURER/ CATALOG NUMBER	VOLTS	MOUNTING	LAMPS QUANTITY/TYPE	REMARKS
< <u>[</u>	¹∕ PEDES	O STYLED CAST ALUMINUM ROCKFORD HARBOR POLE MOUNTED ESTRIAN LIGHT WITH LED FLAT GLASS OPTICAL ASSEMBLY; TYPE V METRIC FULL CUTOFF; HALLBROOK EXTENDED COVER STYLE	_FIXTURE, TYPE L1	HOLOPHANE EXTENDED HALLBROOK LED	208V	POLE	P50 LED PACKAGE 112 WATTS	16 FOOT MOUNTING HEIGHT; POLES HAVE THE CAPACITY OF ADDING BANNERS IN THE FUTURE)
								DETAILS AND D



PA	NELBC	ARD:	EXISTING LP-4		AIC:	10,000		
	VOLT	FAGE:	208Y/120V, 3 PHASE, 4 WIRE + G	//120V, 3 PHASE, 4 WIRE + G IG BUS:				
			100 MCB	NEUTR	AL BUS:	100%		
	٦	TYPE:	NEMA 3R	TVSS EQU	JIPPED:	NO		
Circ	Brea	aker				Со	nnected W	atts
No	Pole	Trip	Load Description	Load Location N	otes	Phase A	Phase B	Phase C
1	2	20	EXISTING TRAFFIC SIGNAL (RUSSE		י םח עם			
3	2	20						
5	2	20	NEW LED LIGHTING - WINDER ST					263
7				-		263		
9	2	20	EXISTING LED LIGHTING				368	
11 13						525		368
15	2	20	EXISTING LED LIGHTING			525	525	
17							525	420
19	2	20	EXISTING LED LIGHTING			420		
21	2	20	EXISTING LED LIGHTING				473	
23	2	20	EXISTING LED LIGHTING					473
2	2	20	NEW LED LIGHTING - WINDER ST			263		
4	-	_		•			263	
6	1		EXISTING CABINET RECEPTACLE					180
8	1	20	CONTROL					
10	2	20	EXISTING LED LIGHTING				263	
12 14						263		263
16	2	20	EXISTING LED LIGHTING			203	263	
18							200	105
20	2	20	EXISTING LED LIGHTING			105		
22		20					210	
24	2	20	EXISTING LED LIGHTING					210

