



City of Detroit
Inter-Departmental Communication

TO: Richard Doherty, City Engineer
City Engineering/Department of Public Works

FROM: Debra Singleton, Engineer
Detroit Water and Sewerage Department

DATE: July 5, 2018

RE: Petition No. 125-revised
Requested Encroachment Into Baltimore And John R. At 66 East Baltimore Ave.
(With Planters, Pavers, Oversize Driveway, Column And Footings, Signage,
Lighting, Entryway Frost, Slab, Sub-Surface Irrigation, Drainage and Drain Tiles)

We have reviewed the above Petition received by this office. Our records indicate there are water mains and sewers in the area of encroachment. With regard to DWSD's interests, our comments are as follows:

- DWSD has no objections to the requested encroachment provided that the attached Provisions for Encroachment are strictly followed.

If you have any questions, please call me at (313) 267-8309 or Mohammed Fa Siddique at (313)-964-9245.

Sincerely,

Debra Singleton
Engineer
Permits

DS/MS/gl

Attachments

CC: Mohamad Farhat, CSF

Michael Duggan, Mayor

"REVISED"

City of Detroit

City Engineering Division, Department of Public Works Survey Bureau

NOTICE OF PROPOSED CHANGE IN PROPERTY

Date: 04/02/2017

Petition: x1259

- | | |
|--|--|
| <input type="checkbox"/> AT&T Telecommunication | <input type="checkbox"/> Berm Use |
| <input type="checkbox"/> Comcast Television (CATV) | <input checked="" type="checkbox"/> Conversion to Easement |
| <input type="checkbox"/> Detroit Edison (DTE) | <input type="checkbox"/> Dedication |
| <input type="checkbox"/> Fire Department | <input type="checkbox"/> Encroachment |
| <input type="checkbox"/> Great Lakes Water Authority | <input type="checkbox"/> Temporary Closing |
| <input type="checkbox"/> Land Bank Authority | <input type="checkbox"/> Vacation |
| <input type="checkbox"/> Michcon (DTE) | |
| <input type="checkbox"/> Planning & Development Department | |
| <input type="checkbox"/> Public Lighting Authority | |
| <input type="checkbox"/> Public Lighting Department | |
| <input type="checkbox"/> Police Department | |
| <input type="checkbox"/> Solid Waste Division, DPW | |
| <input type="checkbox"/> Street Design Bureau, DPW | |
| <input type="checkbox"/> Street Maintenance Division, DPW | |
| <input type="checkbox"/> Traffic Engineering Division, DPW | |
| <input type="checkbox"/> Water and Sewerage Department | |
| <input type="checkbox"/> _____ | |

A petition drawing is attached. Property shown on the attached print is proposed to be changed as indicated. Kindly report (using the back of this sheet) the nature of your services, if any affected by the proposed change and the estimated costs of removing and rerouting such services (if necessary).

Please return one copy to City Engineering Division, DPW within two weeks of the submittal date. Retain one copy and print for you file.

Ron Brundidge, Director, Department of Public Works

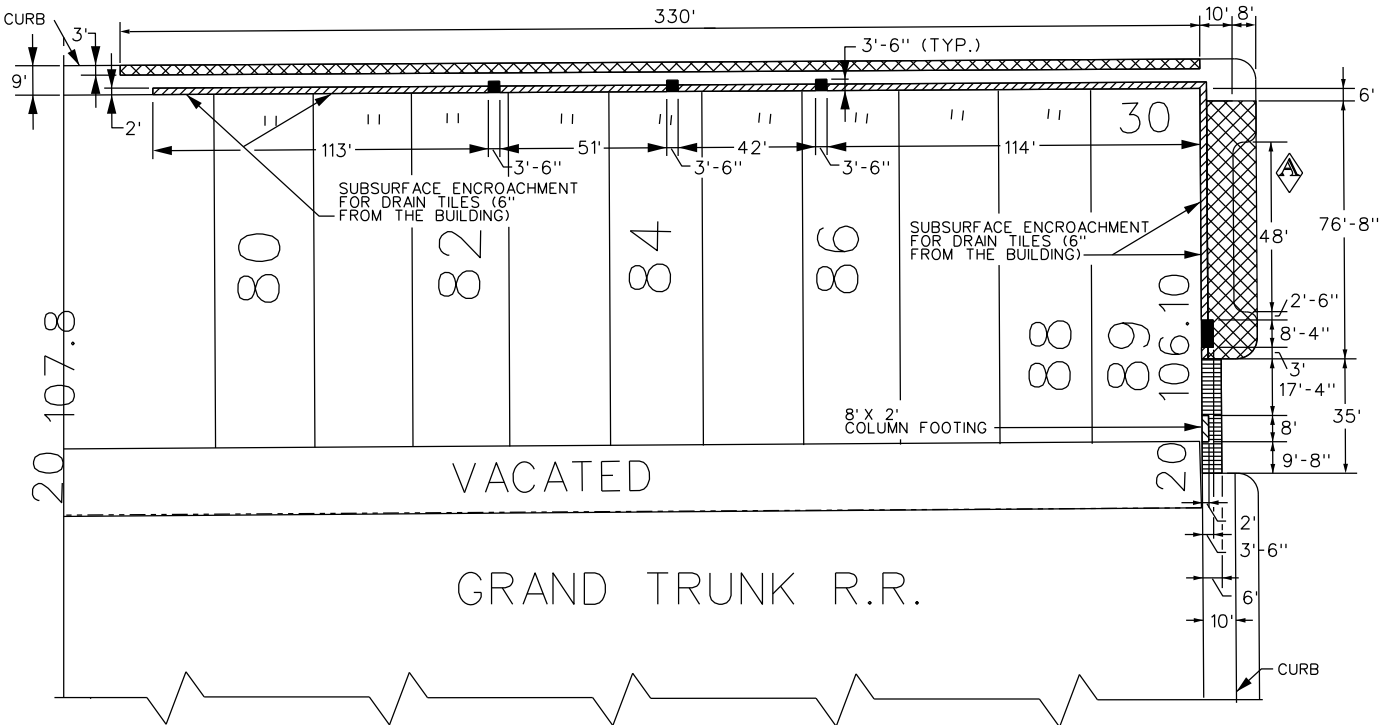
By: Richard Doherty, CED DPW
City Engineer

PETITION NO. 125
 BALTIMORE AND JOHN R. LLC
 C/O GIFFELS WEBSTER
 28 W. ADAMS, SUITE 1200
 DETROIT, MICHIGAN 48226
 C/O MATT WOJCIECHOWSKI
 PHONE NO. 313 962-4442

"REVISED"



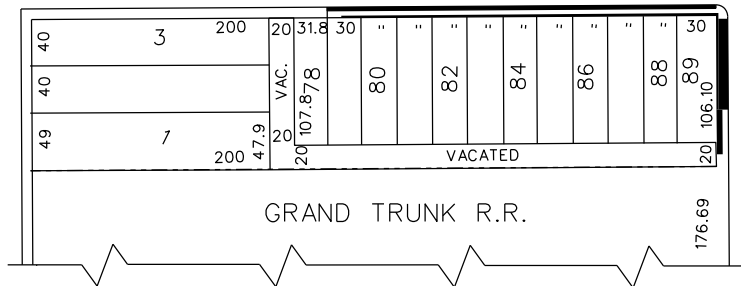
BALTIMORE AVE. 60 FT. WD.



JOHN R. ST. 60 FT. WD.

BALTIMORE AVE. 60 FT. WD.

WOODWARD AVE. 120 FT. WD.



JOHN R. ST. 60 FT. WD.

- REQUEST ENCROACHMENT (With Entryway Frost Slab)
- REQUEST ENCROACHMENT (With Signage and Lighting)
- REQUEST ENCROACHMENT (With Column Footing)
- REQUEST ENCROACHMENT (With Oversize Driveway)
- REQUEST ENCROACHMENT (With Planters and Pavers, Loading Area and Sub-Surface Irrigation and Drainage)

(FOR OFFICE USE ONLY)

CARTO 31 F

B					
A	ADDING A LOADING AREA ON JOHN R. ST.	WLW	KSM	KSM	5/23/18
DESCRIPTION		DRWN	CHKD	APPD	DATE
REVISIONS					
DRAWN BY	WLW	CHECKED		KSM	
DATE	04-17-18	APPROVED			

REQUEST ENCROACHMENT INTO BALTIMORE AND JOHN R. AT 66 E. BALTIMORE AVE.
 (With Planters, Pavers, Loading Area, Oversize Driveway, Column Footing, Signage, Lighting, Entryway Frost Slab, Sub-Surface Irrigation, Drainage and Drain Tiles)

CITY OF DETROIT	
CITY ENGINEERING DEPARTMENT	
SURVEY BUREAU	
JOB NO.	01-01
DRWG. NO.	X 125

**TO: City Engineering Division, DPW
2 Woodward Ave., Suite 642
Detroit, Michigan 48226-3462
Survey Bureau: 313-224-3970**

**Petition: x1259
"REVISED"**

The proposed change in property (referred to on the other side of this sheet) would affect our services as follows:

- Not Involved

- Involved; but asking you to hold action on this petition until further notice.

- Involved; but no objections to the property change.

- Involved; objection to the property change.

- Involved; but no objections to the property change...provided as easement of the full width of the public right-of-way (street, alley or other public place) is reserved.

- Involved; the nature of our services and the estimated costs of removing and/or rerouting such services are:

(Utility or City Department)

By

Title

Date

Area code – Telephone number

City of Detroit
City Engineering Division, Department of Public Works
Survey Bureau

NOTICE OF PROPOSED CHANGE IN PROPERTY

Date: 04/17/2018

Petition: x125

- | | |
|--|--|
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Ron Brundidge, Director, Department of Public Works

By: Richard Doherty, CED DPW
City Engineer

**TO: City Engineering Division, DPW
2 Woodward Ave., Suite 642
Detroit, Michigan 48226-3462
Survey Bureau: 313-224-3970**

Petition: x125

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Title

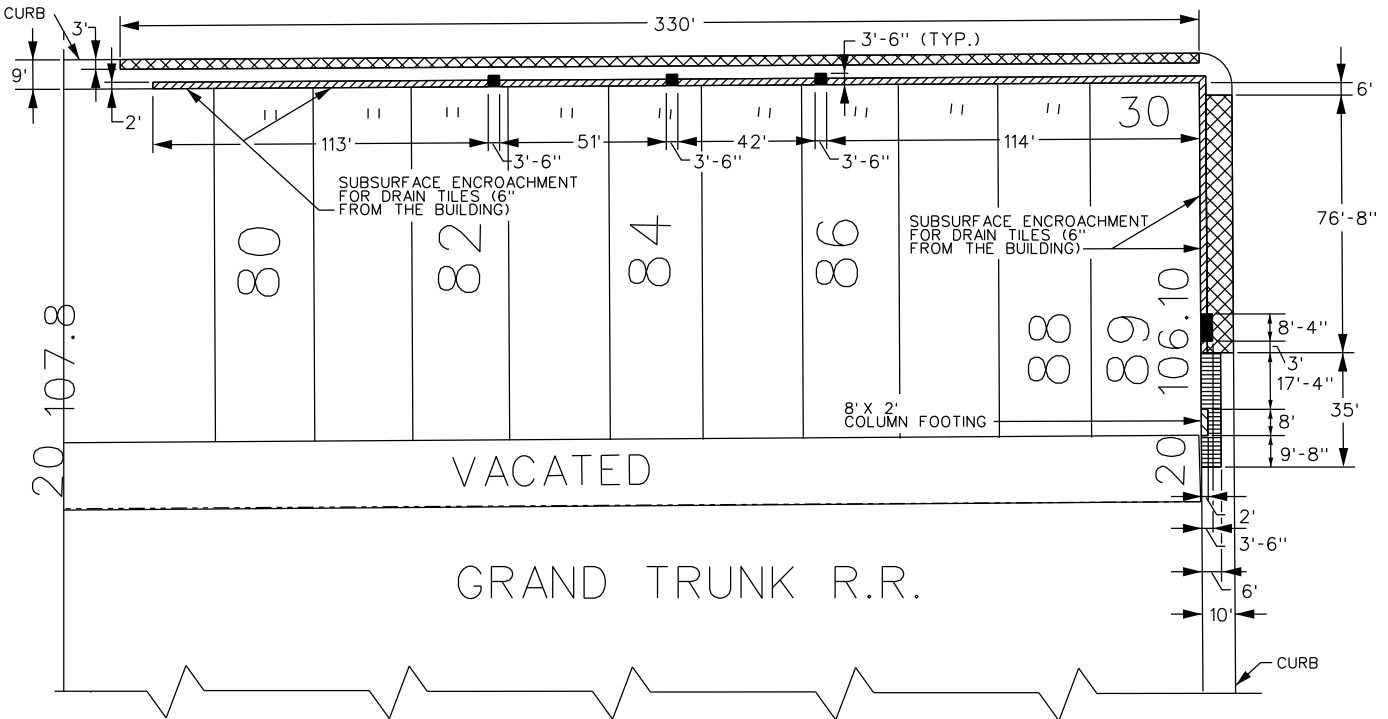
Date

Area code – Telephone number

PETITION NO. 125
 BALTIMORE AND JOHN R. LLC
 C/O GIFFELS WEBSTER
 28 W. ADAMS, SUITE 1200
 DETROIT, MICHIGAN 48226
 C/O MATT WOJCIECHOWSKI
 PHONE NO. 313 962-4442



