



City of Detroit  
Inter-Departmental Communication

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**TO:** Richard Doherty, City Engineer  
City Engineering/Department of Public Works

**FROM:** Debra Singleton, Engineer  
Detroit Water and Sewerage Department

**DATE:** July 2, 2018

**RE:** Petition No. 151  
Requested Encroachment Into Newport at 5503, 5511 And 5517 Newport. (With  
Concrete Curb Inlet, Trench Drain Cobble Spillway, Concrete Curbs and  
Concrete Sidewalks)

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We have reviewed the above Petition received by this office. Our records indicate there are water mains and sewers in the area of encroachment. With regard to DWSD's interests, our comments are as follows:

- DWSD has no objections to the requested encroachment provided that the attached Provisions for Encroachment are strictly followed.

If you have any questions, please call me at (313) 267-8309 or Mohammed Fa Siddique at (313)-964-9245.

Sincerely,



Debra Singleton  
Engineer  
Permits

DS/MS/gl

Attachments

CC: Mohamad Farhat, CSF

Michael Duggan, Mayor

City of Detroit  
**City Engineering Division, Department of Public Works  
Survey Bureau**

**NOTICE OF PROPOSED CHANGE IN PROPERTY**

Date: 04/18/2018

Petition: x151

- |  |  |
|--|--|
| <input type="checkbox"/> AT&T Telecommunication            | <input type="checkbox"/> Berm Use                |
| <input type="checkbox"/> Comcast Television (CATV)         | <input type="checkbox"/> Conversion to Easement  |
| <input type="checkbox"/> Detroit Edison (DTE)              | <input type="checkbox"/> Dedication              |
| <input type="checkbox"/> Fire Department                   | <input checked="" type="checkbox"/> Encroachment |
| <input type="checkbox"/> Great Lakes Water Authority       | <input type="checkbox"/> Outright Vacation       |
| <input type="checkbox"/> Land Bank Authority               | <input type="checkbox"/> Temporary Closing       |
| <input type="checkbox"/> Michcon (DTE)                     |  |
| <input type="checkbox"/> Planning & Development Department |  |
| <input type="checkbox"/> Public Lighting Authority         |  |
| <input type="checkbox"/> Public Lighting Department        |  |
| <input type="checkbox"/> Police Department                 |  |
| <input type="checkbox"/> Solid Waste Division, DPW         |  |
| <input type="checkbox"/> Street Design Bureau, DPW         |  |
| <input type="checkbox"/> Street Maintenance Division, DPW  |  |
| <input type="checkbox"/> Traffic Engineering Division, DPW |  |
| <input type="checkbox"/> Water and Sewerage Department     |  |
| <input type="checkbox"/> _____                             |  |

A petition drawing is attached. Property shown on the attached print is proposed to be changed as indicated. Kindly report (using the back of this sheet) the nature of your services, if any affected by the proposed change and the estimated costs of removing and rerouting such services (if necessary).

Please return one copy to City Engineering Division, DPW within two weeks of the submittal date. Retain one copy and print for you file.

Ron Brundidge, Director, Department of Public Works

By: Richard Doherty, CED DPW  
City Engineer

**TO: City Engineering Division, DPW  
2 Woodward Ave., Suite 642  
Detroit, Michigan 48226-3462  
Survey Bureau: 313-224-3970**

**Petition:     x151**

The proposed change in property (referred to on the other side of this sheet) would affect our services as follows:

- Not Involved
  
- Involved; but asking you to hold action on this petition until further notice.
  
- Involved; but no objections to the property change.
  
- Involved; objection to the property change.
  
- Involved; but no objections to the property change...provided as easement of the full width of the public right-of-way (street, alley or other public place) is reserved.
  
- Involved; the nature of our services and the estimated costs of removing and/or rerouting such services are:

\_\_\_\_\_  
(Utility or City Department)

\_\_\_\_\_  
By

\_\_\_\_\_  
Title

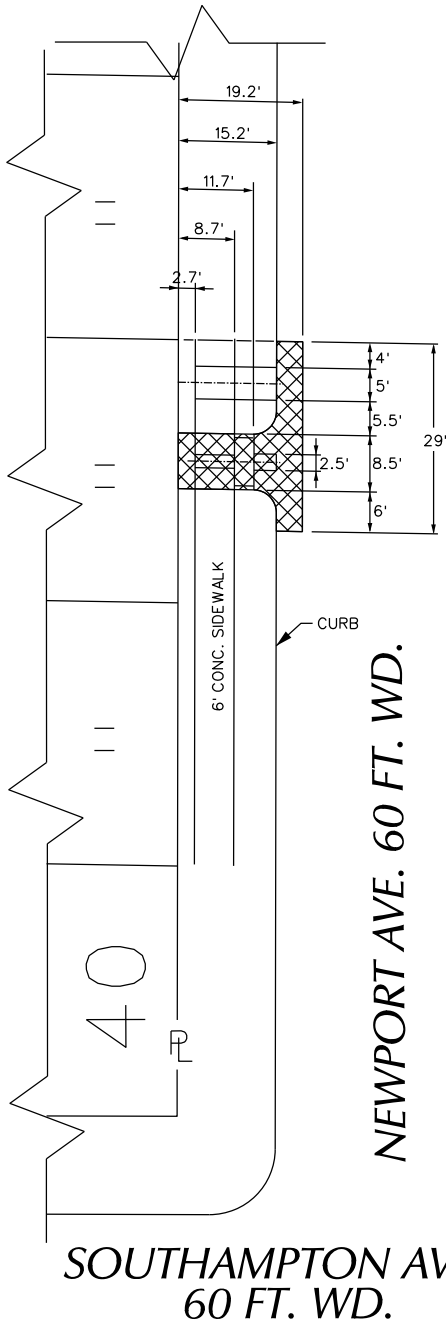
\_\_\_\_\_  
Date

\_\_\_\_\_  
Area code – Telephone number

PETITION NO. 151  
 EASTSIDE COMMUNITY NETWORK  
 4401 CONNER AVE.  
 DETROIT, MICHIGAN 48215  
 C/O LINDSEY NELSON  
 PHONE NO. 734 995-4194



CHANDLER PARK DR. 150 FT. WD.



EASTLAWN AVE. 100 FT. WD.

37.5	35	2	152.34	9	53	54
		3			40	39
		5			137	137
		7			107	41
		9	7			40
		11			43	
		13			45	
		15			47	
		17			49	
					50	40

P.C. 219      P.C. 321

NEWPORT AVE. 60 FT. WD.

SOUTHAMPTON AVE. 60 FT. WD.



- REQUEST ENCROACHMENT  
 (With Concrete Curb Inlet, Trench Drain  
 Cobble Spillway, Concrete Curbs and Concrete Sidewalks)  
 (FOR OFFICE USE ONLY)

CARTO 64 B

B					
A					
DESCRIPTION		DRWN	CHKD	APPD	DATE
REVISIONS					
DRAWN BY	WLW	CHECKED		KSM	
DATE	04-18-18	APPROVED			

REQUEST ENCROACHMENT  
 INTO NEWPORT  
 5503, 5511 AND 5517 NEWPORT AVE.  
 (With Concrete Curb Inlet, Trench Drain  
 Cobble Spillway, Concrete Curbs  
 and Concrete Sidewalks)

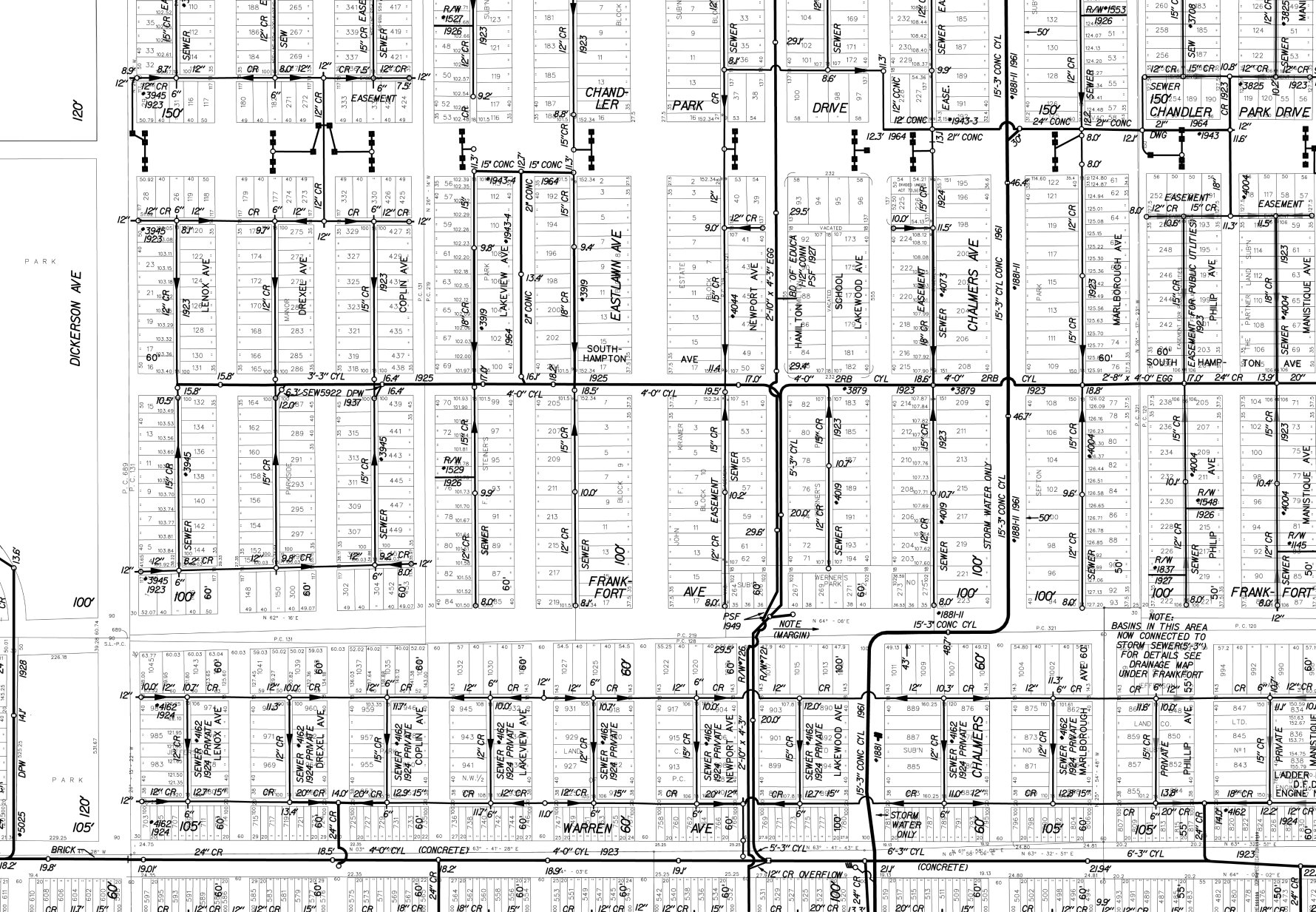
CITY OF DETROIT CITY ENGINEERING DEPARTMENT SURVEY BUREAU	
JOB NO.	01-01
DRWG. NO.	X 151

## **PROVISIONS FOR ENCROACHMENT For Petition 151**

Detroit Water and Sewerage (DWSD) agree to the proposed encroachment subject to the fulfilling of the following provisions:

1. By approval of this petition the (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing or inspection caused by the encroachment shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. DWSD requires a vertical clearance of 18 feet above grade for maintenance excess and repair.
3. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hours notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
4. Construction under this petition is subject to inspection and approval by DWSD forces. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
5. If DWSD facilities located within the right of way shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
6. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.