SCHEDULES

GENERAL NOTES

- THE DRAWINGS REPRESENT ELECTRICAL DESIGN INTENT AND ARE SCHEMATIC AND DIAGRAMMATICAL. THE SPECIFICATIONS ESTABLISH MINIMUM PERFORMANCE AND PRODUCT INSTALLATION REQUIREMENTS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PRODUCTS AND INSTALLATION METHODS CONSISTENT WITH THE DESIGN INTENT AND ALL LOCAL CODES AND REGULATIONS NECESSARY FOR COMPLETE AND OPERATIONAL ELECTRICAL SYSTEMS.
- INSTALL ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LOCAL CODES AND CITY OF DETROIT ORDINANCES, IN A NEAT AND WORKMANLIKE MANNER.
- THE EXISTING CONDITIONS SHOWN ON PLANS ARE FROM THE BEST AVAILABLE INFORMATION AND NOT DEEMED COMPLETELY ACCURATE. FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM FIELD INVESTIGATIONS AND/OR RESEARCH AND TO INCORPORATE INTO BID ALL NECESSARY COSTS TO COMPLETE THE WORK. NEITHER EXTRA PAYMENTS NOR ADJUSTMENTS TO UNIT PRICES WILL BE MADE IN EXCESS OF THE BID PRICE FOR ADDITIONAL CLAIMS.
- IDENTIFY ALL EXISTING UNDERGROUND UTILITIES AND COORDINATE NEW ELECTRICAL WORK WITH ALL LOCAL UTILITIES AND TRADES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE TO AVOID INTERFERENCE WITH (AND DAMAGE TO) EXISTING UNDERGROUND UTILITIES. CALL MISS DIG BEFORE COMMENCING CONSTRUCTION.
- ESTABLISH AND PERFORM A DETAILED SCHEDULE OF WORK AS SOON AS POSSIBLE AFTER AWARD OF CONTRACT. PREPARE SCHEDULE IN CONJUNCTION WITH OWNER REPRESENTATIVE AND UTILITY COMPANY REPRESENTATIVE. COORDINATE ANY SHUTDOWNS WITH CITY REPRESENTATIVE TWO WEEKS IN ADVANCE OF SCHEDULED SHUTDOWN. INTERFERENCE OF ELECTRICAL SERVICE SHALL NOT BE ALLOWED WITHOUT WRITTEN PERMISSION FROM THE OWNER.
- PERFORM THE COMPLETE TESTING FOR THE SATISFACTORY OPERATION OF ALL LIGHTING, POWER AND CONTROL SYSTEMS WITH REFERENCE TO INDUSTRY STANDARD PRACTICES AND MANUFACTURER RECOMMENDATIONS.
- . ALL CIRCUITS SHALL BE RUN WITH AN INSULATED GROUND WIRE.
- . SPLICES SHALL BE MADE IN POLE BASES OR HANDHOLES AND SHALL BE ACCESSIBLE. SPLICES SHALL BE WATERTIGHT. ALL UNDERGROUND CABLES AND CONDUITS SHALL BE DETECTABLE.
- QUANTITY AND LOCATION OF DEVICES SHOWN ON PLANS ARE APPROXIMATE. FIELD VERIFY DEVICES AND LOCATIONS PRIOR TO BID AND CONSTRUCTION.
- PROTECT EXISTING-TO-REMAIN ITEMS DURING CONSTRUCTION, AS INDICATED. INSTALL AND MAINTAIN BARRIERS TO PROTECT ITEMS, AS REQUIRED. REMOVE BARRIERS AFTER DEMOLITION AND/OR CONSTRUCTION IS COMPLETE.
- EXAMINE THE DRAWINGS OF OTHER TRADES TO BECOME FAMILIAR WITH THE DEMOLITION WORK REQUIRED BY OTHER TRADES. PERFORM INCIDENTAL ELECTRICAL DEMOLITION WORK AND/OR RELOCATION REQUIRED TO FACILITATE THE DEMOLITION WORK OF OTHER TRADES, WHETHER OR NOT SPECIFICALLY INDICATED.
- PROVIDE NEW TYPED DIRECTORIES FOR ANY AND ALL PANELBOARDS AFFECTED BY THIS PROJECT

ELECTRICAL SPECIFICATIONS

1. GENERAL NOTES

- 1. FURNISH MATERIALS, EQUIPMENT, LABOR AND SERVICES REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK AS REQUIRED TO PROVIDE A COMPLETE AND OPERABLE ELECTRICAL SYSTEM AS INDICATED BY DRAWINGS.
- PROVIDE INCIDENTAL ITEMS NOT INDICATED ON DRAWINGS, NOR MENTIONED IN THE SPECIFICATIONS THAT CAN LEGITIMATELY AND REASONABLY BE INFERRED TO BELONG TO THE WORK DESCRIBED OR BE NECESSARY IN GOOD PRACTICE TO PROVIDE A COMPLETE SYSTEM.
- COMPLY WITH THE LATEST ACTIVE OR ADOPTED EDITIONS OF THE NATIONAL ELECTRICAL CODES, STATE, CITY AND LOCAL ELECTRICAL CODES, WHERE CONFLICTS OCCUR, APPLY THE MORE STRINGENT OF THE CODE ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- 4. COMPLY WITH APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, CODES OR RULING OF GOVERNMENTAL UNITS HAVING JURISDICTION, AS WELL AS STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION.
- COORDINATE, SCHEDULE AND SEQUENCE ELECTRICAL WORK WITH OTHER TRADES, DOCUMENT SCHEDULE REQUIREMENTS AND COORDINATE EFFORTS.
- SUBMIT SHOP DRAWINGS, CATALOGS, DATA SHEETS OR ANY OTHER DESCRIPTIVE LITERATURE NECESSARY TO CONVEY INFORMATION FOR ENGINEERING REVIEW FOR THE FOLLOWING ITEMS OF ELECTRICAL WORK: LIGHT FIXTURES, POLES, AND FOUNDATIONS.