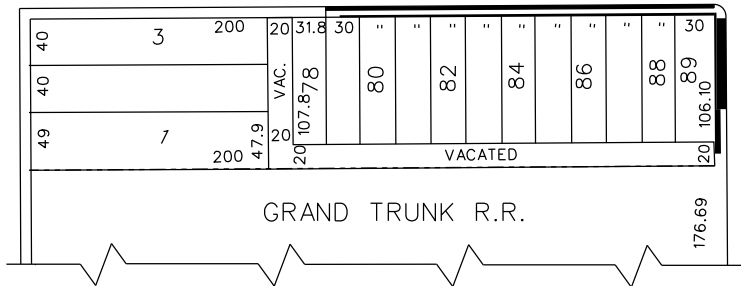
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(FOR OFFICE USE ONLY)

CARTO 31 F

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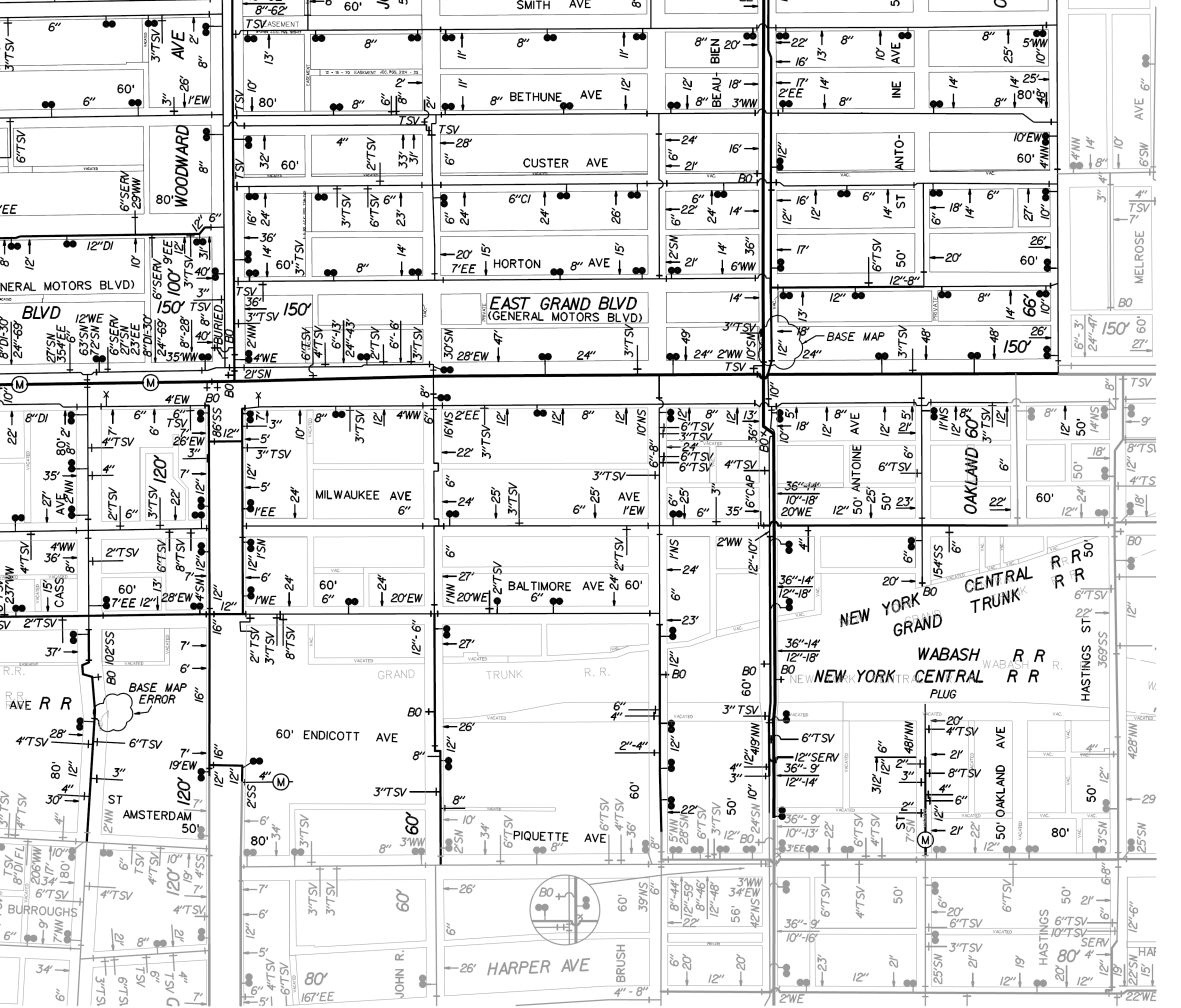
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 AT 66 E. BALTIMORE AVE.
 (With Planters, Pavers, Oversize Driveway, Column
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 Sub-Surface Irrigation, Drainage and Drain Tiles)

CITY OF DETROIT CITY ENGINEERING DEPARTMENT SURVEY BUREAU	
JOB NO.	01-01
DRWG. NO.	X 125

PROVISIONS FOR ENCROACHMENT For Petition 125

Detroit Water and Sewerage (DWSD) agree to the proposed encroachment subject to the fulfilling of the following provisions:

1. By approval of this petition the (DWSD) does not waive any of its rights to its facilities located in the right of way, and at all time, DWSD, its agents or employees, shall have the right to enter upon the right of way to maintain, repair, alter, service, inspect, or install its facilities. All costs incident to the damaging, dismantling, demolishing, removal and replacement of structures or other improvements herein permitted and incurred in gaining access to DWSD's facilities for maintenance, repairing, alteration, servicing or inspection caused by the encroachment shall be borne by the petitioner. All costs associated with gaining access to DWSD's facilities, which could normally be expected had the petitioner not encroached into the right of way shall be borne by DWSD.
2. DWSD requires a vertical clearance of 18 feet above grade for maintenance excess and repair.
3. All construction performed under this petition shall not be commenced until after five (5) days written notice to DWSD. Seventy-two (72) hours notice shall also be provided in accordance with P.A. 53 1974, as amended, utilizing the MISS DIG one call system.
4. Construction under this petition is subject to inspection and approval by DWSD forces. The cost of such inspection shall, at the discretion of DWSD, be borne by the petitioner.
5. If DWSD facilities located within the right of way shall break or be damaged as the result of any action on the part of the petitioner, then in such event the petitioner agrees to be liable for all costs incident to the repair, replacement or relocation of such broken or damaged DWSD facilities.
6. The petitioner shall hold DWSD harmless for any damage to the encroaching device constructed or installed under this petition, which may be caused by the failure of DWSD's facilities.





January 12, 2018

HAND DELIVER

Honorable Detroit City Council
C/o Detroit City Clerk
Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 200
Detroit, Michigan 48226

RE: Giffels Webster - Request for encroachment into Baltimore Avenue and John R. Street

Giffels Webster, 28 W. Adams, Suite 1200, Detroit, Michigan 48226, on behalf of Baltimore and John R. LLC., 3011 W. Grand Boulevard, Suite 2300, Detroit, MI 48202, respectfully requests to encroach into the East Baltimore Ave. & John R. St. rights-of-way for the installation of specialty landscaping planters & pavers, sidewalk scoring, a column footing, one oversized driveway, signage and lighting, as well as sub-surface frost slabs, underdrains, irrigation, and drain tiles, described as follows:

- A 3-foot-wide encroachment into the Baltimore Street right-of-way, beginning at the northwest corner of the property extending 320 feet east ending at the southwest corner of the Baltimore Ave. & John R. St intersection for specialty plantings and pavers
- An encroachment into the John R. St. right-of-way, beginning at the southwest corner of the Baltimore Ave. & John R. St. intersection, extending south approximately 80' to accommodate for specialty plantings and pavers.
- Subsurface encroachments in the areas beneath the specialty planting and paver areas described above to provide irrigation and drainage to the landscaped areas.
- Non-standard scoring pattern within the concrete sidewalks along Baltimore Ave. and John R. St. LLC.
- One oversized driveway, accessible from John R. St., without pedestrian refuge that exceeds city standards.
- One column footing, located at the southeast corner of the building near the loading dock, that encroaches approximately 2 feet into the John R. St. right-of-way.
- Three sub-surface encroachments into the Baltimore Ave. right-of-way for entryway frost slabs. Entryway frost slabs shall be located at exterior doorways to reduce sidewalk heave and shall be contained within a zone where doors open into the right-of-way. These encroachments shall begin at grade and extend approximately 3.5 feet in depth.

- One sub-surface encroachment into the John R. Street right-of-way for an entryway frost slab. Entryway frost slab shall be located at the exterior doorway to reduce sidewalk heave and shall be contained within a zone where the door swings open into the right-of-way. This encroachment shall begin at grade and extend approximately 3.5 feet in depth.
- A subsurface encroachment, for the installation of drain tiles, abutting the edge of the building extending 6" into the right-of-way, spanning length of the façade along Baltimore Ave. and John R. St.
- An above grade encroachment into the public right of way, to accommodate for the installation of signage and lighting attached to the building, which will extend from 6 feet above grade to the top of the building along the face of the building that abuts Baltimore Ave. and John R. St.

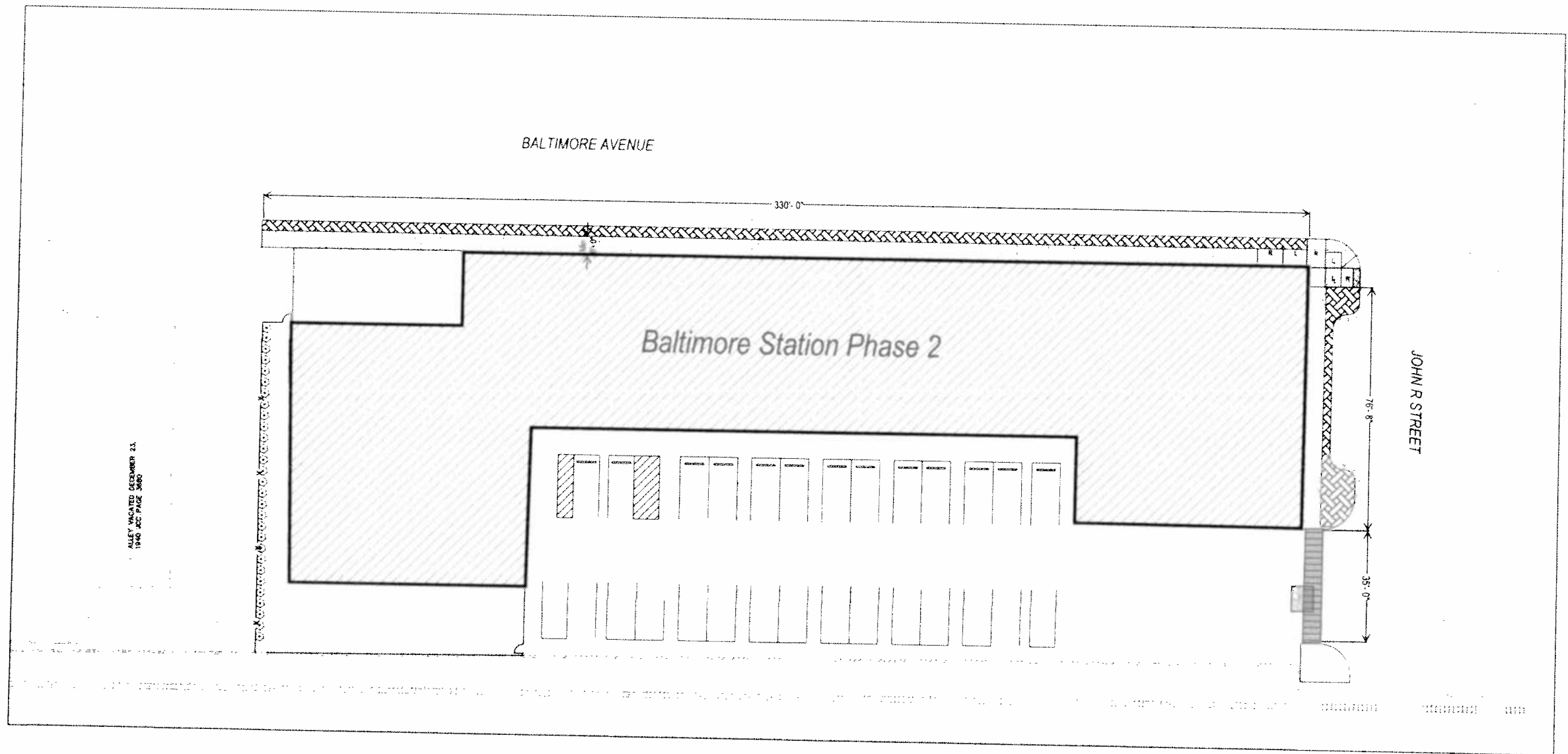
A drawing of the proposed location of encroachments is attached herein.