DICKERSON AVE

BRICK

CHANDLER

PARK

DRIVE

SOUTH HAMPTON

FRANKFORT

WARREN

NOTE:  
BASINS IN THIS AREA  
NOW CONNECTED TO  
STORM SEWERS-330  
FOR DETAILS SEE  
DRAINAGE MAP  
UNDER FRANKFORT

NOTE  
(MARGIN)

LAND CO. LTD.  
PHILLIP  
MANISTIQUE  
ENGINE

1923



## EASTSIDE COMMUNITY NETWORK

**Stronger, Together**

4401 Conner, Detroit, MI 48215 • 313.571.2800 • FAX 313.571.7510

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January 10, 2018

The Honorable City Council  
Attn: Office of the City Clerk  
200 Coleman A. Young Municipal Center  
Detroit, MI 48226

**RE: Petition Request for Eastside Community Network**

Dear the Honorable Detroit City Council,

Eastside Community Network (ECN) is seeking approval to place a concrete curb inlet and trench drain in the right-of-way in front of the following properties: 5503, 5511, and 5517 Newport Street. These addresses represent three vacant parcels owned by ECN.

ECN has received a grant from the Kresge Foundation to build a stormwater park in the Chandler Park neighborhood to serve as a park/community gathering space and outdoor learning lab as well as to help manage stormwater in the neighborhood. The proposed park is located on corner lots across from Hamilton Academy, a K-8 school.

The concrete curb inlet and trench drain are proposed in the right-of-way to collect stormwater from Newport Street and divert it into two proposed rain gardens, which will be located within the property owned by ECN. In addition to rain gardens, the park provides community and school amenities such as interpretive signage, benches, picnic tables, and an outdoor classroom. The plans for the park, as well as a model of the proposed inlet and trench drain, are attached to this letter.

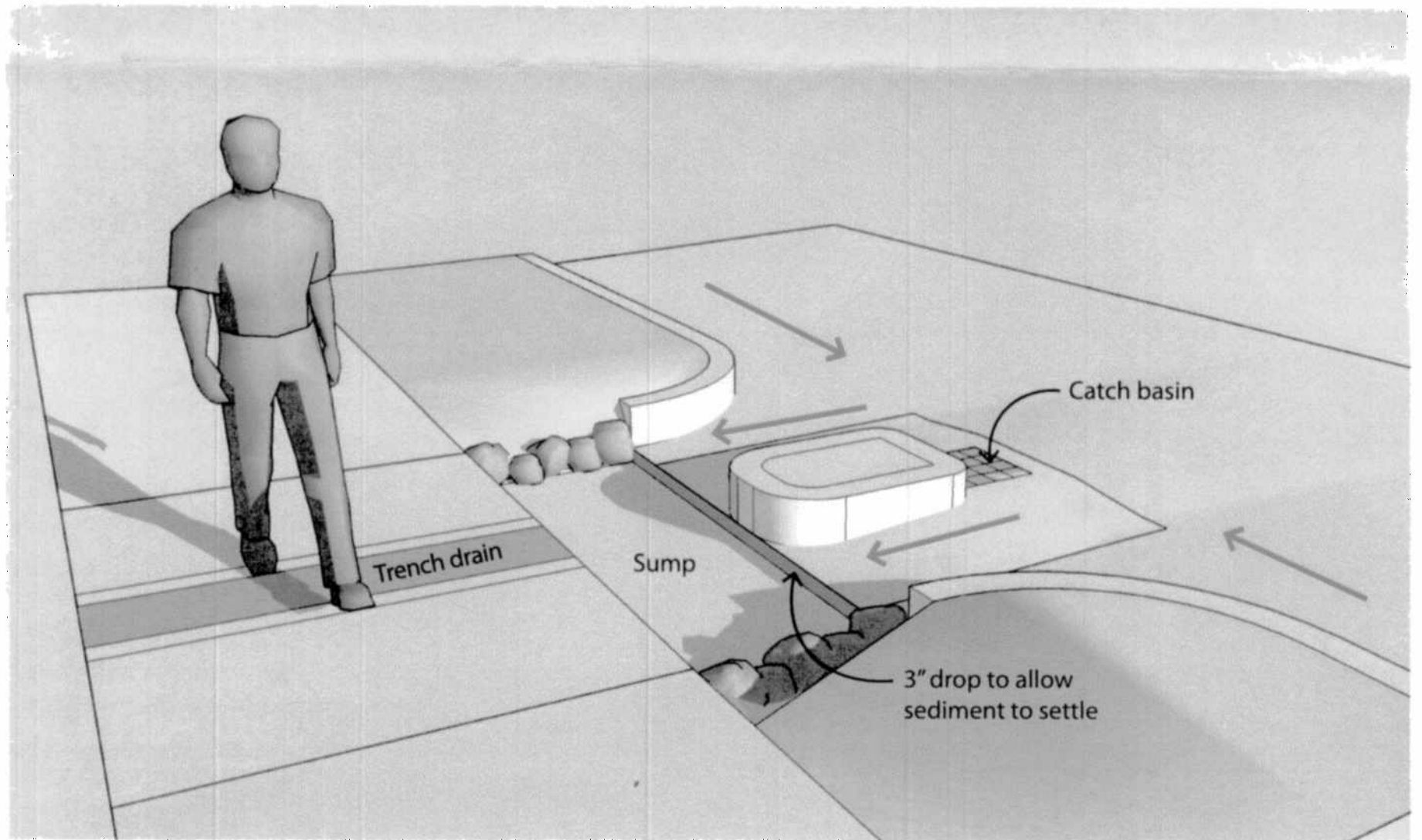
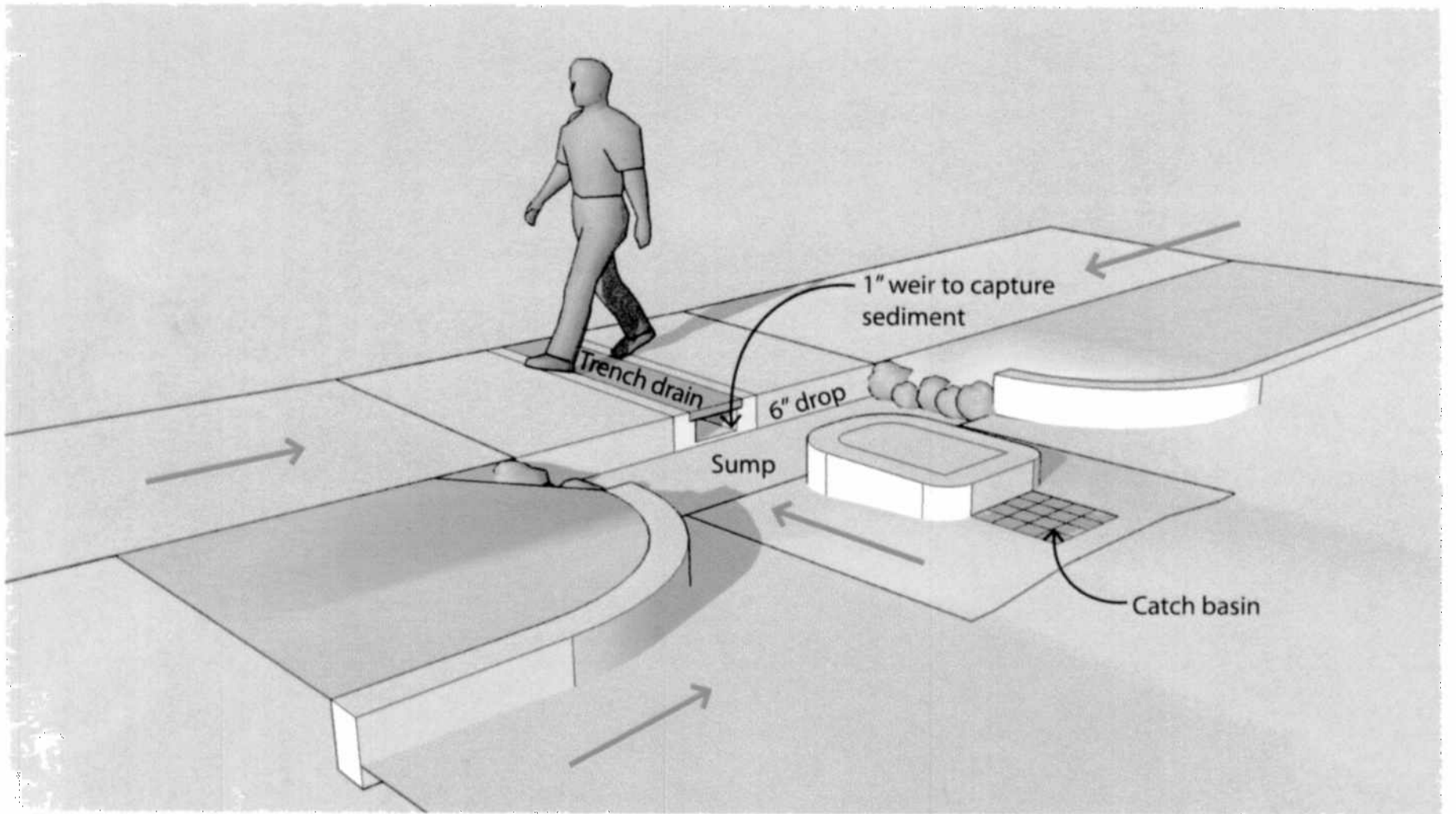
Construction for this project will occur in spring 2018. Included with this letter are two renderings of the site. We have hired InSite Design to assist with the planning and implementation of this project.