2. BASIC ELECTRICAL MATERIAL AND METHODS

- 1. THE DRAWINGS INDICATE THE APPROXIMATE LOCATIONS OF ROUGH-INS. COORDINATE WITH THE RESPECTIVE TRADES BEFORE PROGRESSING WITH ANY WORK. COMPLETE THE INSTALLATION IN A NEAT AND SKILLFUL MANNER.
- DRAWINGS ARE DIAGRAMMATIC AND MANY OFFSETS, BENDS, PULL BOXES, SPECIAL FITTINGS ETC. WHICH ARE REQUIRED ARE NOT INDICATED. CAREFULLY STUDY DRAWINGS AND PREMISES IN ORDER TO DETERMINE THE BEST METHODS, EXACT LOCATIONS, BUILDING OBSTRUCTIONS, ETC., TO INSTALL APPARATUS AND EQUIPMENT. INSTALL IN MANNER AND LOCATIONS TO AVOID OBSTRUCTIONS.
- GUARANTEE MATERIAL, EQUIPMENT AND WORKMANSHIP IN WIRING TO BE FREE FROM DEFECTS OF MATERIAL AND WORKMANSHIP FOR NOT LESS THAN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE

3. GROUNDING

- ELECTRICALLY GROUND METALLIC CABINETS, BOXES, AND ENCLOSURES. PROVIDE A GROUNDING
- TERMINAL IN THE INTERIOR OF CABINETS, BOXES AND ENCLOSURES. COMPLY WITH NEC ARTICLE 250 FOR SIZES AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, UON. INSTALL SEPARATE INSULATED EQUIPMENT GROUNDING CONDUCTOR WITH CIRCUIT
- CONDUCTORS. BOND CONDUITS, WIREWAY, SURFACE RACEWAYS, BOXES, AND ENCLOSURES TOGETHER. PROVIDE BONDING BUSHINGS AND BONDING JUMPERS TO BOND CONDUITS WHERE THEY ENTER A BOX AND ENCLOSURE.

4. WIRE AND CABLE

- PROVIDE ANNEALED SOFT-DRAWN COPPER, 600 VOLT INSULATED WIRE AND CABLE FOR SECONDARY POWER, UL LISTED FOR THE REQUIRED INSTALLATION.
- PROVIDE TYPE XHHW, 90°C. DRY FOR WIRE.
- PROVIDE STRANDED COPPER WIRE. SIZE PER NEC.
- PROVIDE COMPRESSION SOLDERLESS TYPE CONNECTIONS/LUGS, COPPER. INSTALL A SEPARATE NEUTRAL CONDUCTOR WITH EACH CIRCUIT, SIZE NEUTRAL CONDUCTOR THE
- SAME AS THE CIRCUIT PHASE CONDUCTORS. PROVIDE SEPARATE INSULATED GROUND CABLES FOR EACH CIRCUIT
- INSTALL ELECTRICAL CABLES, WIRES, AND CONNECTORS IN COMPLIANCE WITH NEC. COORDINATE CABLE INSTALLATION WITH OTHER WORK. IDENTIFY THE CONDUCTORS WITH THE FOLLOWING COLORS:
- COLOR CODE CONDUCTORS WITH FACTORY APPLIED COLOR OR WITH 1/2" VINYL TAPE AT BOTH TERMINATIONS OF EACH CONDUCTOR PER THE NEC.

PHASE	208/120
1(A)	BLACK
2(B)	RED
NEUTRAL	WHITE
GROUND	GREEN

- PROVIDE ADHESIVE PLASTIC TYPE MARKERS FOR CABLES NO. 10 AWG AND SMALLER. - IDENTIFY CONDUCTORS AT THEIR END POINTS WITH WIRE NUMBERS, IF APPLICABLE.

9. MANUFACTURERS: A-AMERICAN INSULATED WIRECORP **B-ENCORE** C-SOUTHWIRE

5. CONDUIT

- PROVIDE THE FOLLOWING TYPES OF CONDUIT AND RACEWAY IN THE RESPECTIVE LOCATIONS:
- PVC SCHEDULE 40, UNLESS OTHERWISE NOTED. BURY CONDUIT MINIMUM 30 INCHES BELOW GRADE.
- 4. MANUFACTURERS:
- A- ALLIED TUBE AND CONDUIT CORP B- AFC CABLE SYSTEMS, INC

C- MIDWEST ELECTRIC PRODUCTS CO. D- WHEATLAND TUBE CO.