If you should have any questions, please do not hesitate to contact me by phone, at 313.962.4442 or by email, at mwojciechowski@giffelswebster.com.

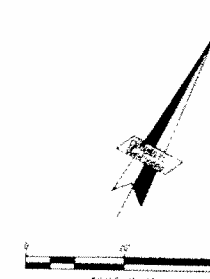
Respectfully,

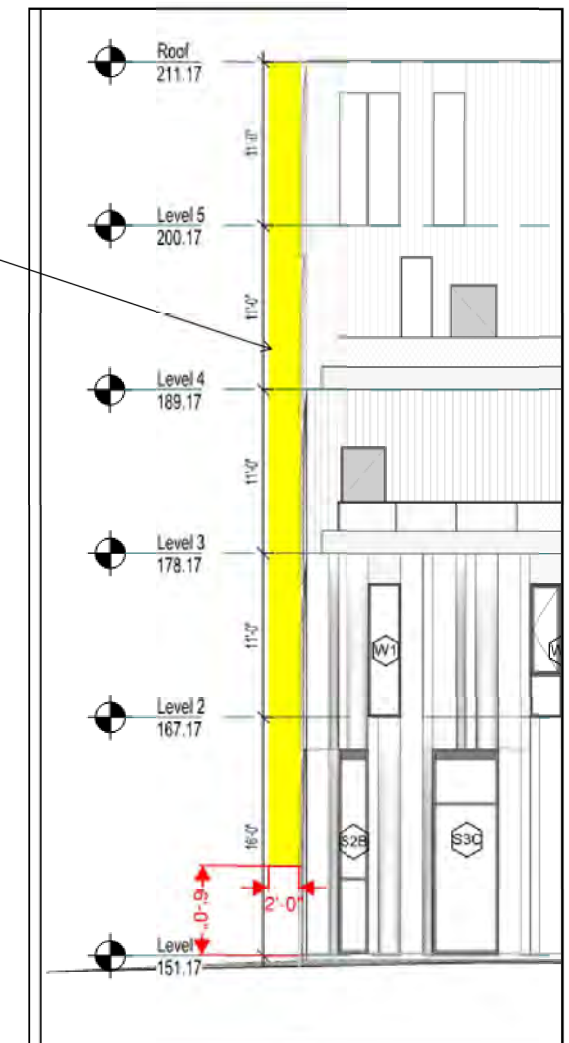
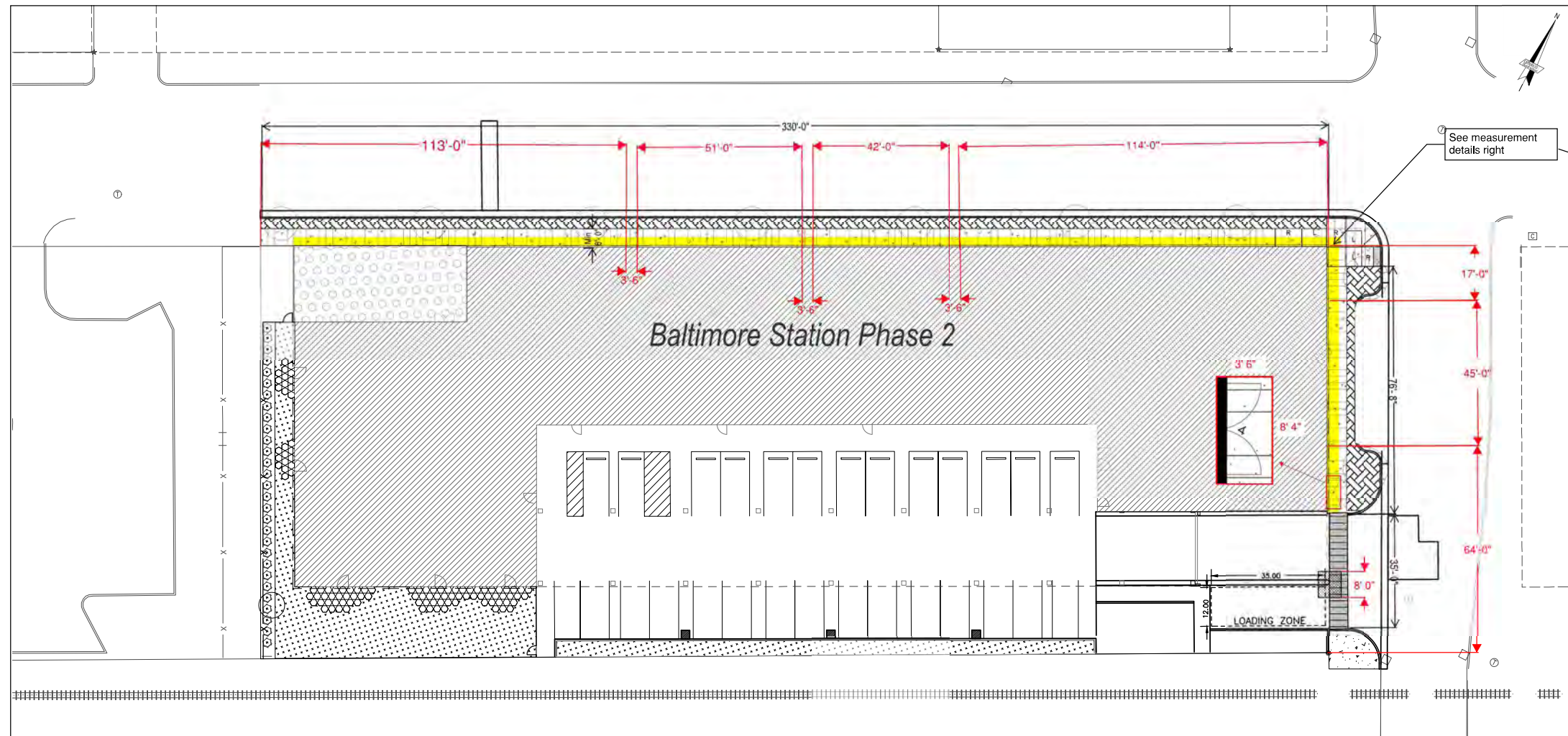





Matt Wojciechowski
Giffels Webster



-  Landscaping Encroachments
Specialty Planting & Pavers
-  Column Footing
(Approx Size and Location)
-  Oversize Driveway





-  Landscaping Encroachments
Specialty Planting & Pavers
-  Column Footing
(Approx Size and Location)
-  Oversize Driveway



PROJECT SUMMARY	
PROJECT ADDRESS	66 EAST BALTIMORE AVE DETROIT, MI 48202
LEGAL DESCRIPTION	APN 01001822-33, 01004273 (NORTH PORTION) TRACT 511600 LOT 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89 MAP REF Patrick McGinnis Sub/n Liber 4, p. 93 of PLATS MAP # 26163C0280E *Per ALTA/NSPS Land Title Survey PANEL # 280 of 575 *Per ALTA/NSPS Land Title Survey
ZONING CLASSIFICATION	SD2 MIXED USE
EXISTING USE	VACANT (P1 OPEN PARKING DISTRICT & M3)
PROPOSED USE	NEW PRIVATELY-FUNDED MIXED-USE 5-STORY BUILDING WITH 144 DWELLING UNITS ABOVE 1-STORY OF RETAIL
OCCUPANCY	R2, M, & S2
CONSTRUCTION TYPE	TYPE I-A (PODIUM) & V-A (RESIDENTIAL)

FLOOR AREA RATIO	
TOTAL ZONING LOT AREA	+/- 41,948.28 SF
ALLOWABLE FAR	N/A
PROPOSED TOTAL FLOOR AREA	115,890 SF <small>*INCLUDING exterior walls, elevator shafts and stairwells EXCLUDING noncommercial recreational space, equipment rooms, exterior terraces, and parking Per Sec 61-13-157 of 2016 Detroit Zoning Ordinance</small>
PROPOSED TOTAL FAR	115,890 / 41,948.28 = 2.76

ZONING CODE HEIGHT	
ALLOWABLE BUILDING HEIGHT	60'
ALLOWABLE STORIES	5 <small>*Per Sec 61-11-195 of 2016 Detroit Zoning Ordinance</small>
PROPOSED MAX BUILDING HEIGHT	60' <small>*From grade plane at the center of the front of the building to the highest point of the roof surface</small>
HEIGHT OF HIGHEST OCCUPIABLE FLOOR	49'
PROPOSED # OF STORIES	5

SETBACKS	
REQUIRED FRONT SETBACK [NORTH] <small>*Per Sec 61-11-195 of 2016 Detroit Zoning Ordinance</small>	0'
REQUIRED SIDE SETBACK [EAST & WEST] <small>*Per Sec 61-11-195 of 2016 Detroit Zoning Ordinance</small>	0'
REQUIRED REAR SETBACK [SOUTH] <small>*Per Sec 61-11-195 of 2016 Detroit Zoning Ordinance</small>	30'
PROVIDED FRONT SETBACK [NORTH]	0'
PROVIDED SIDE SETBACK [EAST & WEST]	0', 10'
PROVIDED REAR SETBACK [SOUTH]	20' <small>*10' reduction to be requested by Zoning Variance</small>

RESIDENTIAL PARKING	
RESIDENTIAL SPACES REQUIRED <small>*Per Sec 61-14-24 of 2016 Detroit Zoning Ordinance</small>	138 units x 0.75 = 104
ON-SITE PARKING SPACES PROVIDED <small>*Per Sec 61-14-122 of 2016 Detroit Zoning Ordinance</small>	27 (standard) + 2 (accessible*) = 29
ADDITIONAL PARKING SPACES TO BE PROVIDED PER NARRATIVE	104 - 29 = 75
TOTAL RESIDENTIAL PARKING TO BE PROVIDED	104

COMMERCIAL PARKING	
COMMERCIAL SPACES REQUIRED <small>*Per Sec 61-14-39, Sec 61-14-71, and Sec 61-14-103 of 2016 Detroit Zoning Ordinance</small>	8,500 SF x 1/200 x 0.75 = 32
REQUEST FOR WAIVED PARKING SPACES <small>*Per Sec 61-14-103 of 2016 Detroit Zoning Ordinance</small>	(5 units * -1,700 SF) x 1/200 x 0.75 = -32
TOTAL COMMERCIAL PARKING SPACES TO BE PROVIDED	32 - 32 = 0

PARKING TOTALS	
TOTAL PARKING SPACES REQUIRED	104 + 0 = 104
TOTAL PARKING SPACES PROVIDED ON-SITE	29**
**ADDITIONAL PARKING PROVIDED PER ATTACHED PARKING NARRATIVE	

ACCESSIBLE PARKING	
MIN. NUMBER OF CAR-ACCESSIBLE SPACES REQUIRED <small>*Per Sec 61-14-122 of 2016 Detroit Zoning Ordinance</small>	4
MIN. NUMBER OF VAN ACCESSIBLE SPACES REQUIRED <small>*Per Sec 61-14-122 of 2016 Detroit Zoning Ordinance</small>	1
TOTAL ACCESSIBLE SPACES TO PROVIDED (ON-SITE)	2

QUANTITATIVE SUMMARY CHART	
ZONING	SD2
OVERLAYS	None
PROPOSED USE	Mixed Use
LOT TOTAL ACREAGE	0.963 acres (+/- 41,948.28 SF)
BUILDING SQUARE FOOTAGE	115,890 SF Residential 107,390 SF Commercial 8,500 SF Office 0
LOT COVERAGE (Total building envelope)	79.9%
LOT COVERAGE (Ground floor footprint)	51.4%
SETBACKS PROVIDED	Front: 0 Rear: 20' Side(s): 0', 10'
HEIGHT	Feet: 60 Stories: 5 <small>*From grade plane at the center of the front of the building to the highest point of the roof surface</small>
FAR	2.76
DWELLING UNITS (TOTAL)	138 Efficiency (Co-Living) 37 Studio 56 1-Bedroom 27 2-Bedroom 18

A0.01	COVER SHEET
CIVIL	
C1.00	NOTES & LEGENDS
C1.10	EXISTING CONDITIONS, WEST
C1.11	EXISTING CONDITIONS, EAST
C1.20	DEMOLITION PLAN, WEST
C1.21	DEMOLITION PLAN, EAST
C1.30	SECC, WEST
C1.31	SECC, EAST
C1.40	SITE PLAN, WEST
C1.41	SITE PLAN, EAST
C1.50	GRADING PLAN, WEST
C1.51	GRADING PLAN, EAST
C1.60	UTILITY PLAN, WEST
C1.61	UTILITY PLAN, EAST
C5.00 DETAILS	
C5.01	SECC DETAILS
LANDSCAPE	
L1.0	LANDSCAPE PLAN, WEST
L1.1	LANDSCAPE PLAN, EAST
L5.0	LANDSCAPE DETAILS
ARCHITECTURAL	
A2.01	LEVEL 1 FLOOR PLAN
A2.02	LEVEL 2 FLOOR PLAN
A2.03	LEVEL 3 FLOOR PLAN
A2.04	LEVEL 4 FLOOR PLAN
A2.05	LEVEL 5 FLOOR PLAN
A2.06	ROOF PLAN
A3.01	BUILDING ELEVATIONS
A3.02	BUILDING ELEVATIONS
A5.01	DETAILS