Sincerely,

Donna Givens  
President/CEO

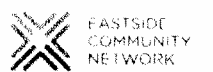
Attachments



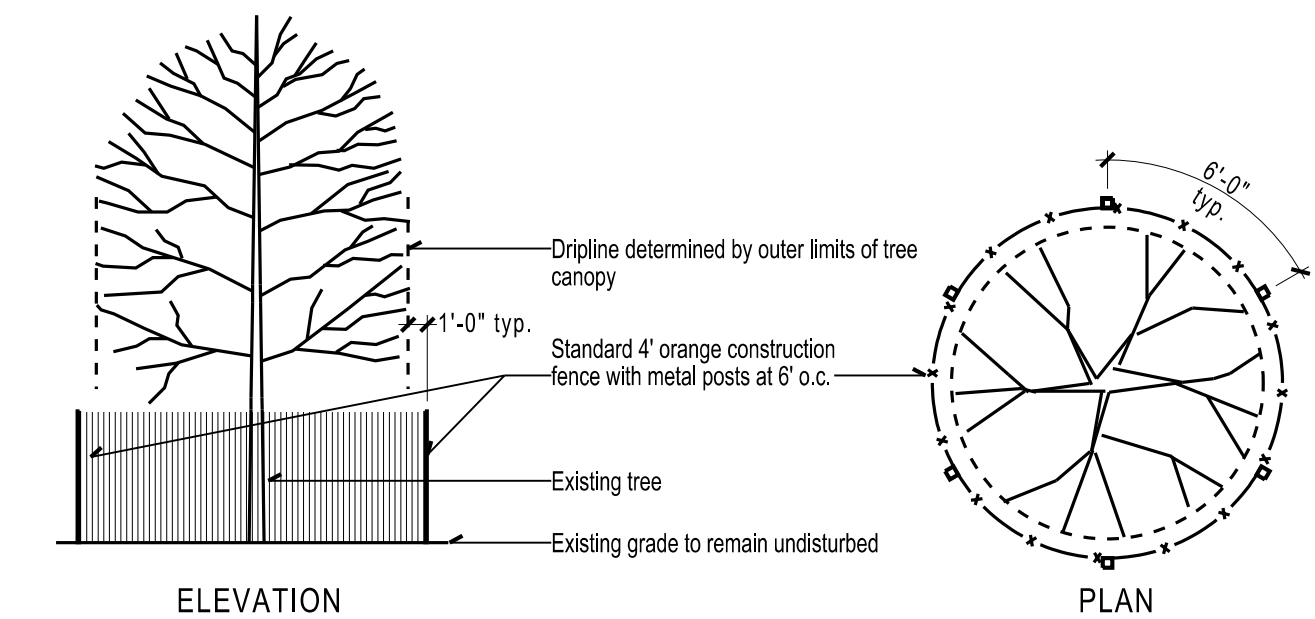


Hamilton Rain Garden Learning Lab  
**INLET MODEL**

September 15, 2017



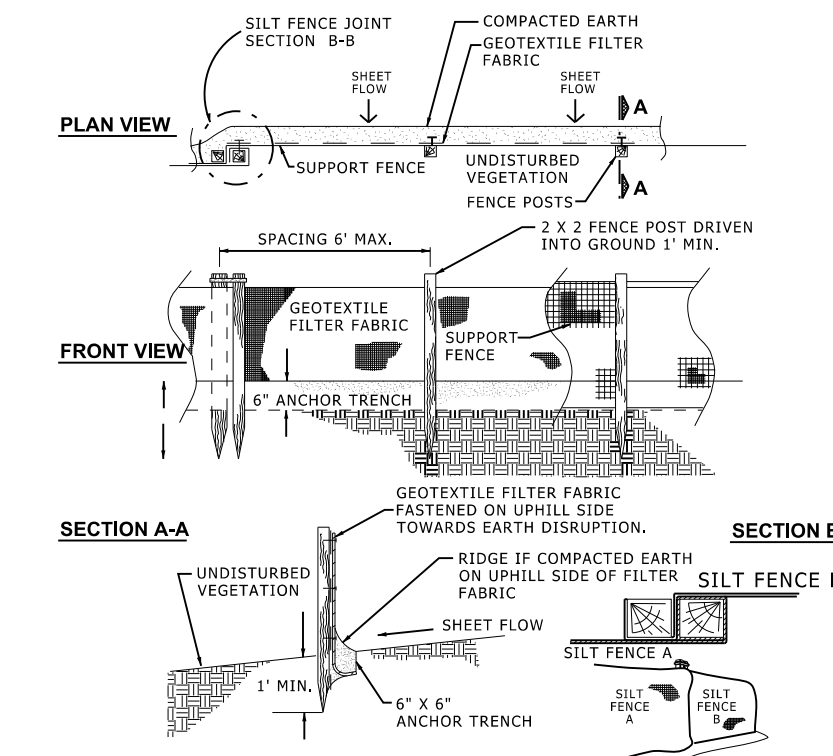




- NOTES:**
- The fence shall be located a minimum of one (1) foot outside the drip line of the tree to be saved or closer only at the direction of Consultant.
  - Tree protection is to be erected prior to any earthwork or construction and is to remain in place until construction and grading is complete.
  - All debris, fill equipment, or material is to be kept clear of area within protective fence. No clearing of equipment or storage or disposal of any material within the drip line of any trees to be saved.
  - No activity including parking, driving of vehicles, pedestrian routing, staging lay down or storage of material will be allowed within the tree protective zones (to edge of drip line).

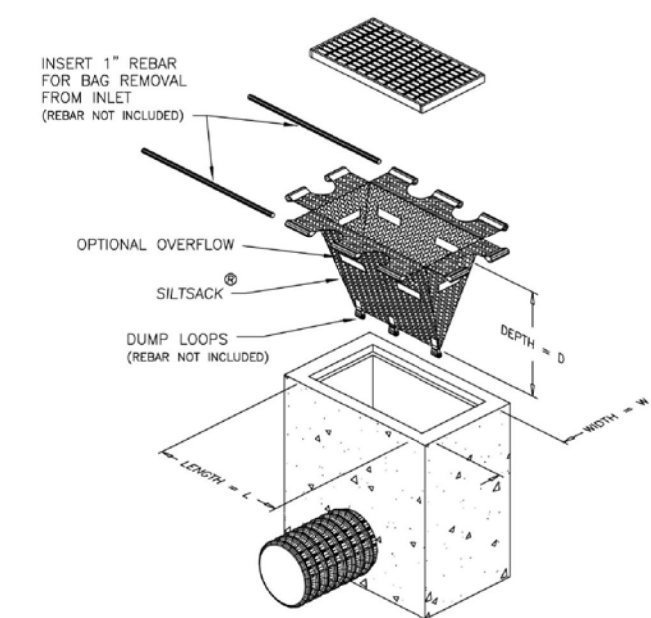
## 1 Tree protection fence

NO SCALE



## 2 Silt fence

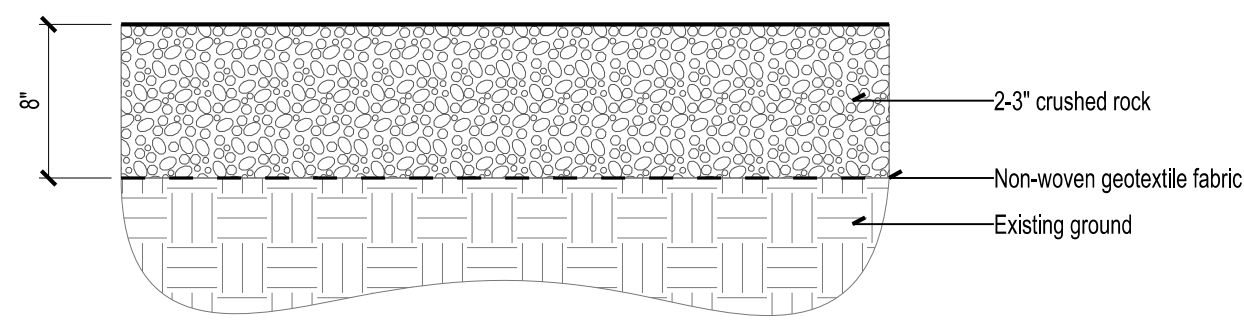
NO SCALE



- NOTES:**
- Daily inspections of the inlet filters shall be made by the contractor. Periodic inspections may be made by the owner or landscape architect to determine the effectiveness of the inlet filters. Any necessary corrections shall be made without delay.
  - The contractor shall be responsible for maintaining all inlet filters and removal of same upon completion of the project. Completion of the project will not be authorized until all site work is complete and all soils are stabilized. The inlet filters shall be removed at project completion.
  - Contractor shall inspect inlets after the completion of the project and clean the structures if needed.

## 3 Inlet filter

NO SCALE



## 4 Mud tracking

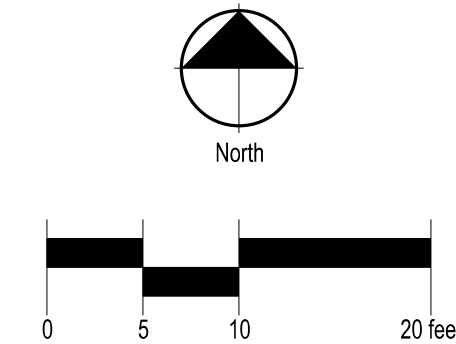
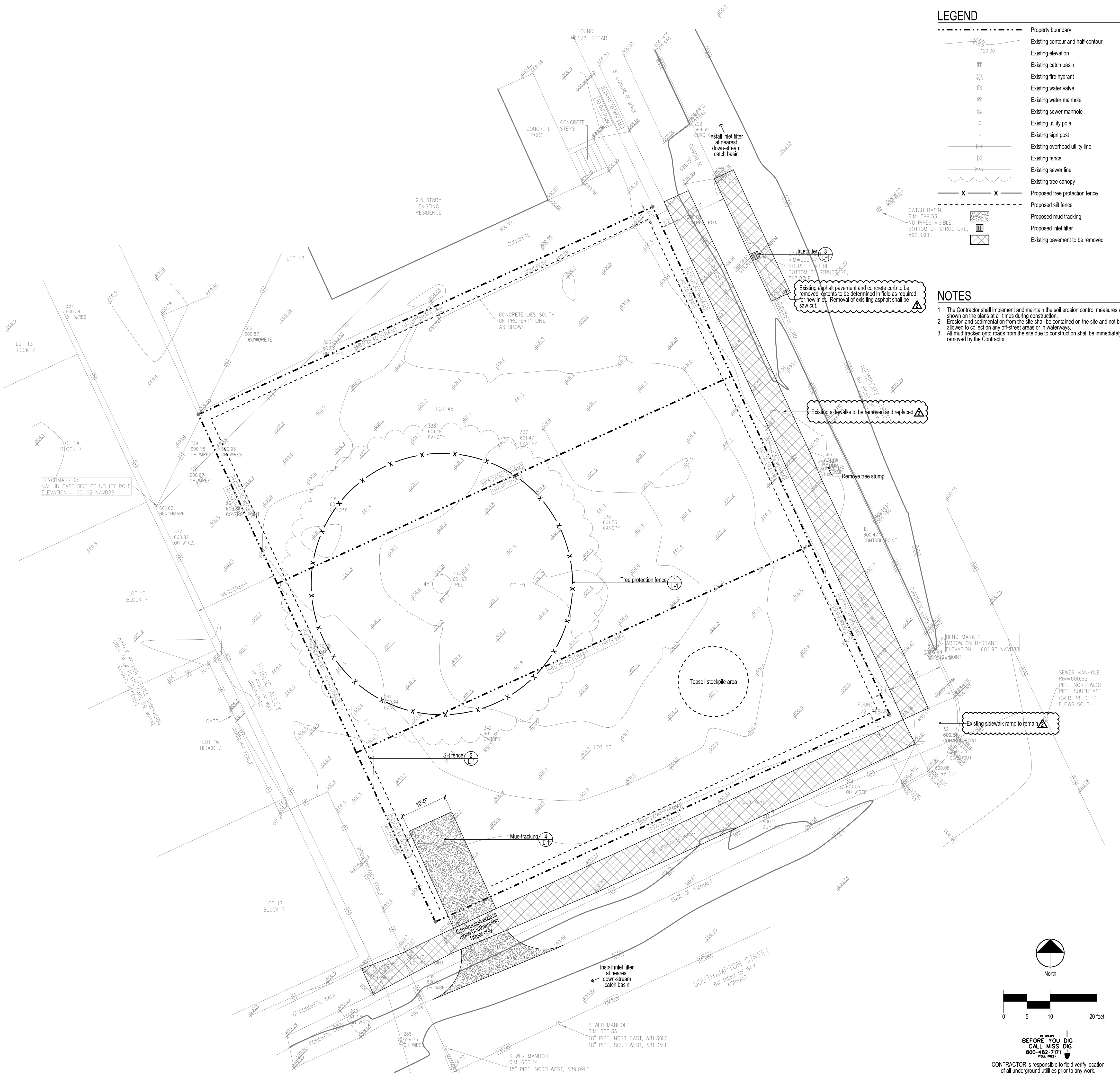
NO SCALE