EASTERN MARKET SxSE

STREETSCAPE WINDER STREET **ORLEANS STREET DIVISION STREET**

Owner: **CITY OF DETROIT** EASTERN MARKET CORPORATION

SMITHGROUP JJR

500 GRISWOLD STREET SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com



SSUED FOR

REV DATE

0 31 JUL 18

WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 上

CONSTRUCTION DOCUMENTS

SEALS AND SIGNATURES







DRAWING TITLE

ELECTRICAL ABBREVIATIONS, SCHEDULES, AND DETAILS SCALE: AS NOTED

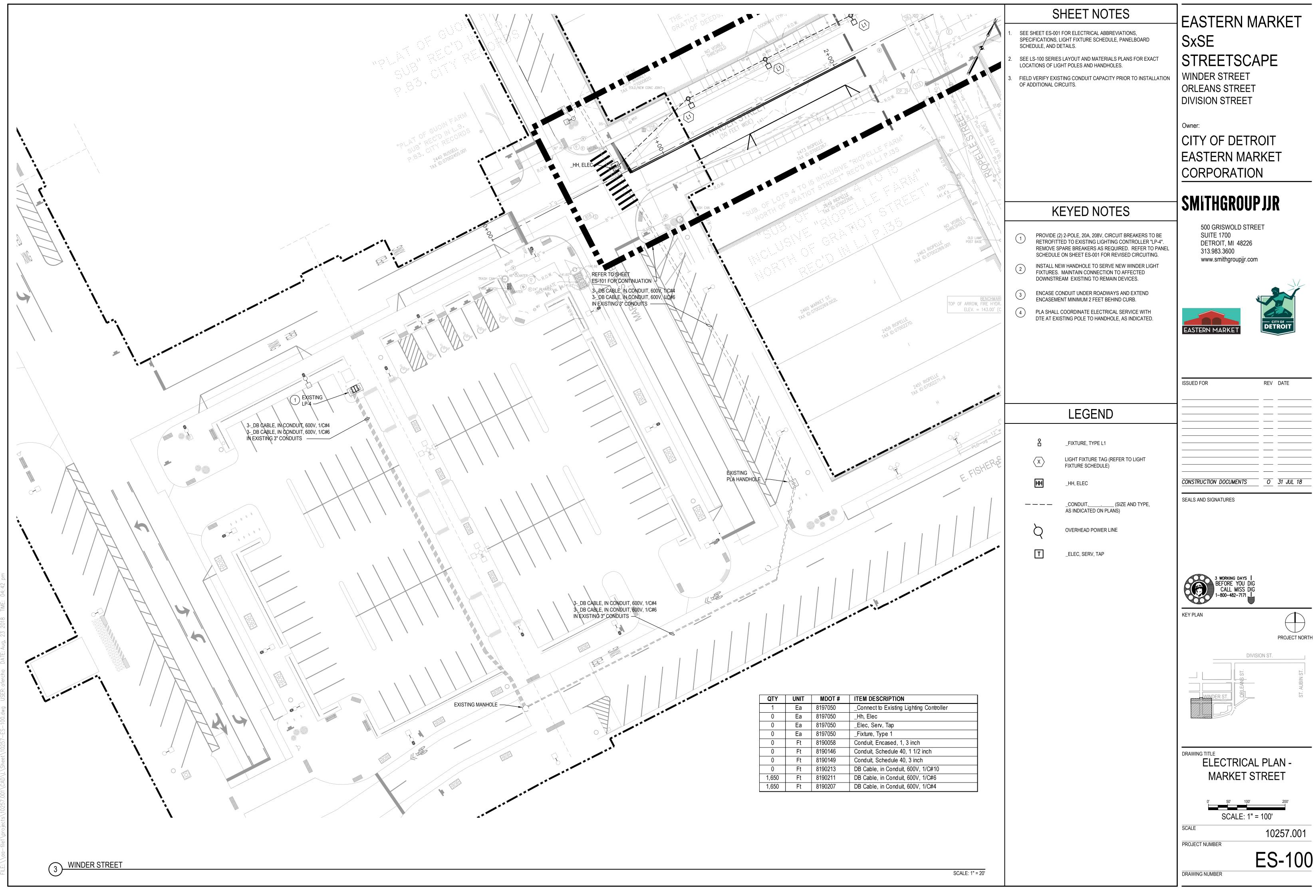
SCALE

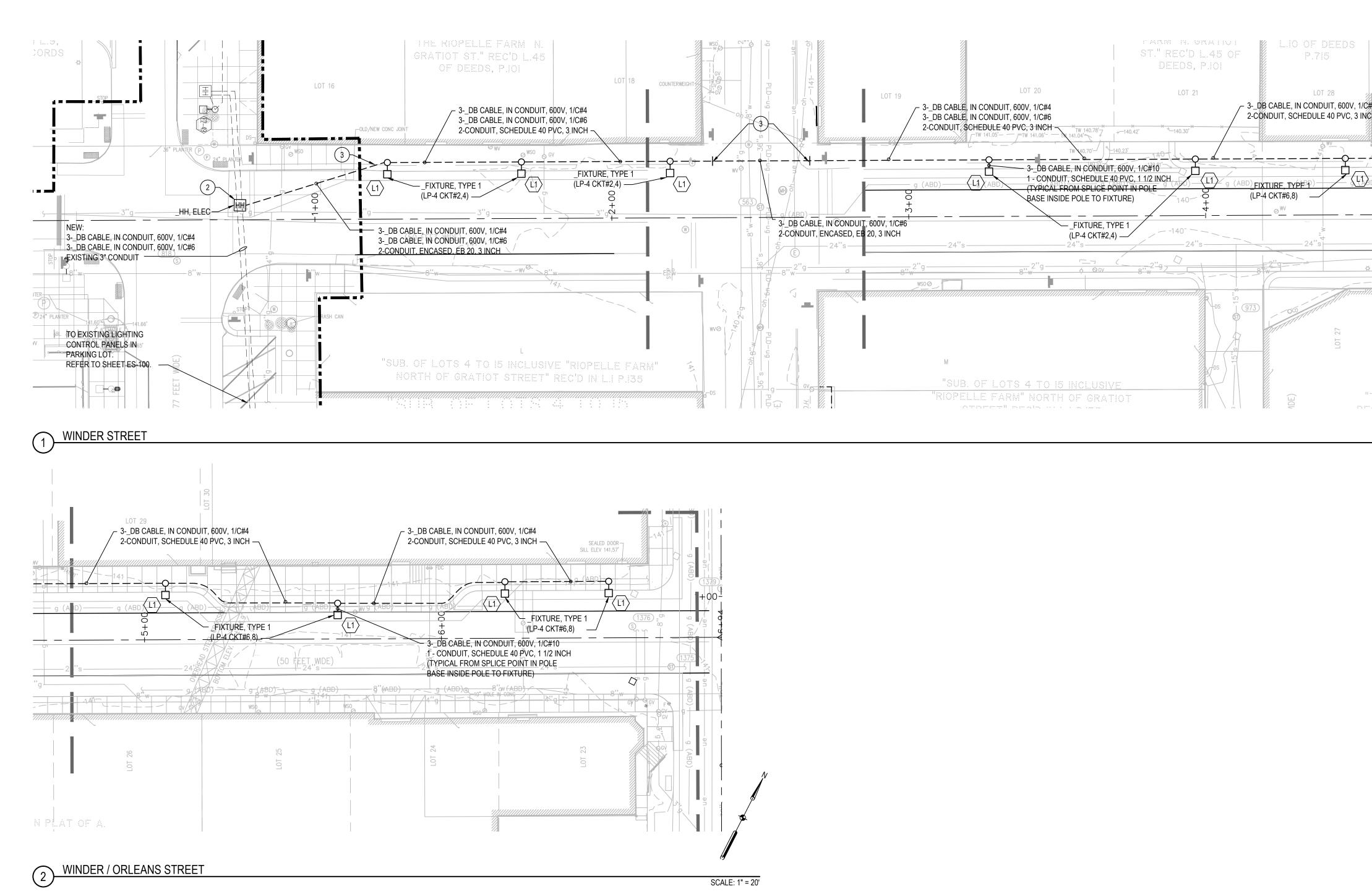
10257.001

ES-001

DRAWING NUMBER

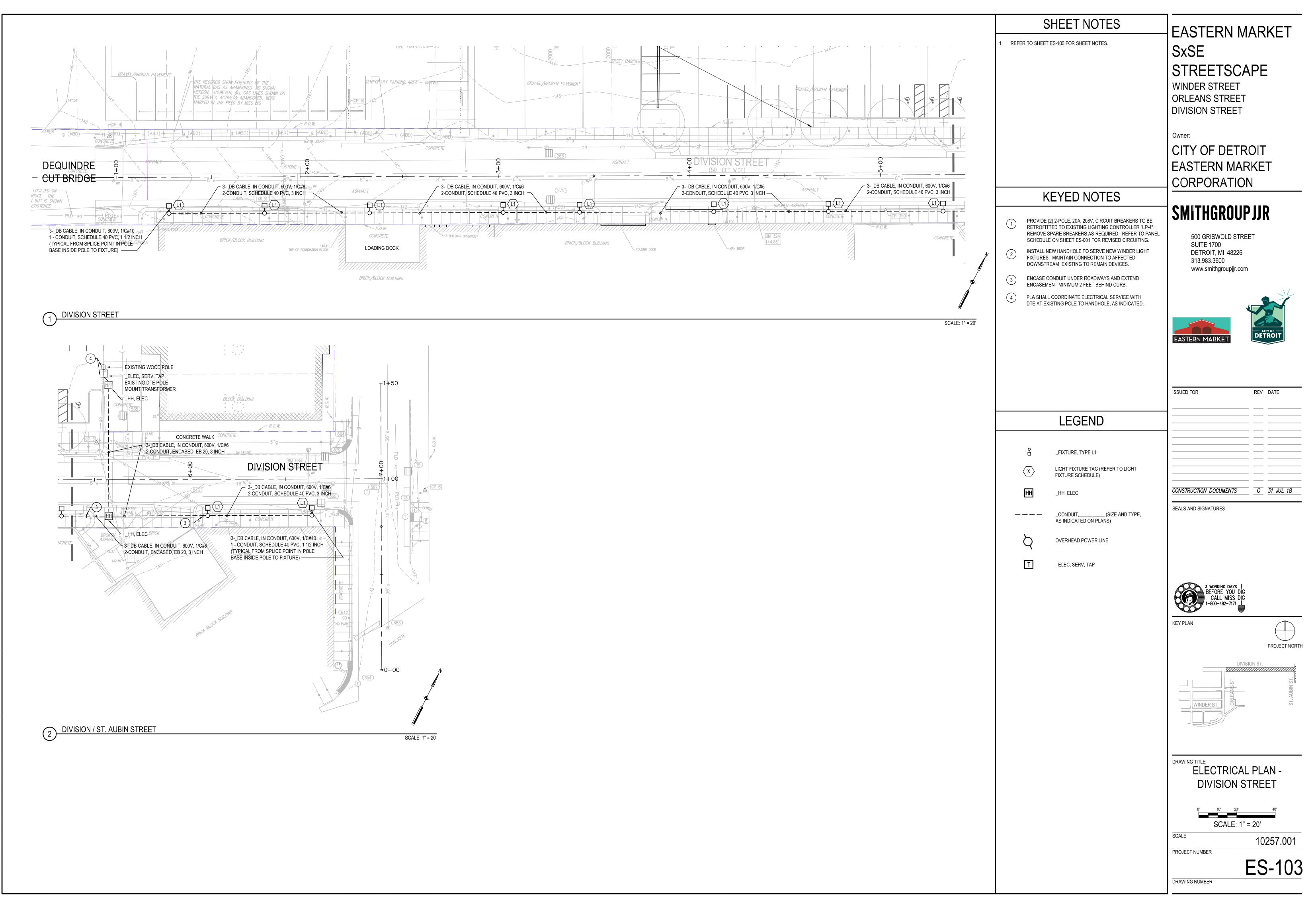
PROJECT NUMBER



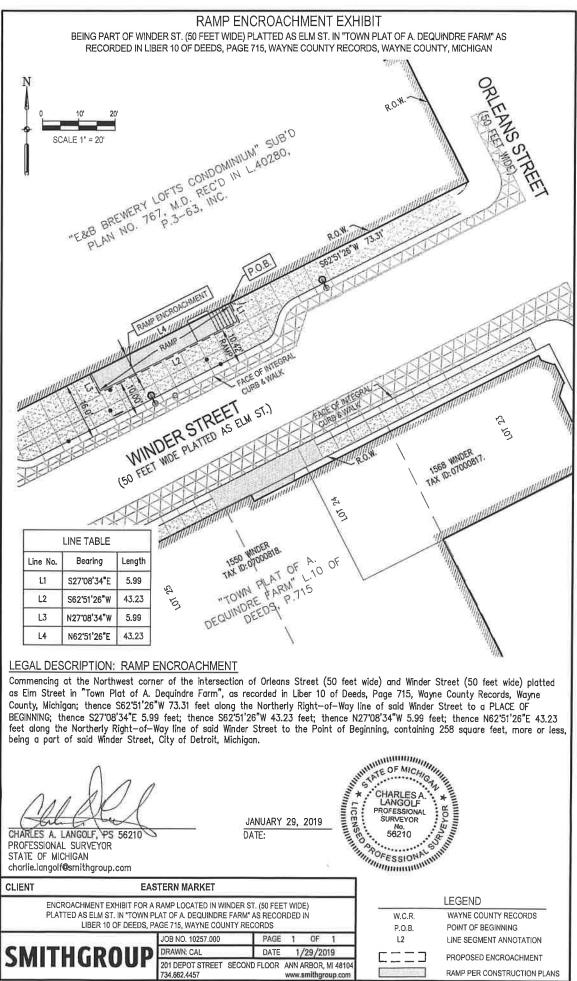


QTY	UNIT	MDOT #	ITEM DESCRIPTION