SHEET INDEX		SCALE	
		N/A	4

OWNER	MECHANICAL
Baltimore Station, LLC 3011 W. Grand Blvd. Suite 2300 Detroit, MI 48202 t: 313.409.8715	Temperature Engineering Corporation 7081 Dan McGuire Dr. Brighton, MI 48116 t: 248.486.8888

ARCHITECT	ELECTRICAL
Lorcan O'Herlihy Architects 4106 West Jefferson Blvd. Los Angeles, CA 90016 t: 310.657.4363	Daniel Electric Co. 3000 Auburn Rd. Auburn Hills, MI 48326 t: 248.299.0900

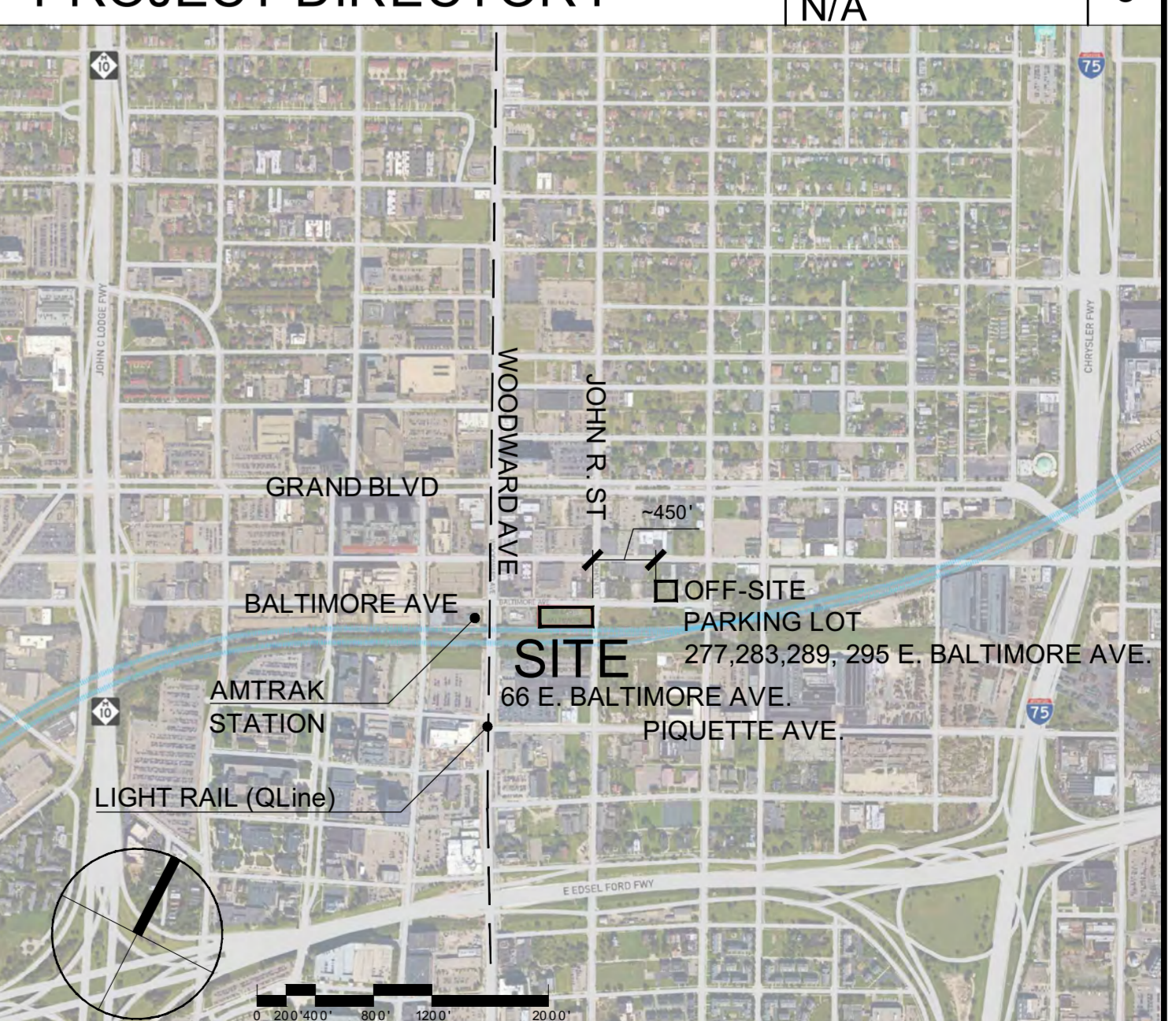
CIVIL & LANDSCAPE	PLUMBING
Giffels Webster 28 West Adams Road, Suite 1200 Detroit, MI 48226 t: 313.962.4442	JERMOR Plumbing & Heating, Inc. 15450 Dale Street Detroit, MI 48223 t: 313.255.3847

STRUCTURAL	
SDI Structures 275 East Liberty Ann Arbor, MI 48104 t: 734.213.6091	

PRECONSTRUCTION	
O'BRIEN CONSTRUCTION COMPANY 966 Livernois Troy, MI 48063 t: 248.334.2470	

GEOTECH	
ASTI Environmental 10448 Citation Drive, Suite 100 Brighton, MI 48116 t: 800.395.2784	

PROJECT DIRECTORY		SCALE	
		N/A	3



APPROVED
ePLAN
SITE PLAN REVIEW

AUTHORIZED REP: Melody White

PROJECT: PLN-2730

DATE: 10/26/17

SLU #: SLU2017-00015

LORCAN O'HERLIHY ARCHITECTS
4106 West Jefferson Blvd
Los Angeles, CA 90016
t: 310.657.4363
f: 310.657.4980
www.loharchitects.com

66 EAST BALTIMORE

66 EAST BALTIMORE AVE
DETROIT, MI 48202
Architect's Stamp



Consultants

No.	Description	Date
1	SITE PLAN APPROVAL	08/11/17

SITE PLAN APPROVAL ONLY

Key Section

Key Plan

Sheet Name

COVER SHEET

A0.01

66 EAST BALTIMORE

66 EAST BALTIMORE AVE.
DETROIT, MI 48202



Consultants

No.	Description	Date
1	SITE PLAN APPROVAL	08/15/17

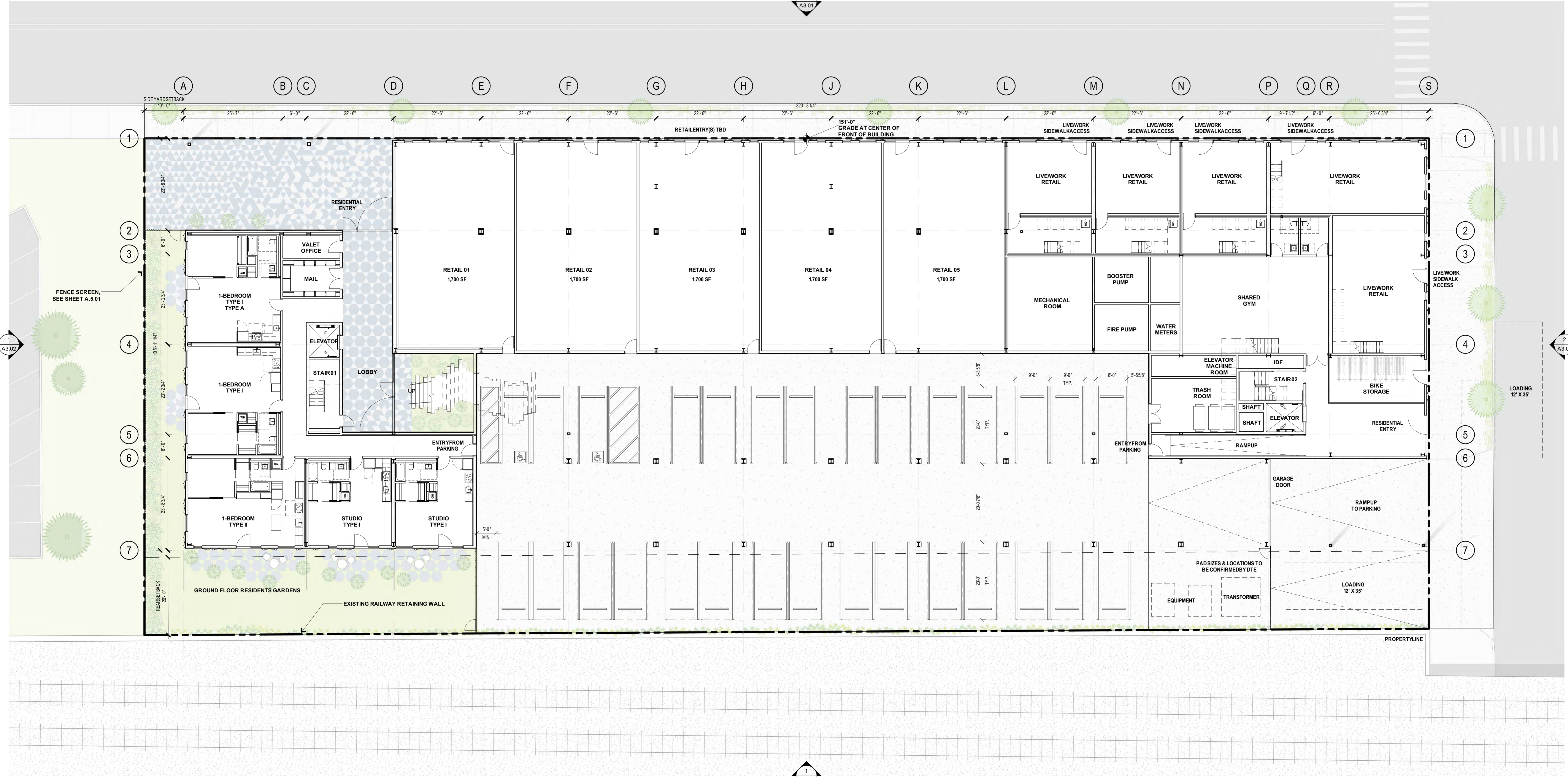
SITE PLAN
APPROVAL ONLY

Key Section

Key Plan

Sheet Name
FIRST FLOOR PLAN

A2.01



LORCAN
O'HERLIHY
ARCHITECTS
4106 West Jefferson Blvd
Los Angeles, CA 90016
1 310.457.4363
1 310.457.4980
www.loharchitects.com

**66 EAST
BALTIMORE**

66 EAST BALTIMORE AVE
DETROIT, MI 48202
Architect's Stamp



Consultants

Issued For:	No.	Description	Date
	1	SITE PLAN APPROVAL	08/13/17

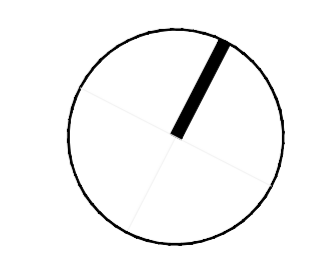
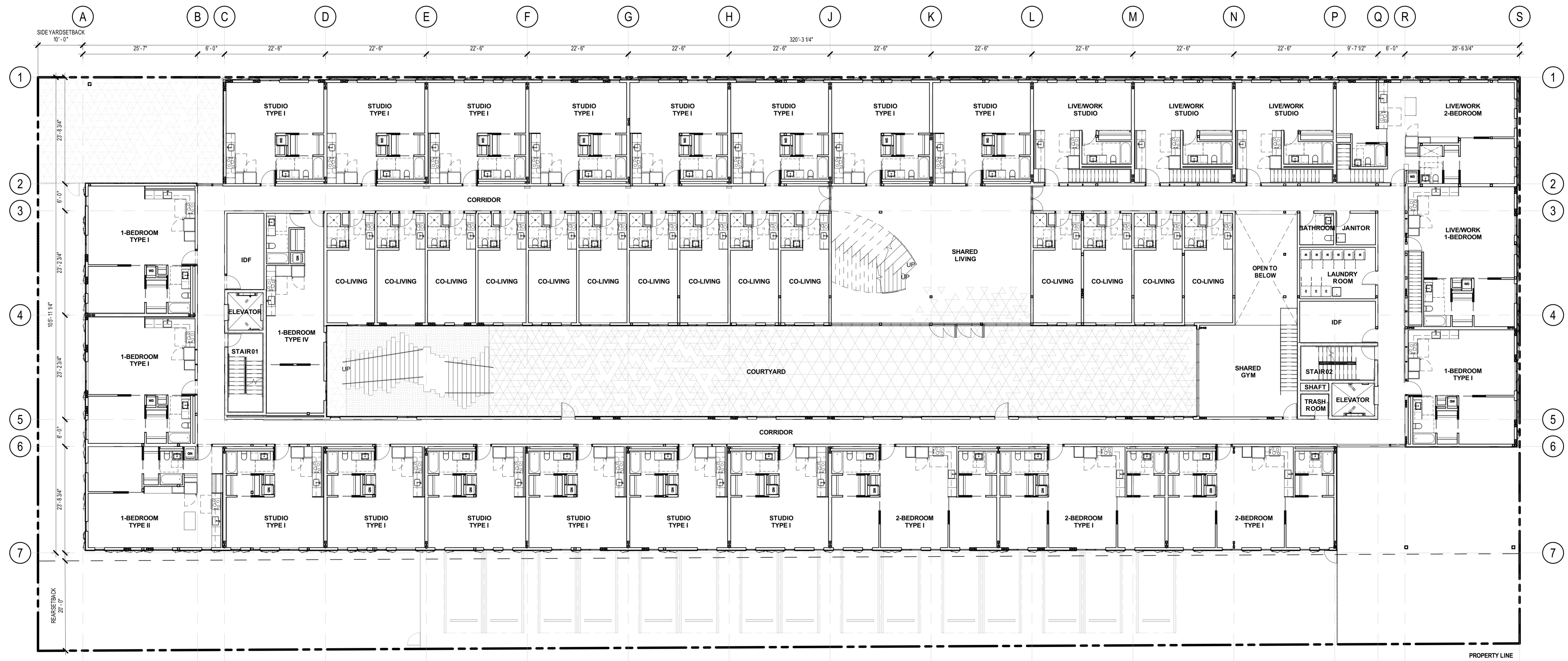
**SITE PLAN
APPROVAL ONLY**