## LEGEND

	Property boundary
	Existing contour and half-contour
	Existing elevation
	Existing catch basin
	Existing fire hydrant
	Existing water valve
	Existing water manhole
	Existing sewer manhole
	Existing utility pole
	Existing sign post
	Existing overhead utility line
	Existing fence
	Existing sewer line
	Existing tree canopy
	Proposed tree protection fence
	Proposed silt fence
	Proposed mud tracking
	Proposed inlet filter
	Existing pavement to be removed

## NOTES

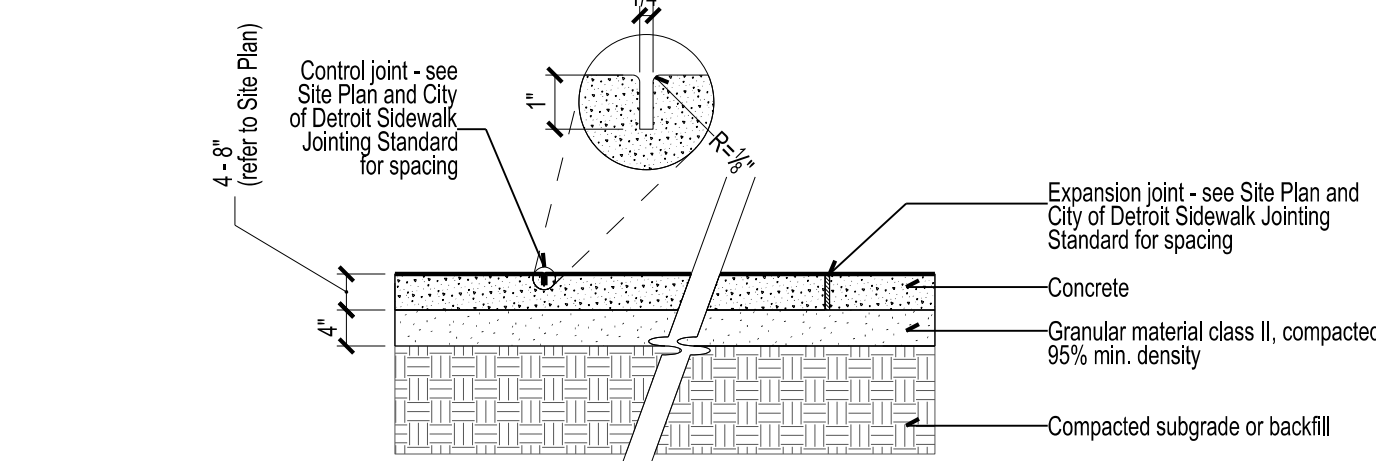
- The Contractor shall implement and maintain the soil erosion control measures as shown on the plans at all times during construction.
- Erosion and sedimentation from the site shall be contained on the site and not be allowed to collect on any off-street areas or in waterways.
- All mud tracked onto roads from the site due to construction shall be immediately removed by the Contractor.



BEFORE YOU DIG  
CALL MISS DIG  
800-482-7171  
CONTRACTOR is responsible to field verify location of all underground utilities prior to any work.

**NOTES**

- Bench available from Anova: David Trahasen 312-405-1773 david@anovafurniture.com www.anovafurniture.com
  - Picnic table available from Anova: David Trahasen 312-405-1773 david@anovafurniture.com www.anovafurniture.com
  - Tetherball available from Sports Unlimited: www.sportsunlimited.com Gated In-Ground Tetherball System
- Final model determination by Owner. Air Six 6' Contour Bench Item number: AE2680STX Frame color: Gray Seat color: Textured Fern Table Top Color: Textured Fern



**1 Concrete pavement**  
NO SCALE

**LEGEND**

- Property boundary
- Existing contour and half-contour
- Existing elevation
- Existing catch basin
- Existing fire hydrant
- Existing water valve
- Existing water manhole
- Existing sewer manhole
- Existing utility pole
- Existing sign post
- Existing overhead utility line
- Existing fence
- Existing sewer line
- Existing tree canopy
- Proposed contour
- Proposed half-contour
- Proposed storm line
- Proposed rain garden overflow
- Proposed cobble spillway
- Proposed trench drain
- Proposed engineered mulch path
- Proposed 4" concrete pavement
- Proposed 6" concrete pavement with thickened edge
- Proposed 8" concrete pavement
- Proposed concrete curb
- Proposed control joint
- Proposed expansion joint
- Proposed rain garden
- Proposed flower bed
- Proposed at-grade stepping stone
- Proposed elevated stepping stone
- Proposed interpretive sign (bid footings only)
- Proposed bench (alternate)
- Proposed picnic table (alternate)

**EXPANSION JOINTS**

- ALL EXPANSION JOINT PAPER SHALL EXTEND 1" BELOW THE BOTTOM OF THE THINNER OF ADJOINING SECTIONS.
- PLACE 1/2" PAPER EXPANSION JOINTS AT LOT LINES WHEN LOT LINES ARE BETWEEN 25' AND 50' APART.
- PLACE 1/2" PAPER EXPANSION JOINTS AT EVERY SECOND LOT LINE AND CONTRACTION JOINT AT INTERVENING LOT LINE WHEN LOT LINES ARE LESS THAN 25' APART.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB AND BUILDING OR PROPERTY LINE OR AT ALTERNATE POSITION (A) AS SHOWN FOR DRIVEWAY.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB AND BUILDING OR PROPERTY LINE FOR FULL WIDTH SIDEWALK EXCEEDING 7' IN WIDTH.
- PLACE 1" PAPER EXPANSION JOINTS AT CURB CIRCLES OR AT ALTERNATE POSITION (A) AS SHOWN.
- PLACE 1" PAPER EXPANSION JOINTS AT INTERSECTIONS OF SERVICE WALKS AND SIDEWALKS AND SERVICE WALKS AND CURBS.
- PLACE 1" PAPER EXPANSION JOINTS AT MARGIN FLAGS AT CROSSWALKS.
- PLACE 1" PAPER EXPANSION JOINTS AT ALLEY APRONS.
- PLACE 1/2" PAPER EXPANSION JOINT BOTH SIDES OF SIDEWALK FLAG ABUTTING TREE AND ON CENTERLINE JOINT.

**CONTRACTION JOINTS**

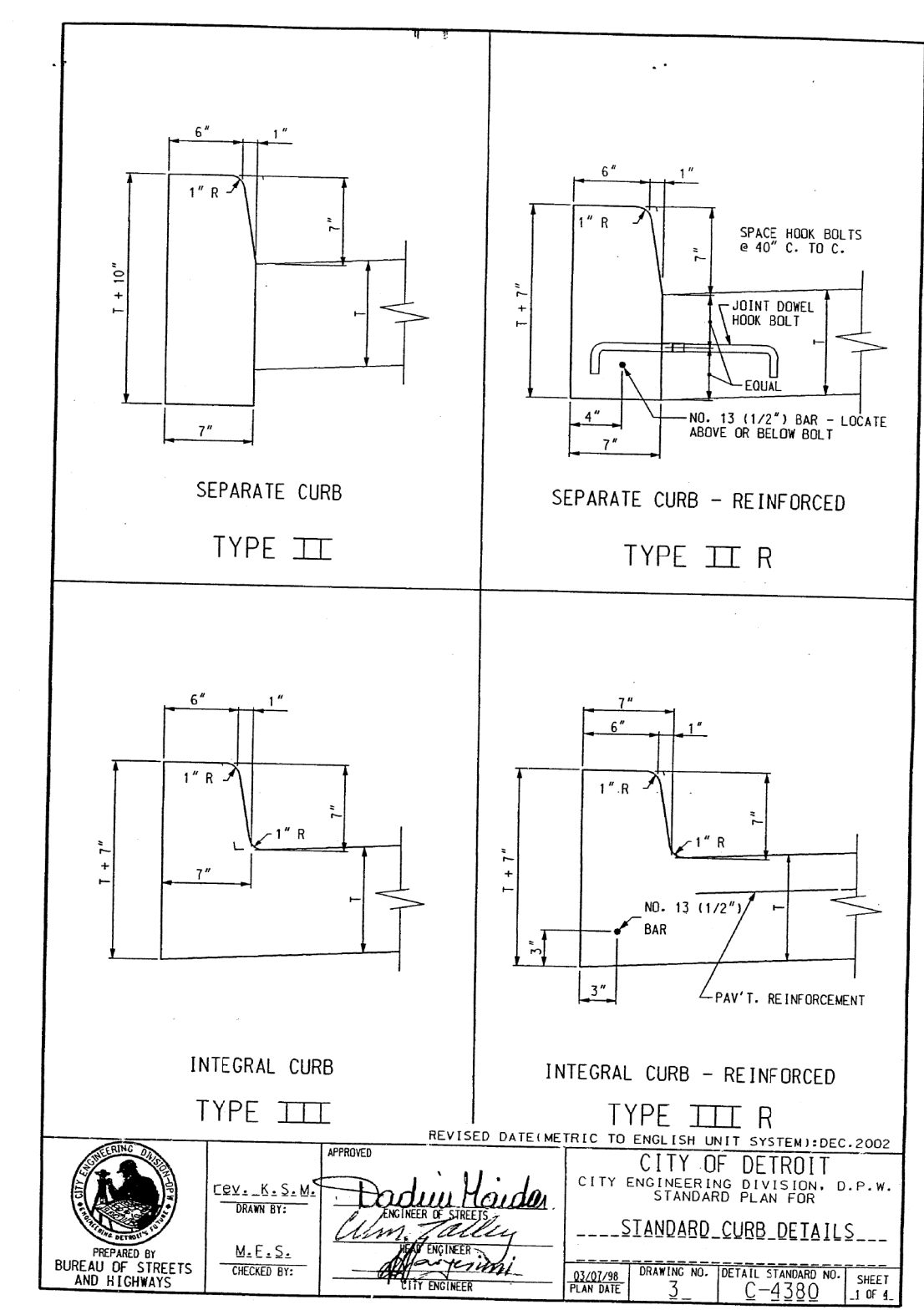
- PLACE CONTRACTION JOINTS AT INTERVALS OF NOT LESS THAN 5' NOR MORE THAN 7' ON WALKS 5' WIDE OR WIDER, INCLUDING FULL WIDTH WALKS.
- PLACE CONTRACTION JOINTS AT INTERVALS OF NOT LESS THAN 4' NOR MORE THAN 7' ON WALKS 4' WIDE.
- PLACE CONTRACTION JOINTS AT THE MARGIN LINE ON FULL WIDTH WALKS (OPTIONAL).