0	Ea	8197050	_Connect to Existing Lighting C
1	Ea	8197050	_Hh, Elec
0	Ea	8197050	_Elec, Serv, Tap
10	Ea	8197050	_Fixture, Type 1
90	Ft	8190058	Conduit, Encased, 1, 3 inch
100	Ft	8190146	Conduit, Schedule 40, 1 1/2 inc
1,100	Ft	8190149	Conduit, Schedule 40, 3 inch
600	Ft	8190213	DB Cable, in Conduit, 600V, 1/0
795	Ft	8190211	DB Cable, in Conduit, 600V, 1/0
1,680	Ft	8190207	DB Cable, in Conduit, 600V, 1/0

SUBJECT: SECTIONAL DECISION LIPPIDE CONTROL SECTION LIPPIDE CONTROL SECTION LIPPIDE CONTROL SECTION CONTR		SHEET NOTES	
		1. REFER TO SHEET ES-100 FOR SHEET NOTES.	SxSE STREETSCAPE WINDER STREET ORLEANS STREET
	2,		CITY OF DETROIT EASTERN MARKET
		KEYED NOTES	SMITHGROUP JJR
	TOWN PLAT	 PROVIDE (2) 2-POLE, 20A, 208V, CIRCUIT BREAKERS TO BE RETROFITTED TO EXISTING LIGHTING CONTROLLER "LP-4". REMOVE SPARE BREAKERS AS REQUIRED. REFER TO PANEL SCHEDULE ON SHEET ES-001 FOR REVISED CIRCUITING. INSTALL NEW HANDHOLE TO SERVE NEW WINDER LIGHT FIXTURES. MAINTAIN CONNECTION TO AFFECTED DOWNSTREAM EXISTING TO REMAIN DEVICES. ENCASE CONDUIT UNDER ROADWAYS AND EXTEND ENCASEMENT MINIMUM 2 FEET BEHIND CURB. PLA SHALL COORDINATE ELECTRICAL SERVICE WITH 	SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroupjjr.com
		LEGEND	
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conduit (SIZE AND TYPE, AS) SEALS AND SIGNATURES Conducted of PLANS; Conducted of PLAN; Conducted of PLANS; Conducted of PLANS; Conducted of PLAN; Conducted			
		HH _HH, ELEC	CONSTRUCTION DOCUMENTS 0 31 JUL 18
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ontoller h 2#10 2#6 2#4 b Collect NUMBER DV/SION ST DV/SION ST DV/SIO			BEFORE YOU DIG CALL MISS DIG
ontoller h #10 #6 #4 DRAWING TITLE DRAWING TITLE ELECTRICAL PLAN - WINDER STREET SCALE: 1" = 20' SCALE: 10257.001 PROJECT NUMBER ESS-101			KEY PLAN
ontroller h 2#10 2#6 2#4 DRAWING TITLE ELECTRICAL PLAN - WINDER STREET U SCALE: 1" = 20' SCALE: 1" = 20'			
ELECTRICAL PLAN - WINDER STREET			
ELECTRICAL PLAN - WINDER STREET	ontrollor		
C#10 C#10 C#10 C#10 SCALE: 1" = 20' SCALE: 1" = 20' ES-101			ELECTRICAL PLAN -
PROJECT NUMBER ES-101	h C#10 C#6		SCALE: 1" = 20'
	C#4		10257.001
			DRAWING NUMBER



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