Key Section

Key Plan

Sheet Name
**SECOND
FLOOR PLAN**

A2.02



66 EAST BALTIMORE

66 EAST BALTIMORE AVE.
DETROIT, MI 48202
Architect's Stamp



Consultants

No.	Description	Date
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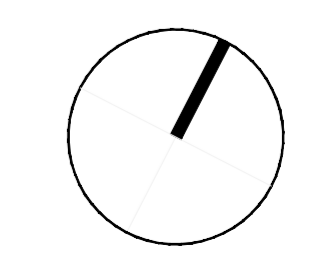
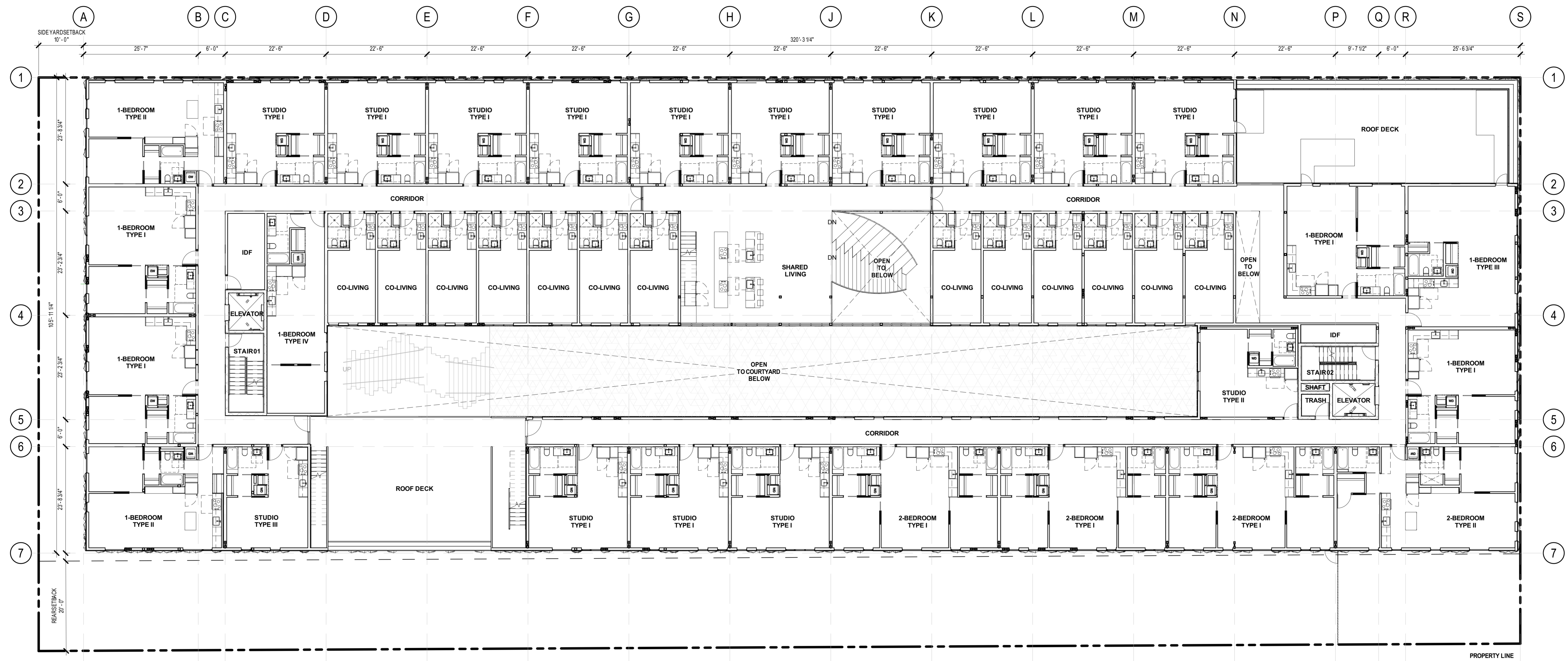
SITE PLAN APPROVAL ONLY

Key Section

Key Plan

Sheet Name
THIRD FLOOR PLAN

A2.03



**66 EAST
BALTIMORE**

66 EAST BALTIMORE AVE.
DETROIT, MI 48202
Architect's Stamp



Consultants

No.	Description	Date
1	SITE PLAN APPROVAL	08/15/17

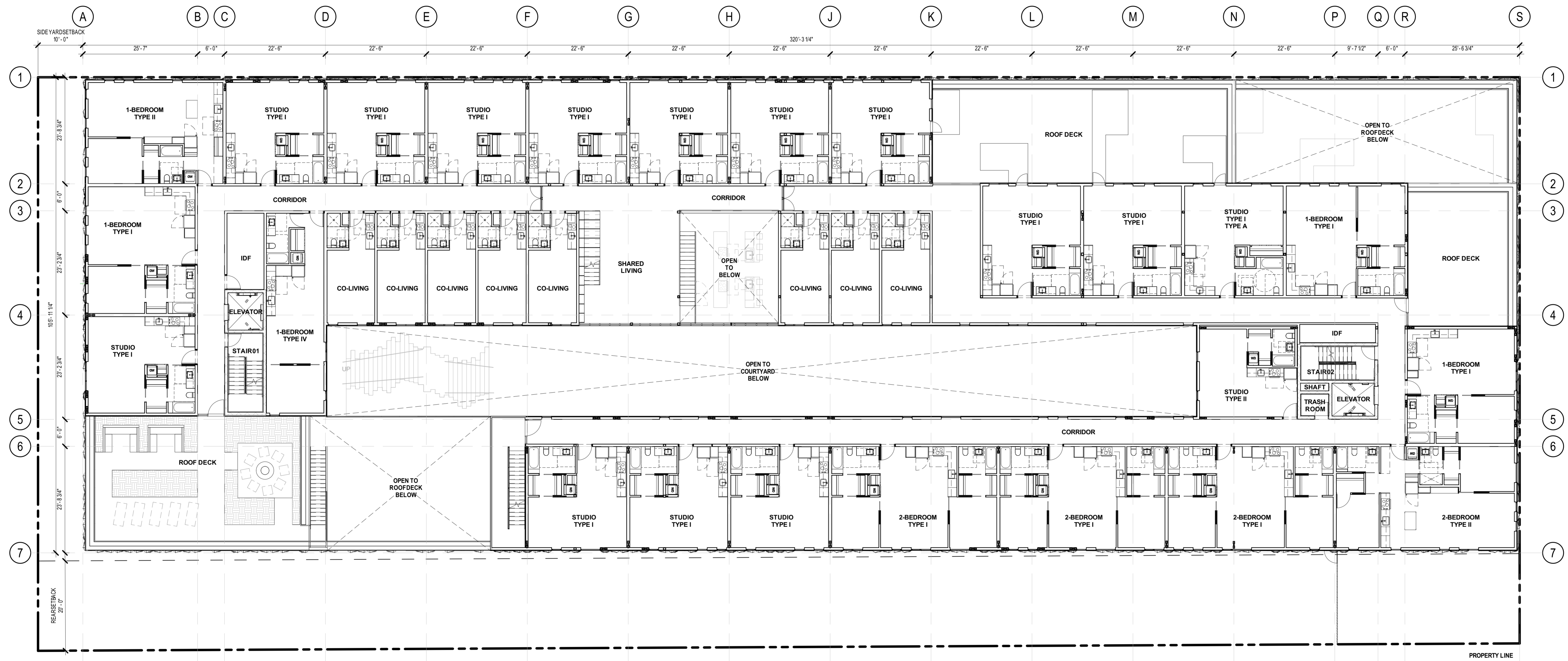
**SITE PLAN
APPROVAL ONLY**

Key Section

Key Plan

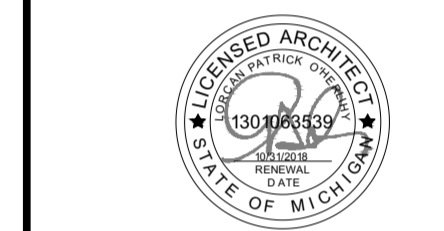
Sheet Name
**FOURTH
FLOOR PLAN**

A2.04



**66 EAST
BALTIMORE**

66 EAST BALTIMORE AVE.
DETROIT, MI 48202



Consultants

No.	Description	Date
1	SITE PLAN APPROVAL	08/15/17

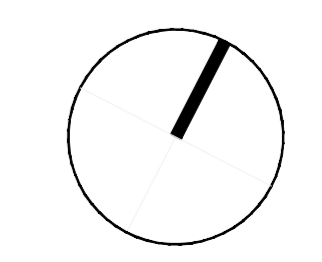
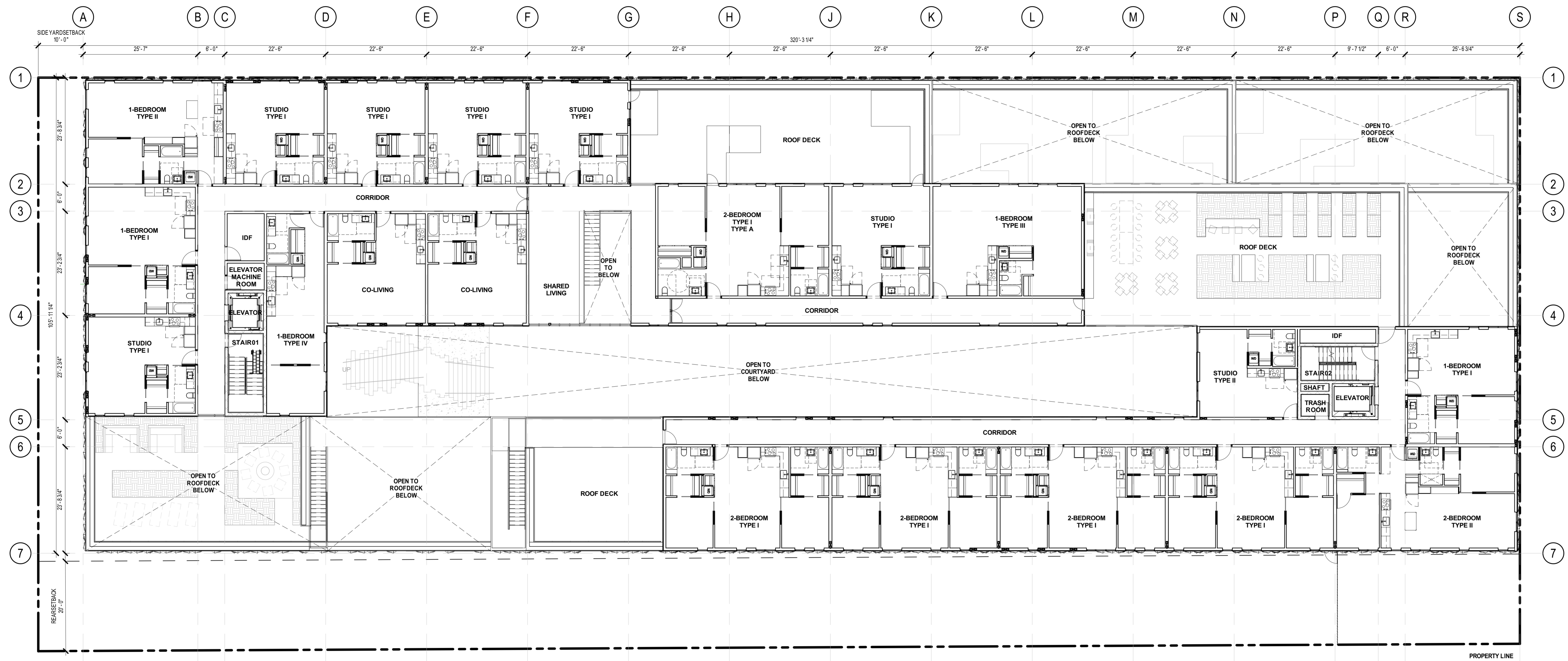
**SITE PLAN
APPROVAL ONLY**