**DRIVEWAYS**

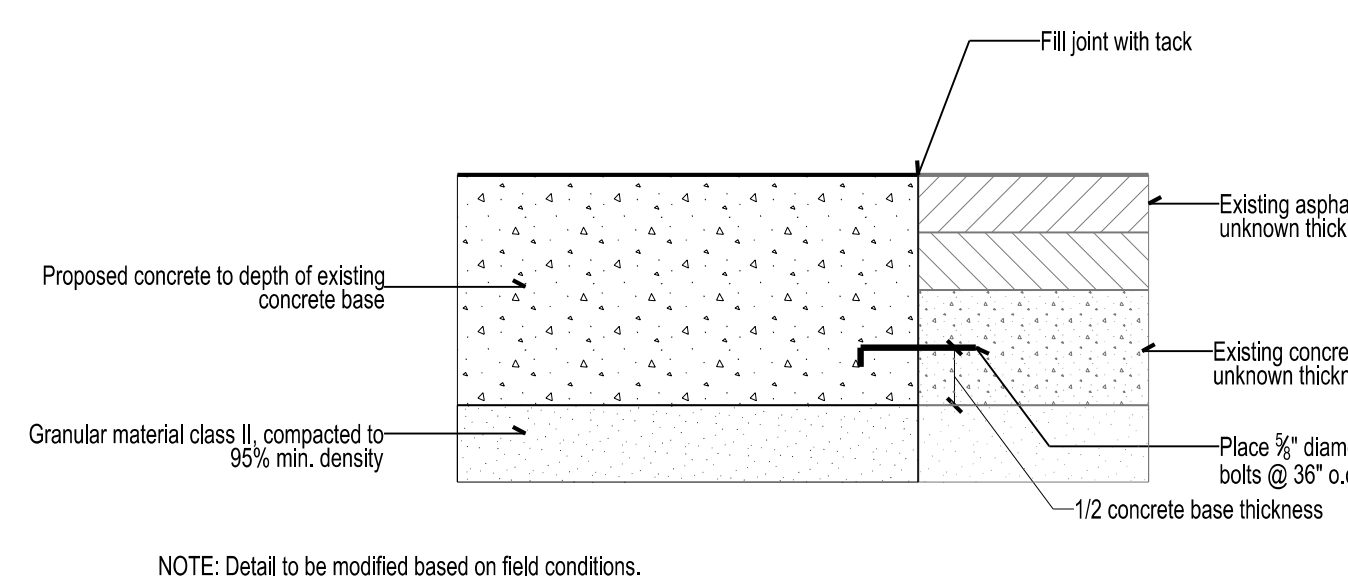
- PLACE CONTRACTION JOINTS IN DRIVEWAYS SO THAT NO SLAB WILL EXCEED THE DIMENSIONS OF 15' BY 15'.
- PLACE 1" PAPER EXPANSION JOINTS ON ALL SIDES OF COMMERCIAL DRIVES.
- PLACE CONSTRUCTION OR CONTRACTION JOINT ON CENTERLINE WHEN WIDTH OF DRIVEWAY EXCEEDS 15'.
- PLACE 1/2" PAPER EXPANSION JOINTS ON BOTH SIDES OF RESIDENTIAL DRIVEWAYS. IF DRIVEWAY EDGE IS WITHIN 2 FEET OF LOT LINE, PLACE THIS EXPANSION PAPER AT PROPERTY LINE.

CITY OF DETROIT  
CITY ENGINEERING DIVISION, D.P.W.  
STANDARD PLAN FOR  
SIDEWALK JOINTING  
STANDARD  
REVISED DATE: METRIC TO ENGLISH UNIT SYSTEM: DEC. 2002  
PLAN DATE: 30-C-4462 3 of 4

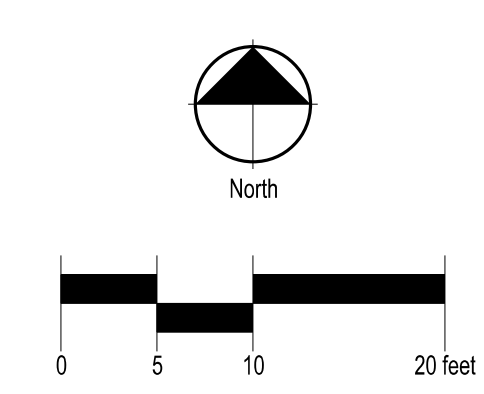
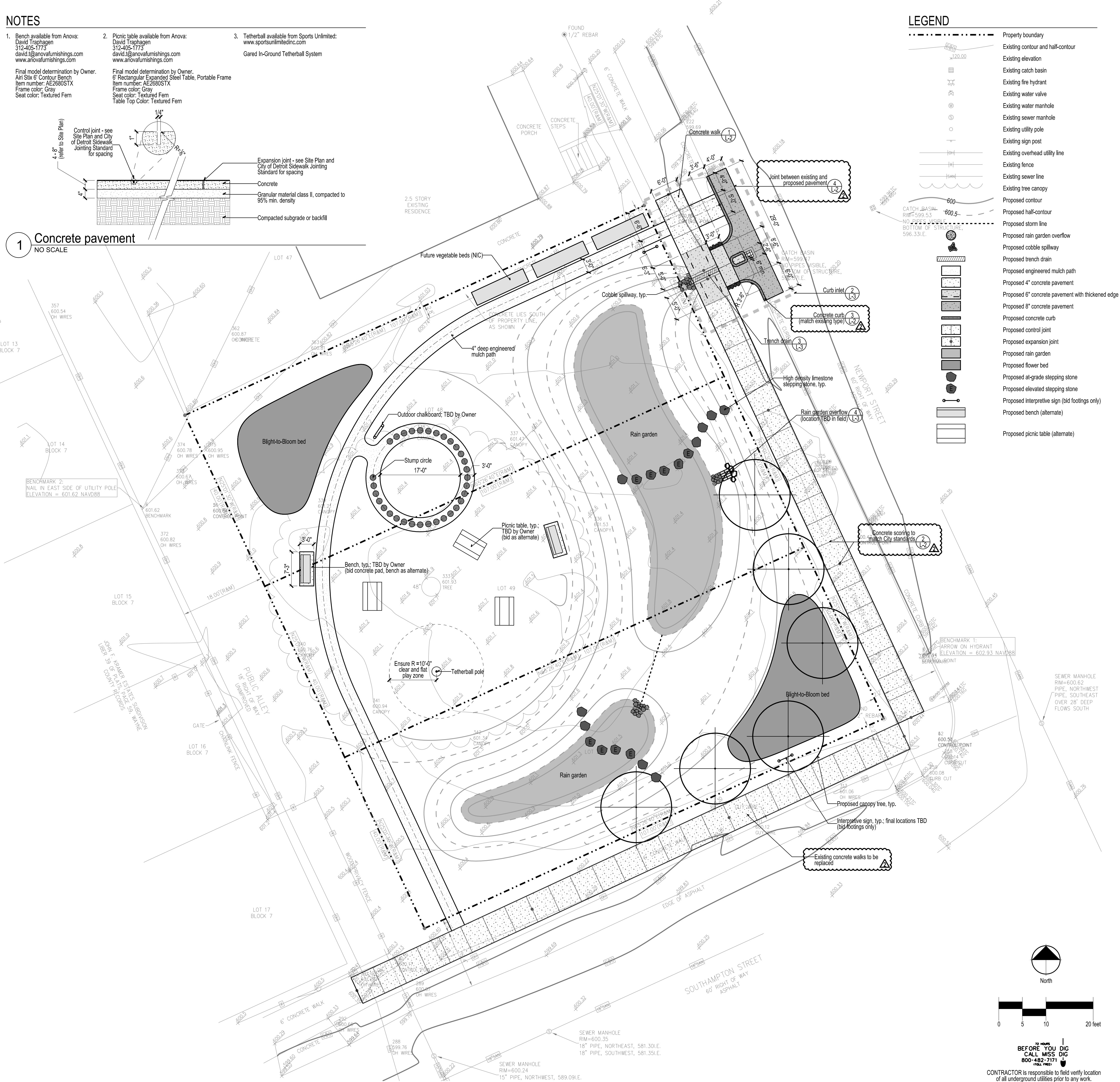
**2 City of Detroit Sidewalk Jointing Standard**  
NO SCALE