Key Section

Key Plan

Sheet Name
**FIFTH
FLOOR PLAN**

A2.05



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DETROIT, MI 48202



Consultant

Issued For:	No.	Description	Date
	1	SITE PLAN APPROVAL	08/15/17

SITE PLAN APPROVAL ONLY

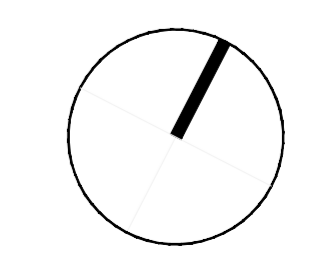
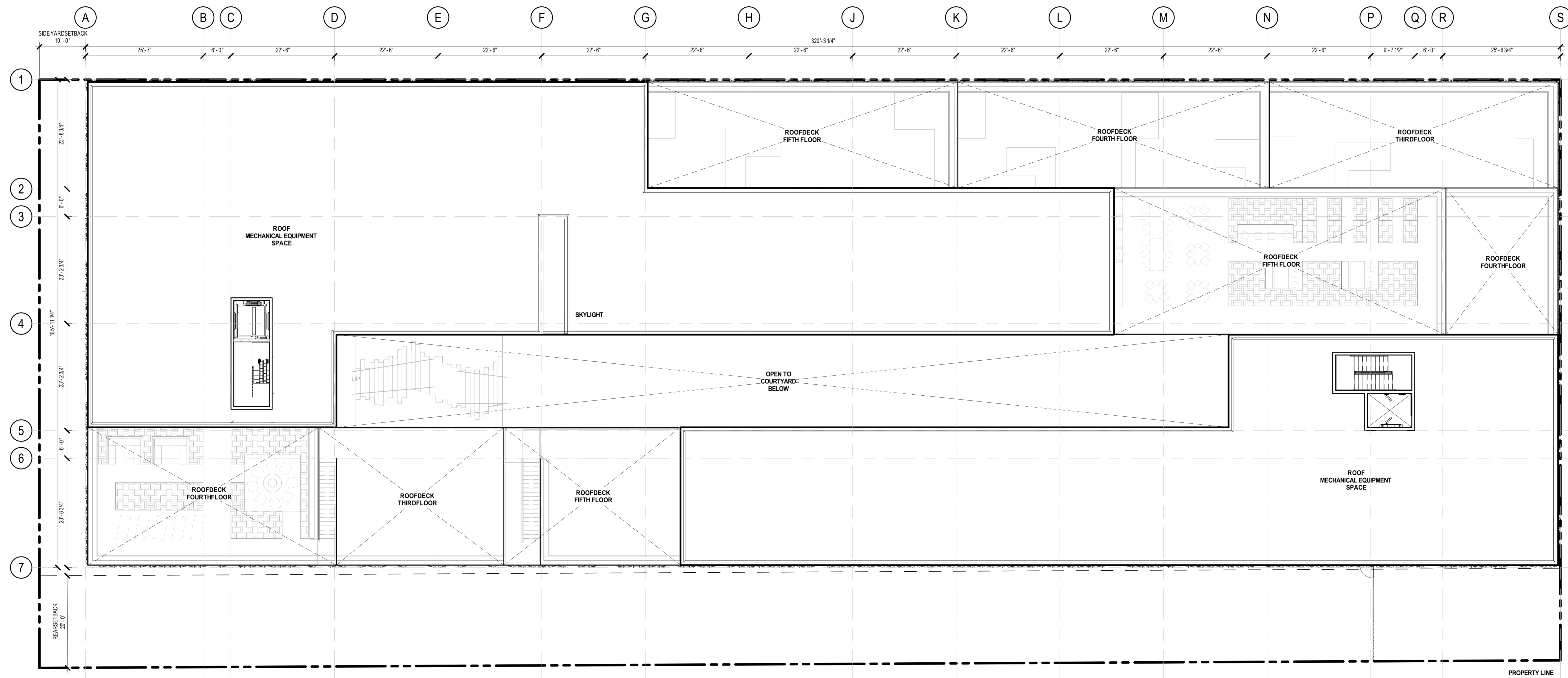
Key Section

Key Plan

Sheet Name

ROOF PLAN

A2.06



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Consultants



NORTH ELEVATION - BALTIMORE AVE.

SCALE
3/32"=1'-0"

2

No.	Description	Date
1	SITE PLAN APPROVAL	08/15/17



SOUTH ELEVATION

SCALE
3/32"=1'-0"

1

SITE PLAN APPROVAL ONLY

Key Section

Key Plan

Sheet Name
BUILDING ELEVATIONS

A3.01



EAST ELEVATION - JOHN R ST.

SCALE 3/32"=1'-0"

2



WEST ELEVATION

SCALE 3/32"=1'-0"

1

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No.	Description	Date
1	SITE PLAN APPROVAL	08/15/17

SITE PLAN APPROVAL ONLY

Key Section

Key Plan

Sheet Name
BUILDING ELEVATIONS

A3.02



Consultants

Issued For:

No.	Description	Date
1	SITE PLAN APPROVAL	08/11/17

SITE PLAN APPROVAL ONLY

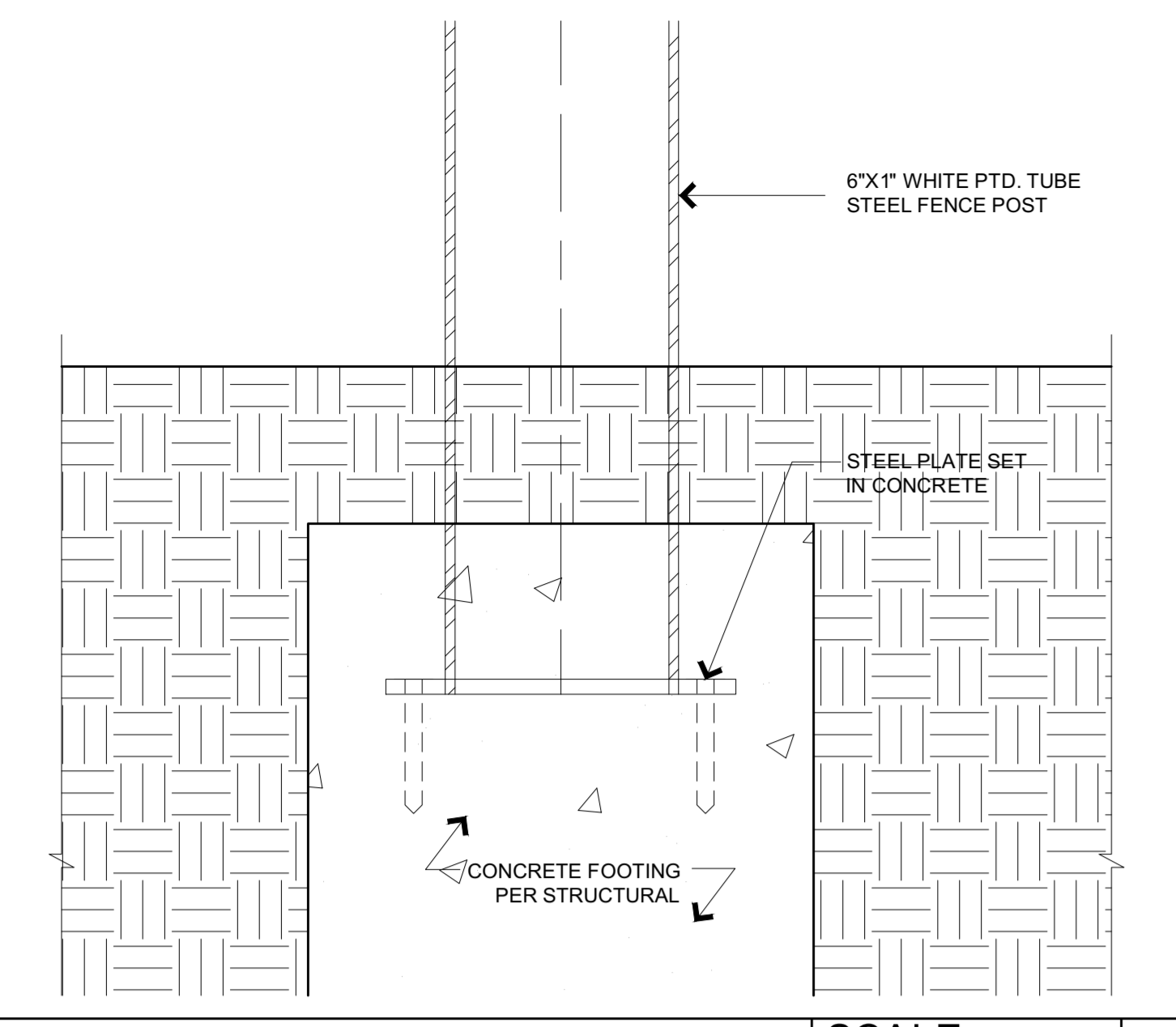
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Key Plan

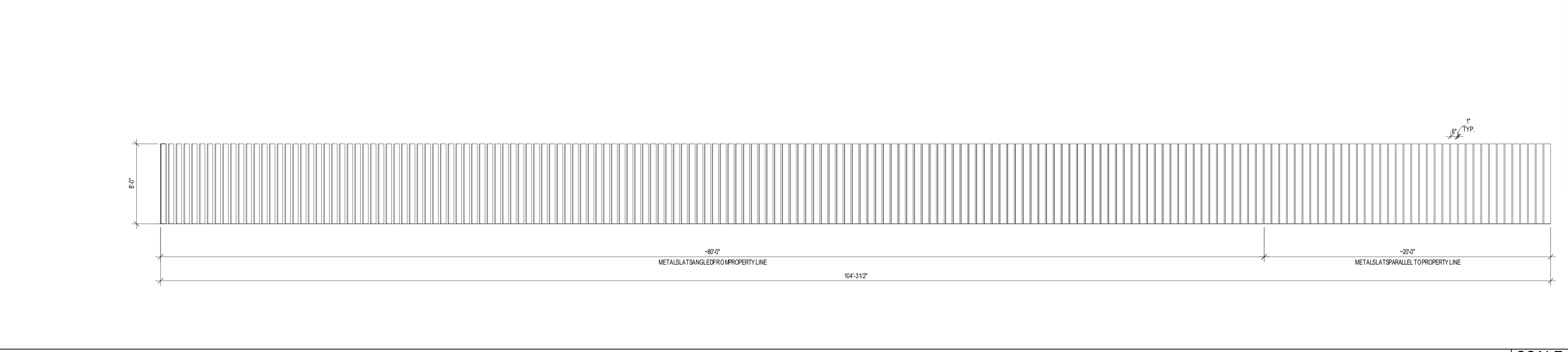
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DETAILS