**3 City of Detroit Standard Curb Details**  
NO SCALE



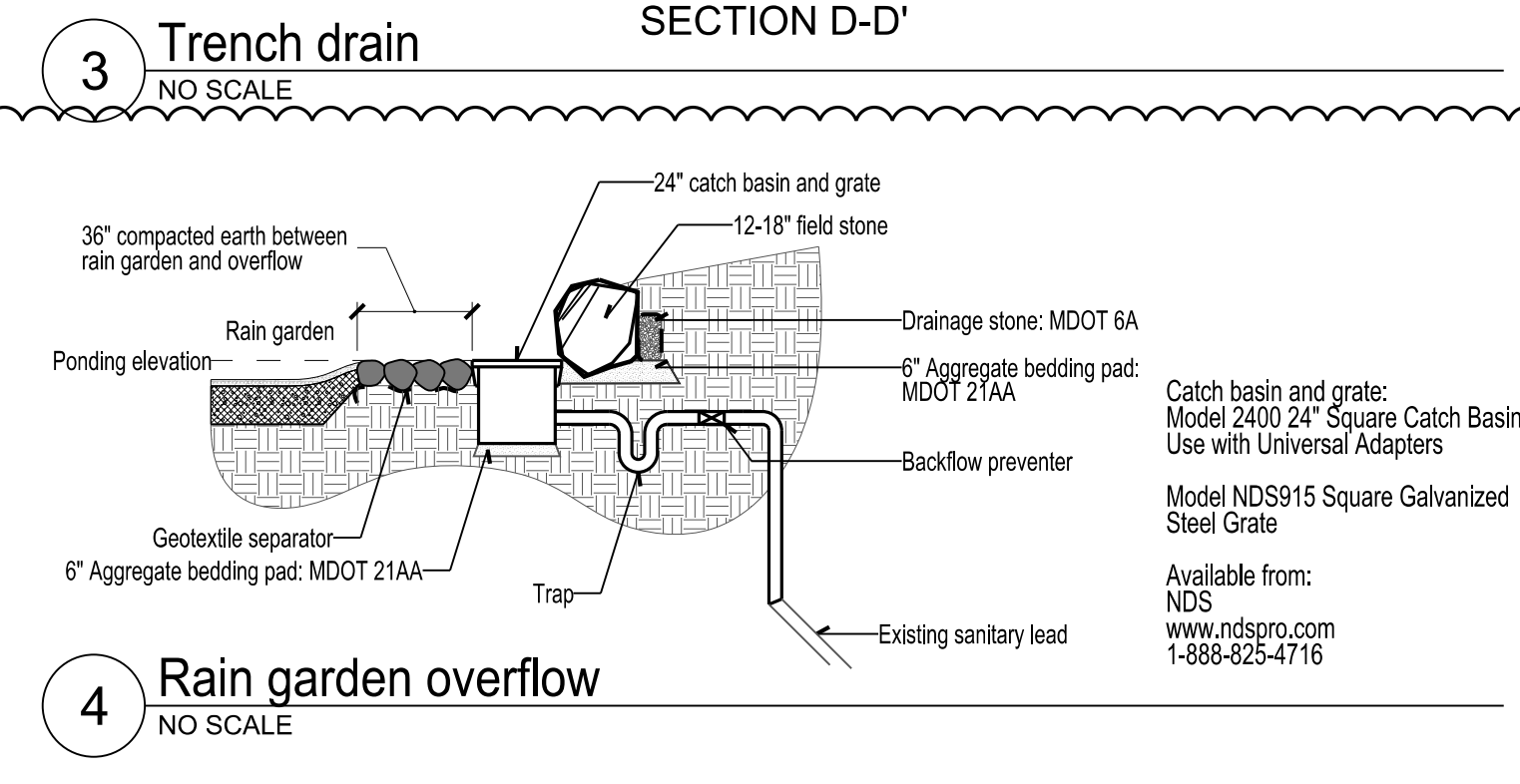
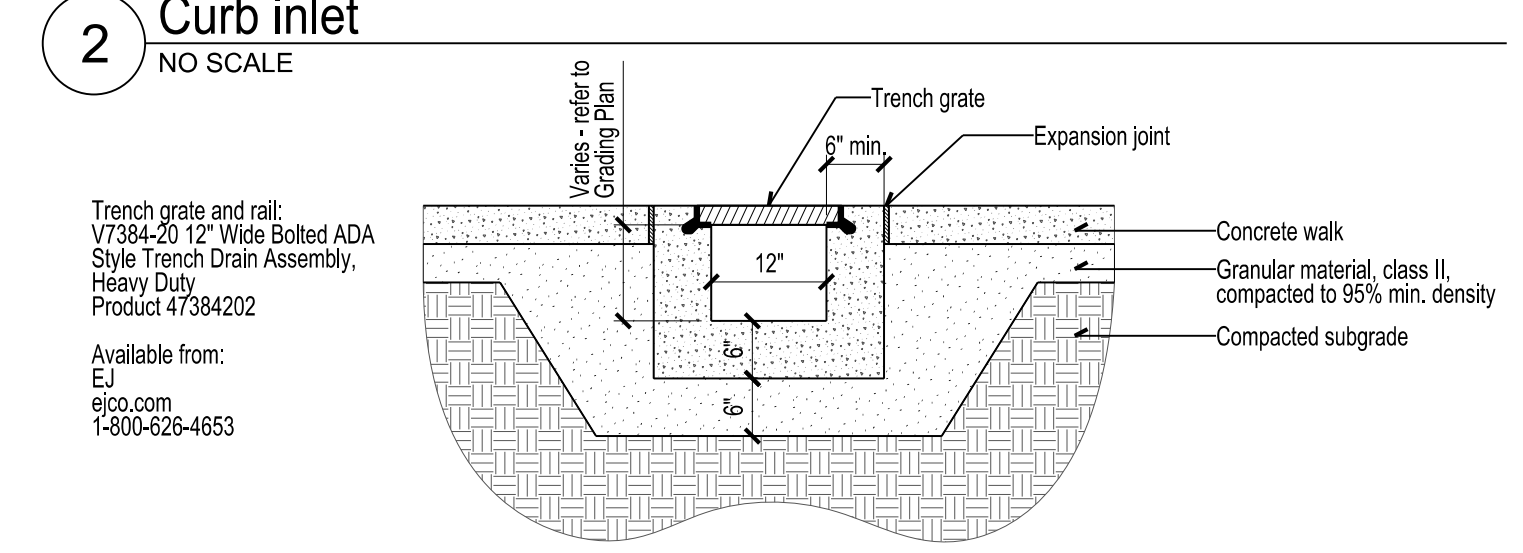
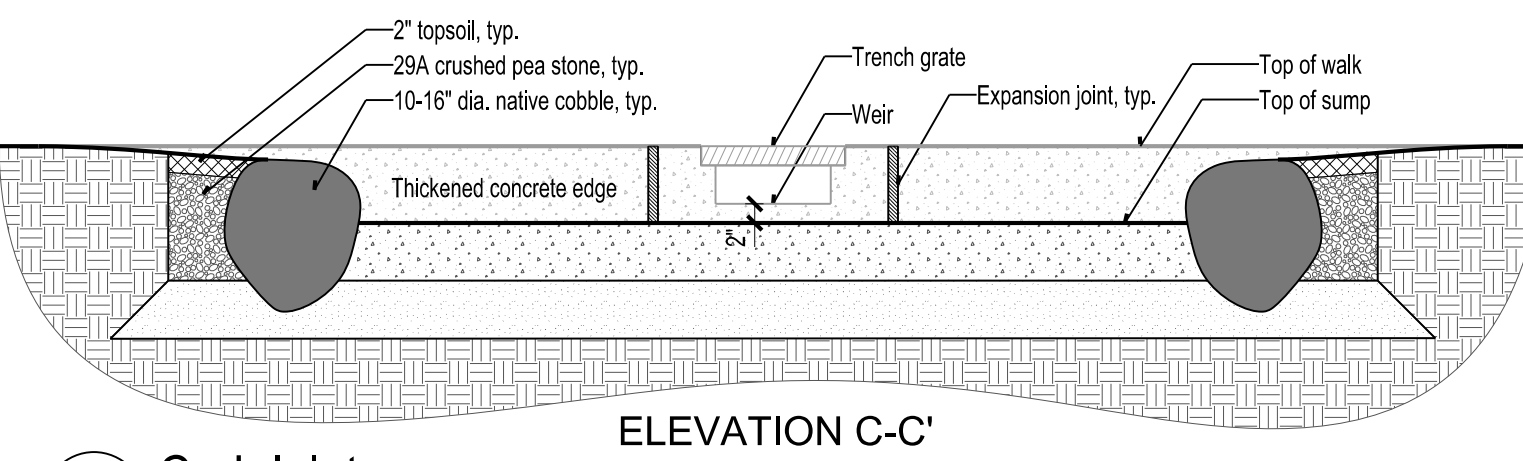
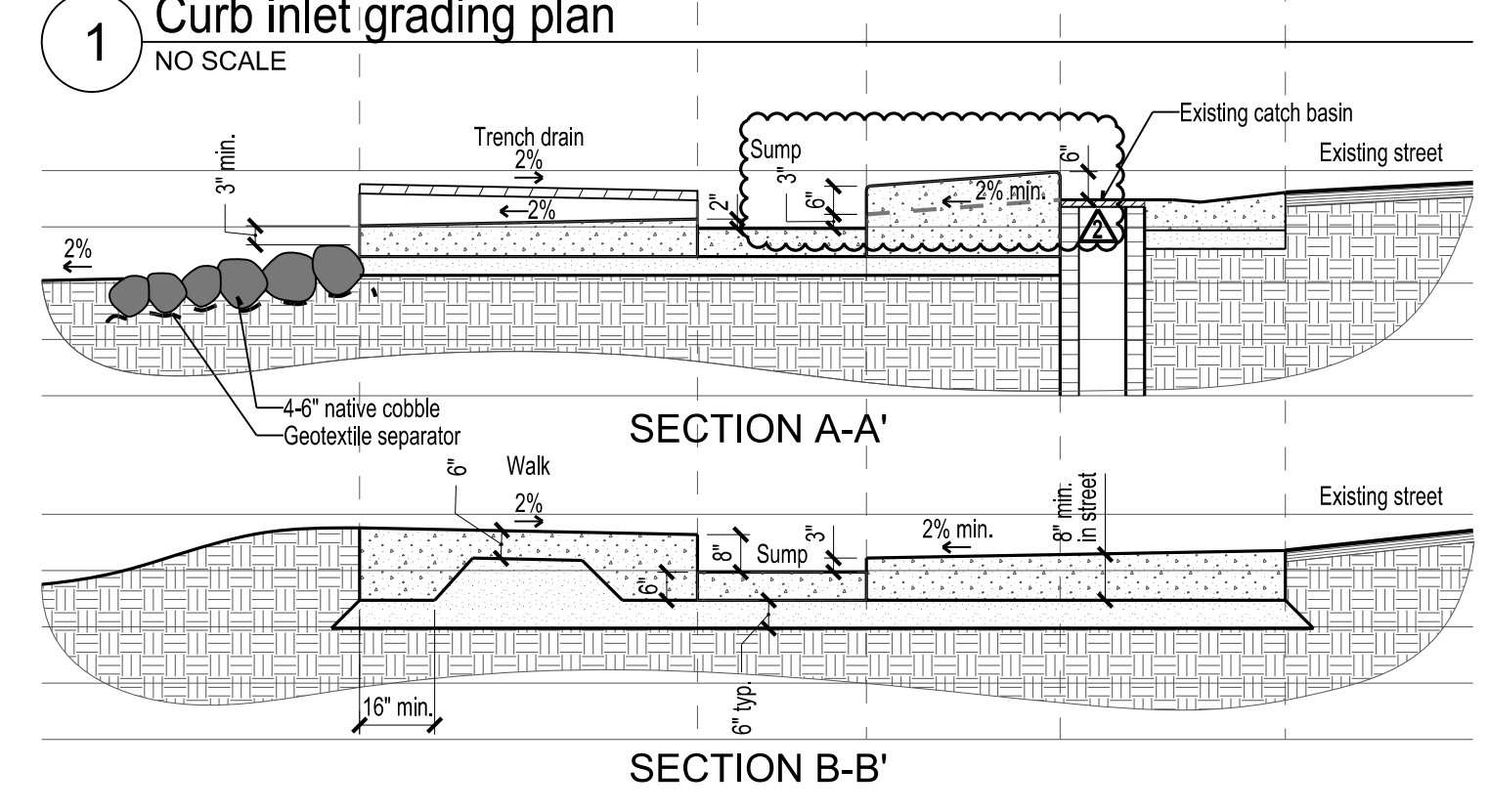
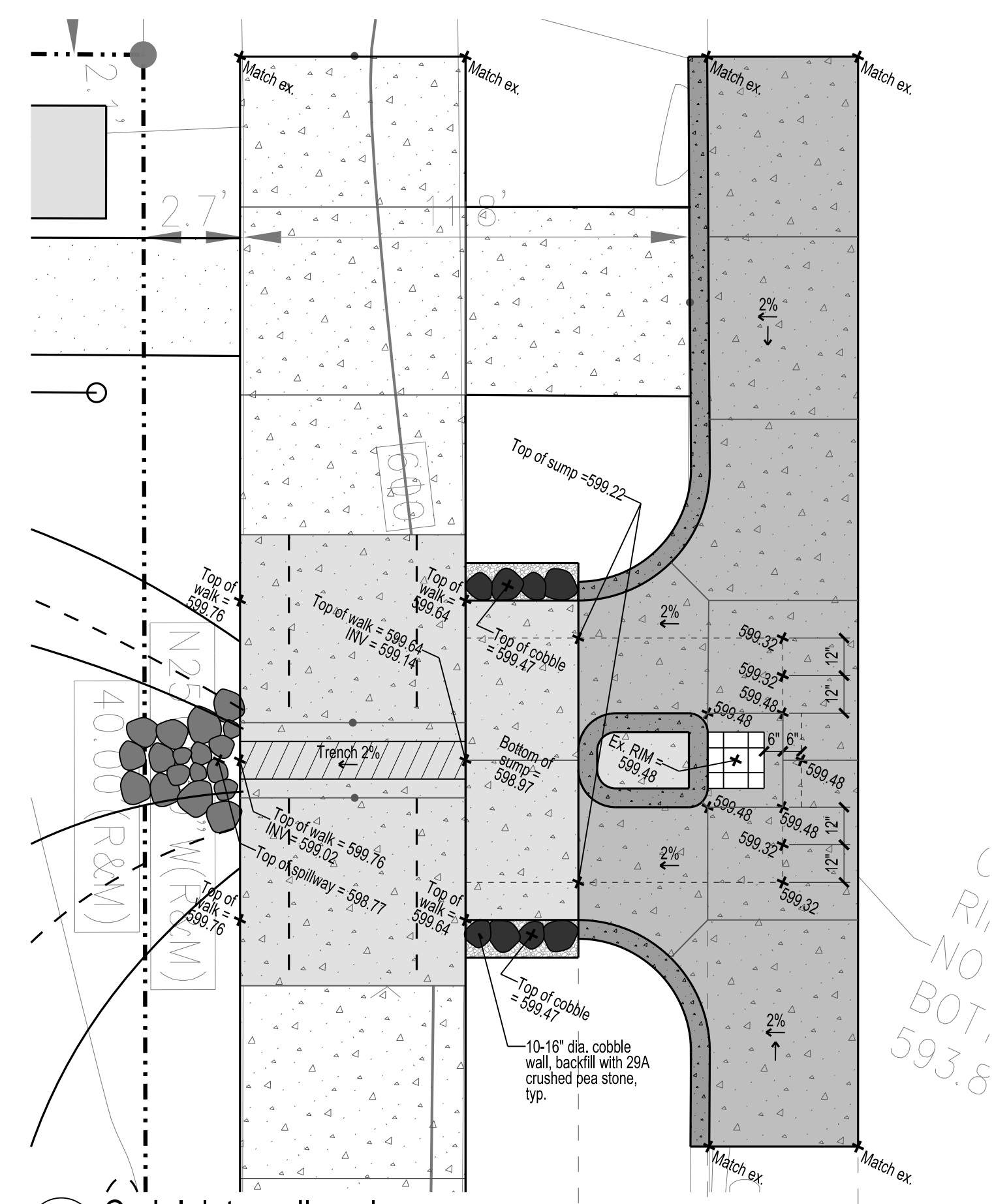
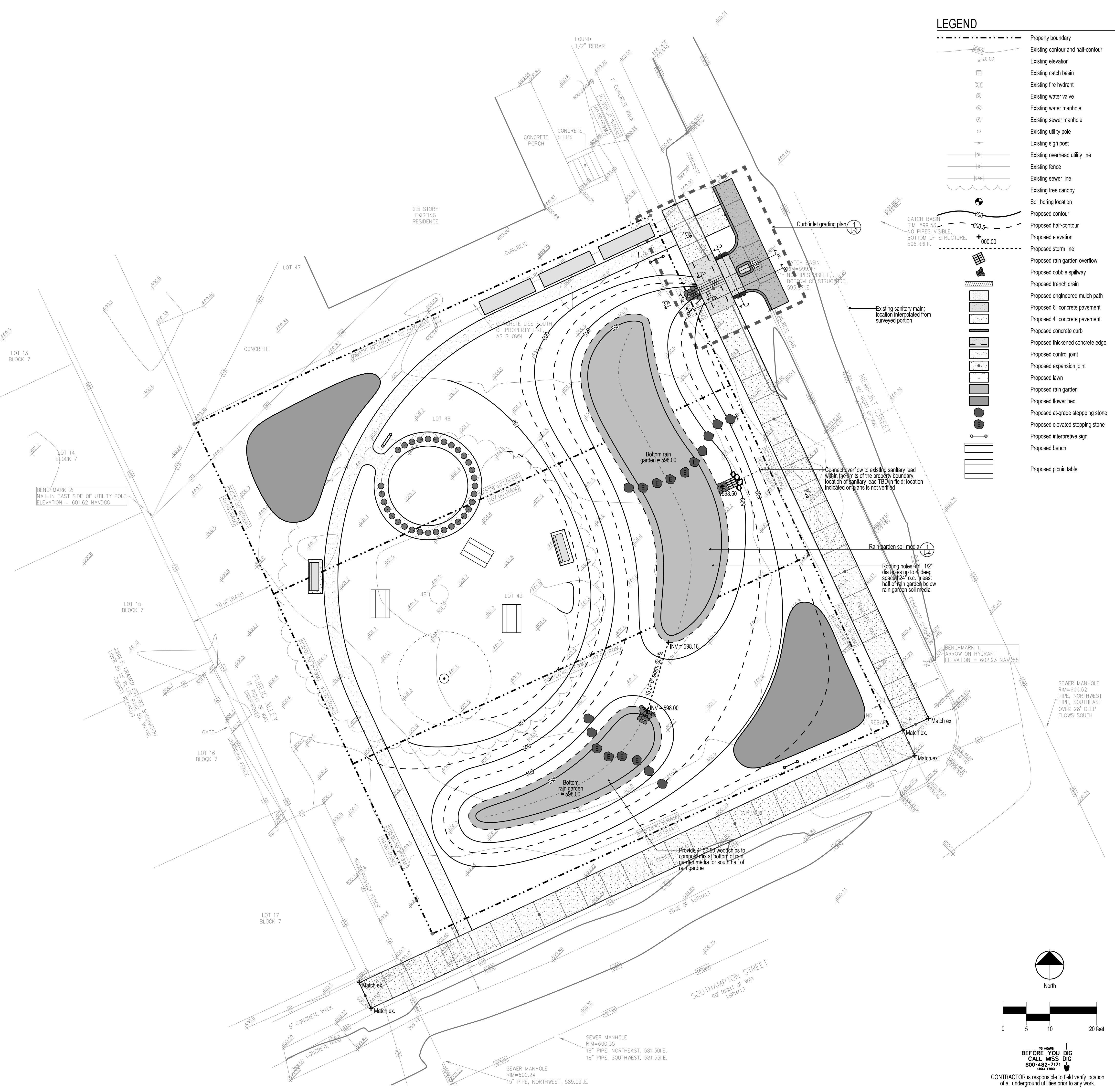
**4 Joint Between Existing and Proposed Pavements**  
NO SCALE