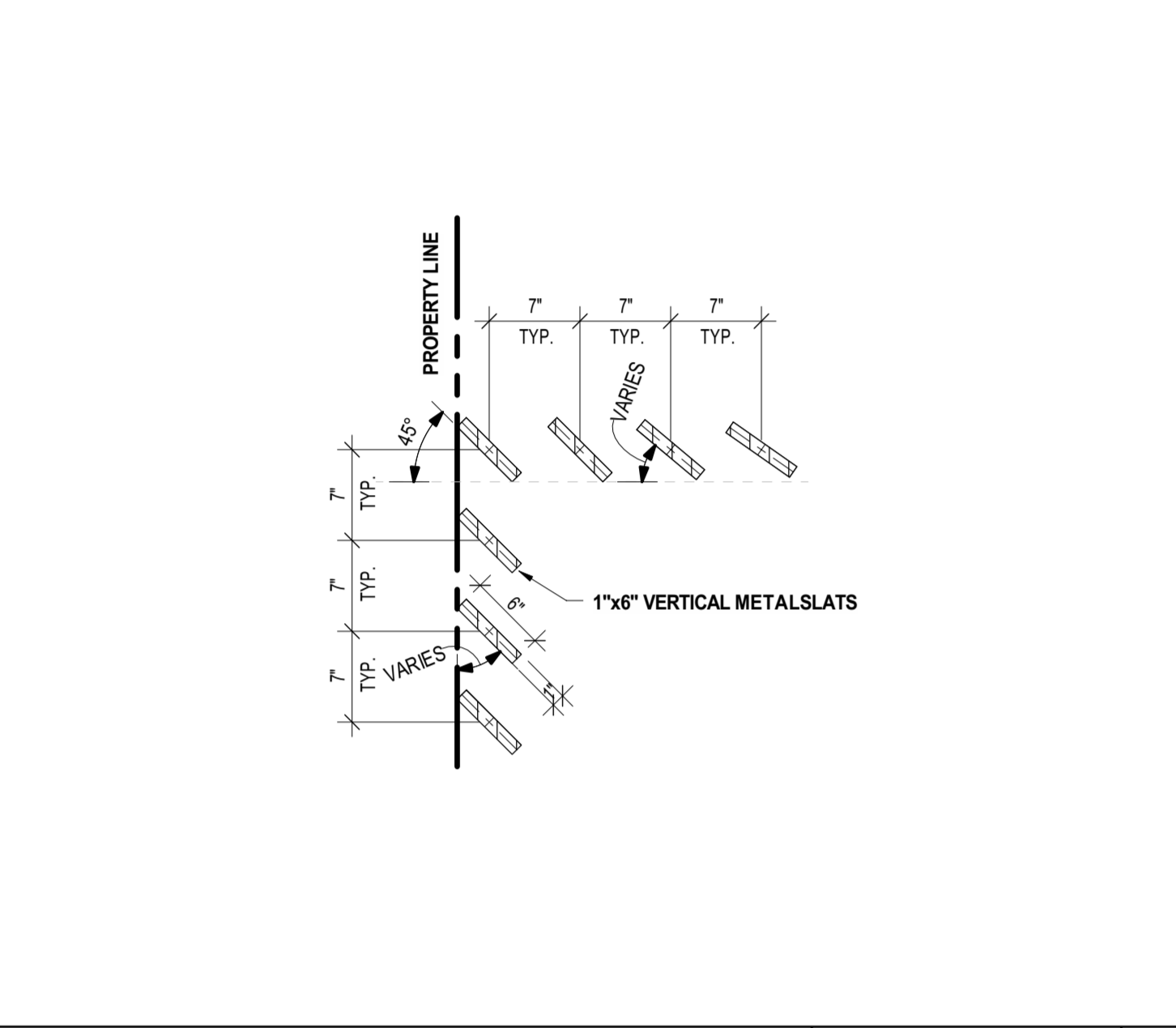
A5.01



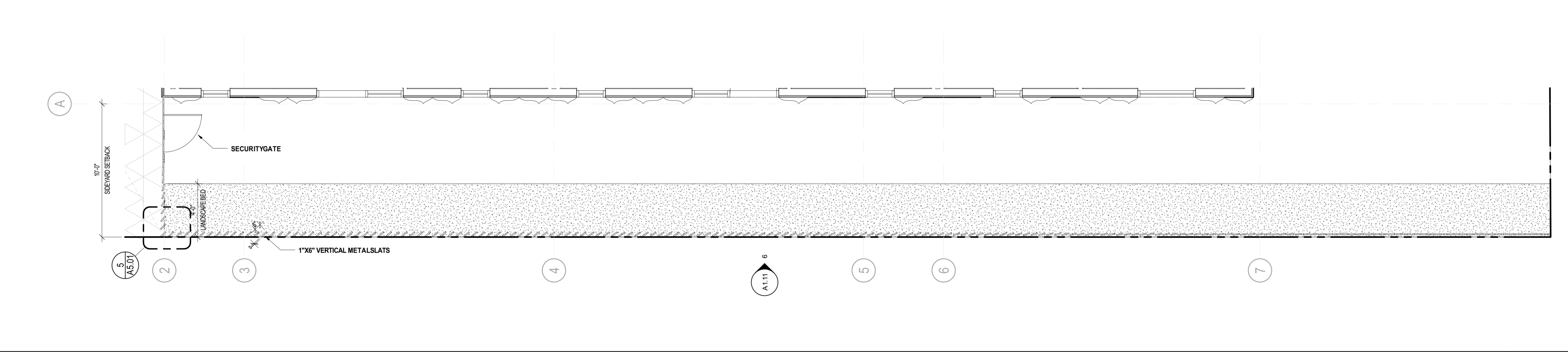
FENCE SECTION DETAIL SCALE 3"=1'-0"



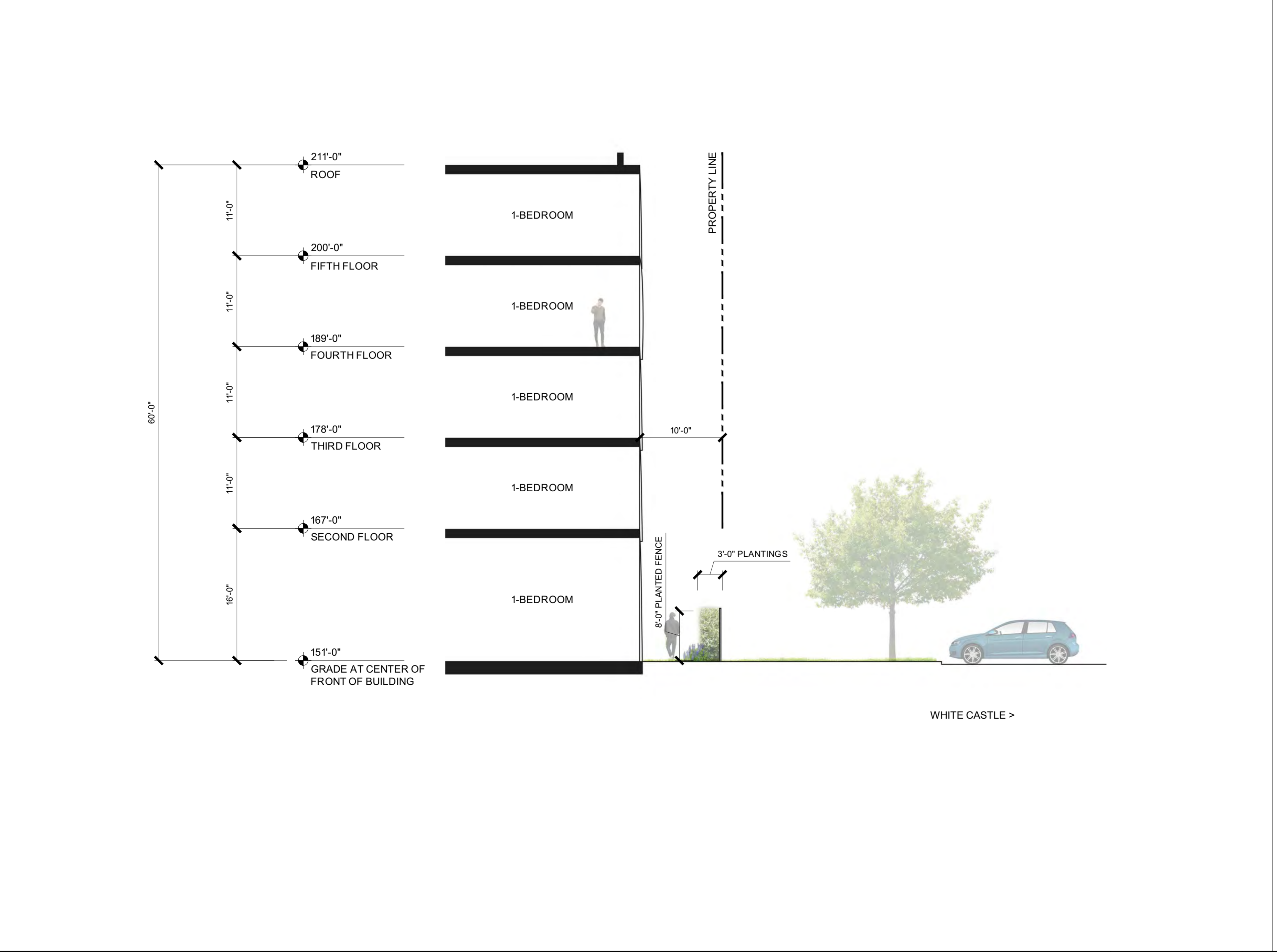
FENCE SCREEN ENLARGED ELEVATION SCALE 1/4"=1'-0"



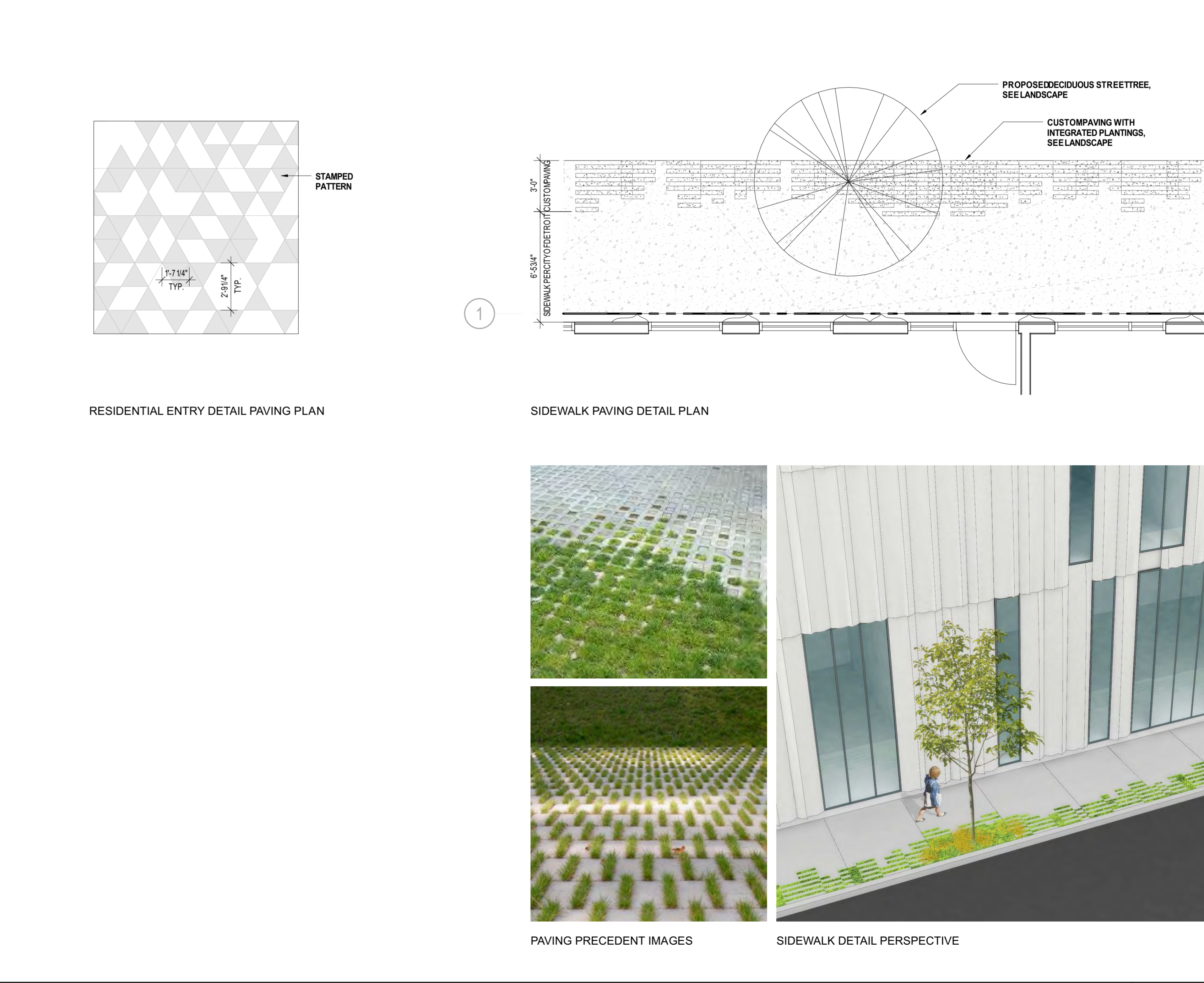
FENCE PLAN DETAIL SCALE 1"=1'-0"



FENCE SCREEN ENLARGED PLAN SCALE 1/4"=1'-0"



FENCE SCREEN SECTION @ WEST PROPERTY LINE SCALE 1/2"=1'-0"



SIDEWALK & PAVING DETAILS SCALE 1/8"=1'-0"

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF DETROIT, AND ANY/OR OTHER AGENCIES HAVING JURISDICTION.
2. UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT.
3. IF SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.

DEMOLITION NOTES

- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR.
3. THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.

GENERAL LEGEND

Table with columns: EXISTING, PROPOSED, and descriptions of various symbols for storm sewers, gas mains, electrical lines, etc.

UTILITY NOTES

- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
C. GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS

PAVING AND GRADING NOTES

- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS.
3. BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.

EROSION CONTROL NOTES

- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF WAYNE COUNTY.
3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.

EROSION CONTROL SEQUENCE

- 1. INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON-SITE CONTAINMENT.
2. INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.

ABBREVIATIONS

Table with columns: ABBREVIATION and ITEM, listing symbols for ASPH, CONC, A.C., G.P., etc.



AUTHORIZED REP: Melody White
PROJECT: PLN-2730
DATE: 10/26/17
SLU #: SLU2017-00015

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66 EAST BALTIMORE

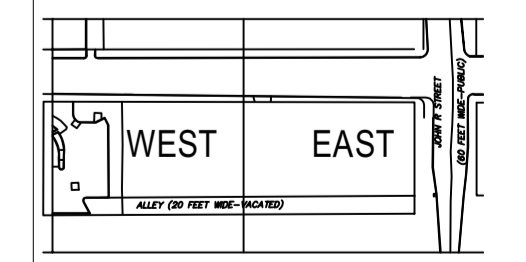
66 EAST BALTIMORE AVE. DETROIT, MI 48202



Table with columns: No, Description, Date, listing revision history for Site Plan Submission, Revision 1, and Site Plan Approval.