BEFORE YOU DIG  
CALL MISS DIG  
800-482-7171  
CONTRACTOR is responsible to field verify location of all underground utilities prior to any work.

**LEGEND**

- Property boundary
- Existing contour and half-contour
- Existing elevation
- Existing catch basin
- Existing fire hydrant
- Existing water valve
- Existing sewer manhole
- Existing utility pole
- Existing sign post
- Existing overhead utility line
- Existing fence
- Existing sewer line
- Existing tree canopy
- Soil boring location
- Proposed contour
- Proposed half-contour
- Proposed elevation
- Proposed storm line
- Proposed rain garden overflow
- Proposed cobble spillway
- Proposed trench drain
- Proposed engineered mulch path
- Proposed 6" concrete pavement
- Proposed 4" concrete pavement
- Proposed concrete curb
- Proposed thickened concrete edge
- Proposed control joint
- Proposed expansion joint
- Proposed lawn
- Proposed rain garden
- Proposed flower bed
- Proposed at-grade stepping stone
- Proposed elevated stepping stone
- Proposed interpretive sign
- Proposed bench
- Proposed picnic table



**BEFORE YOU DIG CALL MISS DIG**  
 800-482-7171  
 (TOLL FREE)

CONTRACTOR is responsible to field verify location of all underground utilities prior to any work.

## PLANT SCHEDULE

CANOPY TREES AND RAIN GARDEN SHRUBS					
ID	Qty	Botanical Name	Common Name	Size	Spacing Notes
UF	6	Ulmus 'Formosa'	Flowering Elm	22.5" cal. B&B	as shown
SJ	32	Spiraea japonica 'Lime Mound'	Lime Mound Spiraea	#3 pot	
RT	13	Rhus typhina 'Tiger Eyes'	Tiger Eyes Sumac	#5 pot	

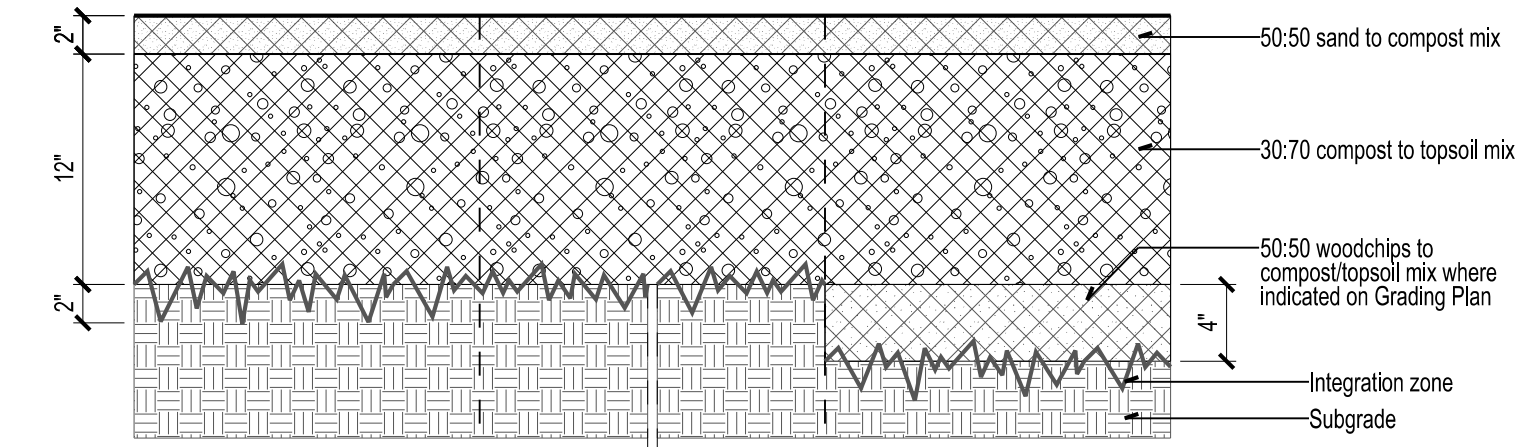
RAIN GARDEN CULTIVARS AND PLUGS					
ID	Qty	Botanical Name	Common Name	Size	Spacing Notes
ac	39	Anemone canadensis	Canada Anemone	native plug	18" o.c.
ai	82	Asclepias incarnata	Sweet Milkweed	native plug	24" o.c.
bc	60	Bouteloua dactyloides	Buffalo Grass	plug	12" o.c. mix with pv, overall spacing 12" o.c.
ep	41	Echinacea purpurea	Purple Coneflower	native plug	18" o.c.
fv	95	Fragaria virginiana	Wild Strawberry	native plug	24" o.c.
iv	202	Isis virginica	Blue Flag Iris	native plug	18" o.c.
pv	82	Panicum virgatum 'Northwind'	Northwind Switchgrass	#1 pot	24" o.c. mix with ai, overall spacing 12" o.c.
so	54	Symphoricarpos albertinum 'October Skies'	October Skies Aster	#1 pot	24" o.c.

Lawn		
MOOT THY Mix		300 brace

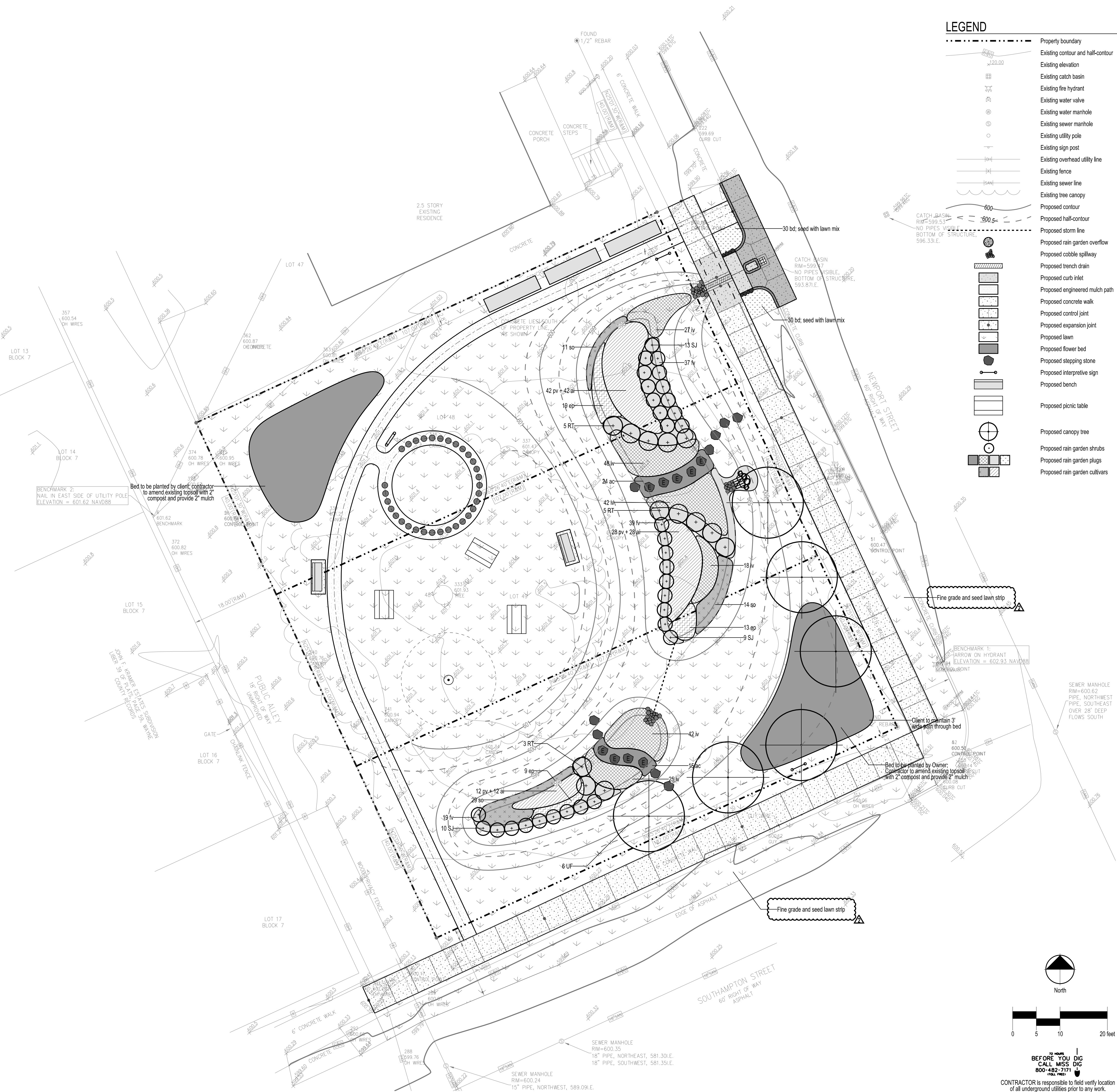
Erosion Control		
Lolium multiflorum	Annual Ryegrass	200 brace



1 Rain garden soil media  
NO SCALE

## LEGEND

- Property boundary
- Existing contour and half-contour
- Existing elevation
- Existing catch basin
- Existing fire hydrant
- Existing water valve
- Existing water manhole
- Existing sewer manhole
- Existing utility pole
- Existing sign post
- Existing overhead utility line
- Existing fence
- Existing sewer line
- Existing tree canopy
- Proposed contour
- Proposed half-contour
- Proposed storm line
- Proposed rain garden overflow
- Proposed cobble spillway
- Proposed trench drain
- Proposed curb inlet
- Proposed engineered mulch path
- Proposed concrete walk
- Proposed control joint
- Proposed expansion joint
- Proposed lawn
- Proposed flower bed
- Proposed stepping stone
- Proposed interpretive sign
- Proposed bench
- Proposed picnic table
- Proposed canopy tree
- Proposed rain garden shrubs
- Proposed rain garden plugs
- Proposed rain garden cultivars



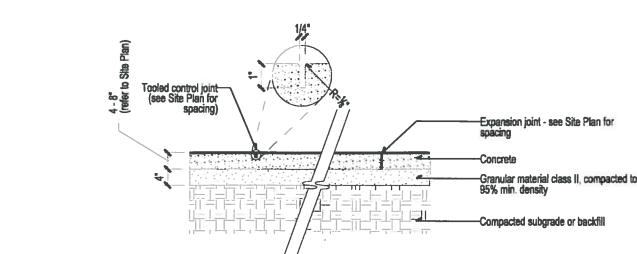
BEFORE YOU DIG  
CALL MISS DIG  
800-482-7171  
1-800-482-7171  
CONTRACTOR is responsible to field verify location of all underground utilities prior to any work.

## LEGEND

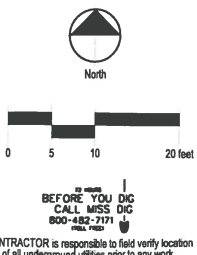
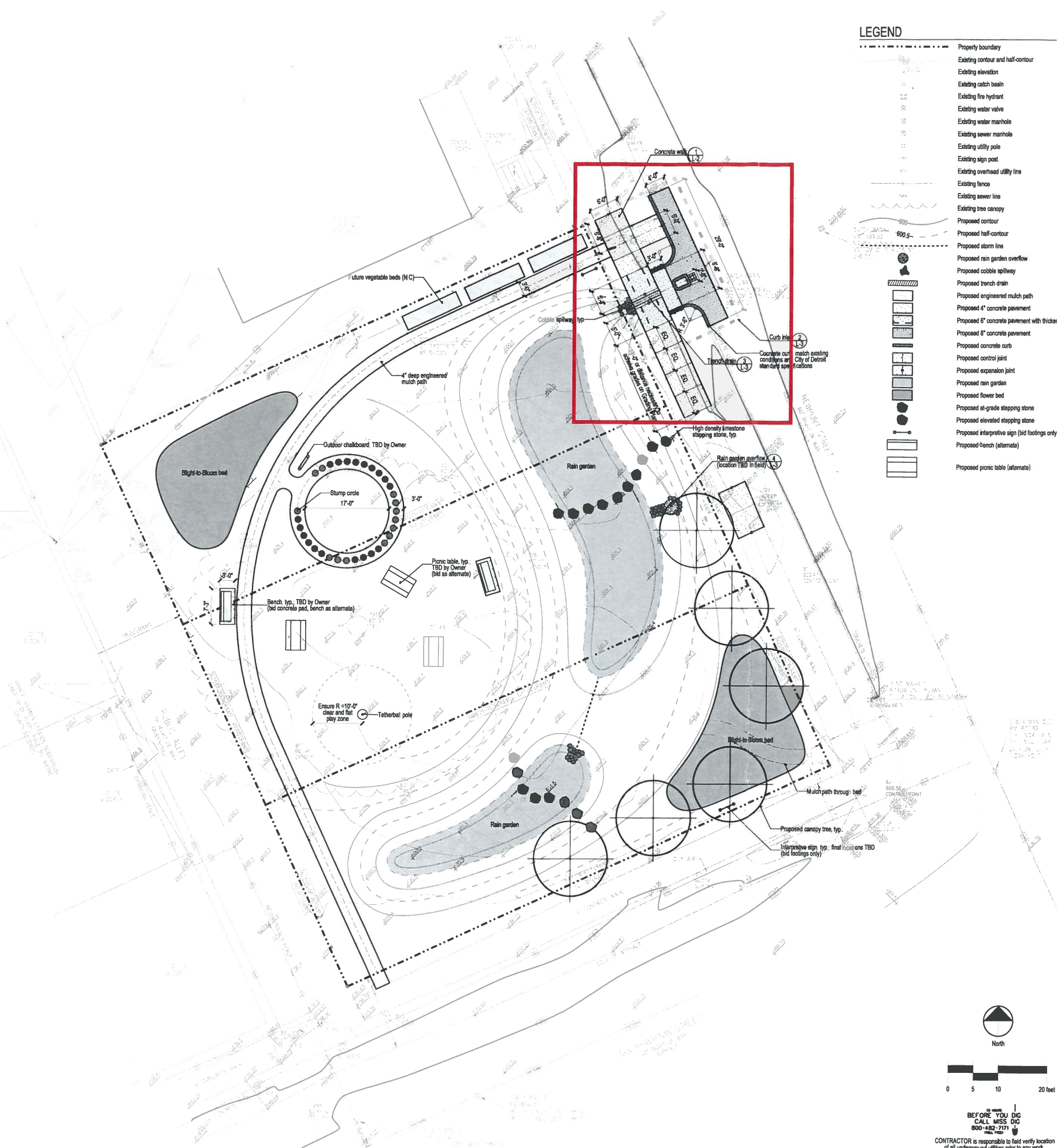
---	Property boundary
- - - - -	Existing contour and half-contour
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○	Existing catch basin
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○	Existing water manhole
○	Existing sewer manhole
○	Existing utility pole
○	Existing sign post
---	Existing overhead utility line
---	Existing fence
---	Existing sewer line
---	Existing tree canopy
---	Proposed half-contour
---	Proposed storm line
---	Proposed rain garden overflow
---	Proposed cobble spillway
---	Proposed trench drain
---	Proposed engineered mulch path
---	Proposed 4" concrete pavement
---	Proposed 6" concrete pavement with thickened edge
---	Proposed 8" concrete pavement
---	Proposed concrete curb
---	Proposed control joint
---	Proposed expansion joint
---	Proposed rain garden
---	Proposed flower bed
---	Proposed at-grade stepping stone
---	Proposed elevated stepping stone
---	Proposed interpretive sign (bid footings only)
---	Proposed bench (alternata)
---	Proposed picnic table (alternata)

## NOTES

- Bench available from Anova: David Traphagen 312-405-1773 david.t@anovafurniture.com www.anovafurniture.com
  - Picnic table available from Anova: David Traphagen 312-405-1773 david.t@anovafurniture.com www.anovafurniture.com
  - Tetherball available from Sports Unlimited: www.sportsunlimitedinc.com Gated In-Ground Tetherball System
- Final model determination by Owner:  
A81 Six 6" Contour Bench  
Item number: A22893TX  
Frame color: Gray  
Seat color: Textured Fern
- Final model determination by Owner:  
6" Rectangular Expanded Steel Table, Portable Frame  
Item number: A22893TX  
Frame color: Gray  
Seat color: Textured Fern  
Table Top Color: Textured Fern



1 Concrete pavement  
NO SCALE



BEFORE YOU DIG  
CALL MISS DIG  
800-482-7171  
MISS DIG

CONTRACTOR is responsible to field verify location of all underground utilities prior to any work.