NOT FOR CONSTRUCTION

Key Section
Key Plan



Notes and Legend

Vertical text on the right margin: \13\1307\6463\Deloitte\05-02017\6463\DWG\PROJECT\GENERAL NOTES - LOT PLANS & LEGENDS.dwg

NOTES:

- MEASURED BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM
- GAS, TELEPHONE, STEAM AND PUBLIC LIGHTING UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- WOODWARD AVENUE WAS UNDER CONSTRUCTION AT THE TIME OF THE SURVEY.
- UTILITY STRUCTURES WITHIN CONSTRUCTION ZONE WERE NOT OPENED AT TIME OF THIS SURVEY.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- ELECTRIC, TELEPHONE, COMCAST AND SEWER UTILITY MAPS ARE SCHEMATICS. ACCURATE INTERPRETATION OF THESE MAPS CANNOT BE MADE FOR THIS DRAWING.
- PARCEL LIES OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 26130C0202E, DATED FEBRUARY 2, 2012.

SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIIM	DROP	INVERT	DIRECTION	COMMENTS
164	COMB MANHOLE DWSD	12"	151.62	-9.80	141.82	NORTHWEST	
		18"	151.62	-10.10	141.52	SOUTHEAST	
		20"	151.62	-12.65	138.97	WEST	
1533	ROUND CATCH BASIN	4" PVC	152.09	-2.42	149.67	NORTHEAST	OFFSITE, 24" CONCRETE WELL, FULL OF WATER
1573	ROUND CATCH BASIN	4" PVC	152.14	-2.90	149.24	NORTHEAST	24" CONCRETE WELL, FULL OF WATER
		T/DEBRIS	152.08	-2.65	149.43	EAST	24" CONCRETE WELL, FULL OF DEBRIS
1588	ROUND CATCH BASIN	4" PVC	152.08	-2.65	149.43	NORTHEAST	24" CONCRETE WELL, FULL OF DEBRIS
1638	PUBLIC LIGHTING MANHOLE	T/DEBRIS	150.87	-2.93	147.84	NO WIRES VISIBLE	FULL OF WATER, FULL OF DEBRIS
1644	UNKNOWN MANHOLE	T/DEBRIS	150.80	-2.93	147.84	NO WIRES VISIBLE	12" STRUCTURE, POSSIBLE WATER METER, FULL OF DEBRIS
1648	CATCH BASIN	T/DEBRIS	150.08	-5.25	144.83	NORTHEAST	18" CLAY WELL
1649	STORM MANHOLE DWSD	12" CLAY	150.71	-4.35	146.36	NORTHEAST	
		6" CLAY	150.71	-3.65	147.06	WEST	
		BOTTOM	150.71	-5.68	145.03		DWSD, FULL OF WATER
1682	ELECTRIC MANHOLE		150.57				SWIVELOC, UNABLE TO OPEN
1683	ELECTRIC MANHOLE	BOTTOM	150.72	-5.85	144.87	WIRES NORTH & SOUTH	
1684	STORM MANHOLE DWSD	CL CHANNEL	150.71	-12.33	138.38	NORTH & SOUTH, FLOWS SOUTH	DWSD
1685	PUBLIC LIGHTING MANHOLE	T/DEBRIS	150.29	-5.82	144.47	WIRES NORTH & SOUTH	
1789	TELEPHONE MANHOLE	T/DEBRIS	146.57	-5.55	141.02	WIRES NORTH & EAST & SOUTH	FULL OF DEBRIS
1807	ELECTRIC MANHOLE	T/DEBRIS	146.69	-6.53	140.16	WIRES NORTH & EAST & SOUTH	FULL OF DEBRIS
1908	CATCH BASIN	BOTTOM	145.45	-4.55	140.90	ELBOW EAST TO 1809	12" CLAY WELL
1909	CATCH BASIN	T/DEBRIS	145.78	-1.00	144.78	NO WIRES VISIBLE	FULL OF DEBRIS
1910	TELEPHONE MANHOLE	T/DEBRIS	146.65	-5.35	141.30	NORTH & EAST & SOUTH	FULL OF WATER, FULL OF DEBRIS
1915	PUBLIC LIGHTING MANHOLE	T/DEBRIS	147.45	-3.88	143.57	WIRES NORTH & SOUTH	
1816	ELECTRIC MANHOLE	T/DEBRIS	150.62	-4.25	146.37	WIRES NORTH & EAST & SOUTH & WEST	
1817	TELEPHONE MANHOLE	T/DEBRIS	150.70	-6.67	144.03	WIRES NORTH & EAST & SOUTH & WEST	
1818	CATCH BASIN	T/DEBRIS	150.21	-4.35	145.86		18" CLAY WELL, FULL OF WATER, FULL OF DEBRIS
1819	GATE VALVE	T/NUT	150.59	-3.35	147.24	NO WIRES VISIBLE	FULL OF DEBRIS
1920	CATCH BASIN	T/DEBRIS	150.22	-3.20	147.02	NO WIRES VISIBLE	18" CLAY WELL, FULL OF DEBRIS
1922	CATCH BASIN	T/DEBRIS	150.84	-5.38	144.74	NO WIRES VISIBLE	18" CLAY WELL, FULL OF WATER, FULL OF DEBRIS
1833	ROUND CATCH BASIN	4" PVC	152.06	-2.47	149.59	NORTHEAST	OFFSITE, 24" CONCRETE WELL, FULL OF WATER
		T/DEBRIS	152.06	-3.85	148.21		


APPROVED
ePLAN
SITE PLAN REVIEW

AUTHORIZED REP: Melody White

PROJECT: PLN-2730

DATE: 10/26/17

SLU #: SLU2017-00015




UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

PROPERTY DESCRIPTION

(PER TITLE COMMITMENT NO. 736048, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED FEBRUARY 08, 2016) THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF WAYNE, CITY OF DETROIT, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 1, PATRICK MCGINNIS SUB'N, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 4, PAGE 93 OF PLATS, WAYNE COUNTY RECORDS, AND RUNNING 129 FEET NORTHERLY ALONG THE EASTERLY LINE OF WOODWARD AVENUE TO ITS INTERSECTION WITH THE SOUTHERLY LINE OF BALTIMORE AVENUE; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF BALTIMORE AVENUE TO ITS INTERSECTION WITH THE WESTERLY LINE OF JOHN R STREET; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF JOHN R STREET 126.10 FEET; THENCE WESTERLY TO THE PLACE OF BEGINNING, INCLUDING LOTS 1, 2, 3 AND 78 TO 89, INCLUSIVE, OF SAID PATRICK MCGINNIS SUB'N; AND THE 20 FOOT ALLEY LYING SOUTH OF LOTS 78 TO 89, INCLUSIVE, AND THE 20 FOOT ALLEY LYING WESTERLY OF LOT 78.

SCHEDULE B - SECTION II EXCEPTIONS

(PER TITLE COMMITMENT NO. 736048, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED FEBRUARY 08, 2016)

ITEM 6. SUBJECT TO EASEMENT F OR TELECOMMUNICATIONS AS DISCLOSED BY EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION RECORDED IN LIBER 5040, PAGE 889. NO PLOTTABLE EASEMENTS.

ITEM 7. SUBJECT TO EASEMENT F OR TELECOMMUNICATIONS AS DISCLOSED BY EASEMENT DEED BY COURT ORDER IN SETTLEMENT OF LANDOWNER ACTION RECORDED IN LIBER 5070, PAGE 1017. NO PLOTTABLE EASEMENTS.

ITEM 8. SUBJECT TO TERMS AND CONDITIONS CONTAINED IN ZONING APPROVAL LETTERS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 2781, PAGE 172. NO PLOTTABLE EASEMENTS.

ITEM 9. EASEMENT FOR PUBLIC UTILITIES OVER THAT PORTION OF LAND INCLUDED IN THE VACATED ALLEY AS EVIDENCED BY INSTRUMENT RECORDED IN COMMON COUNCIL PROCEEDINGS 1904, PAGE 1934 AND COMMON COUNCIL PROCEEDINGS 1940, PAGE 3680. VACATED ALLEY SHOWN GRAPHICALLY. ALLEY OUTRIGHT VACATED ON DECEMBER 23, 1940, J.C.C. PAGE 3680. EASEMENT WAS NOT RETAINED.

BENCH MARK DATA

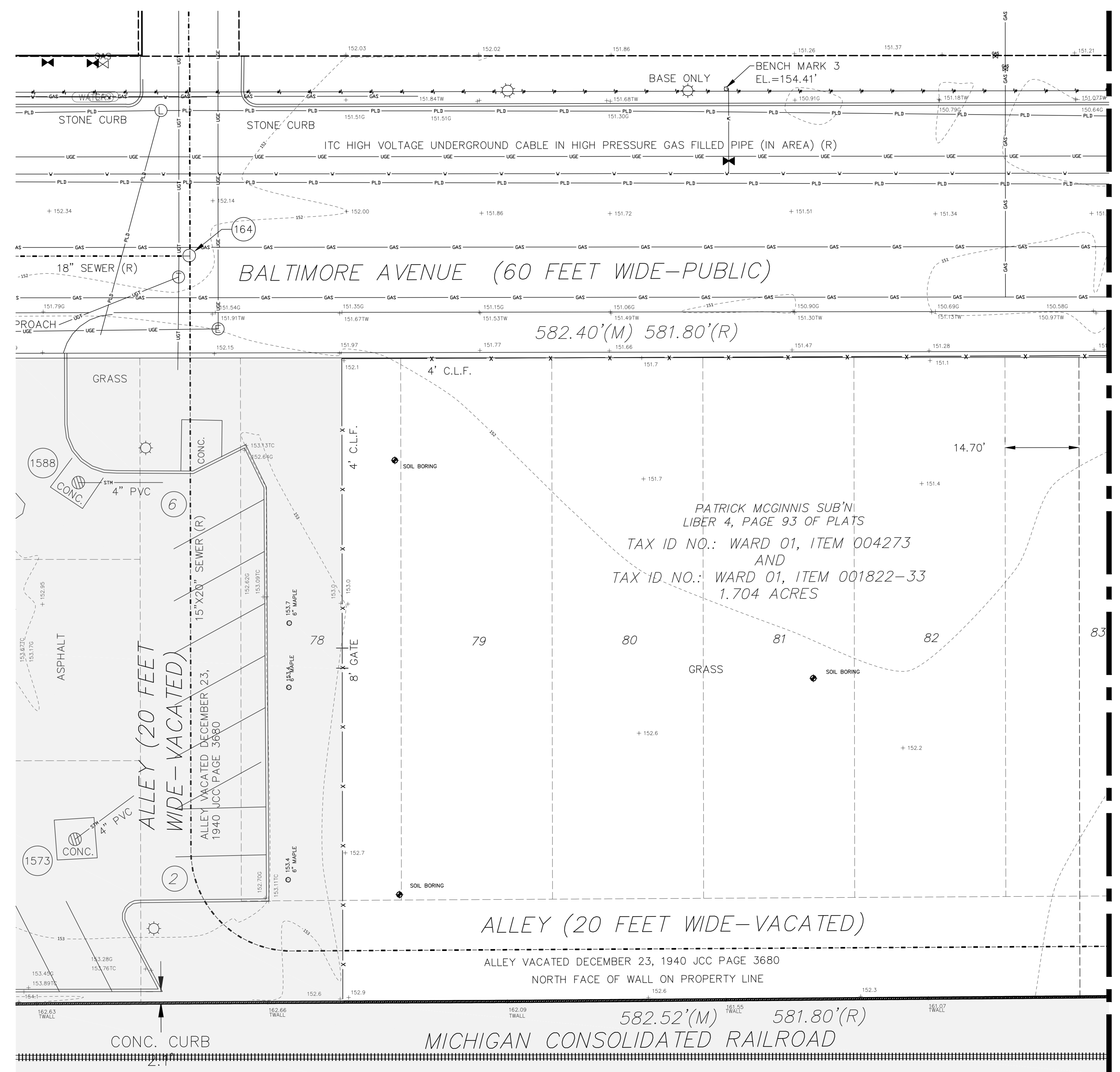
CITY OF DETROIT DATUM

SITE BENCH MARK NO. 1
SET MAG NAIL IN SOUTH FACE OF UTILITY POLE #25 FT. SOUTHWEST BUILDING CORNER OF 36 MILWAUKEE AVE.
ELEVATION=+53.99'
(OUT OF SCOPE OF DRAWING)

SITE BENCH MARK NO. 2
LOCATED AT SOUTHEAST BOLT ON STRAIN POLE AT THE NORTHEAST CORNER OF WOODWARD AVE AND E. BALTIMORE AVE.
ELEVATION=+53.04'
(OUT OF SCOPE OF DRAWING)

SITE BENCH MARK NO. 3
ARROW ON HYDRANT (188), ON THE NORTH SIDE OF EAST BALTIMORE AVENUE, +1300 FEET EAST OF WOODWARD AVENUE.
ELEVATION=+54.47'

SITE BENCH MARK NO. 4
ARROW ON HYDRANT (1897), ON THE EAST SIDE OF JOHN R STREET, +155 FEET SOUTH OF BALTIMORE AVENUE.
ELEVATION=+52.54'



MATCHLINE SEE SHEET 1.11

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66 EAST BALTIMORE

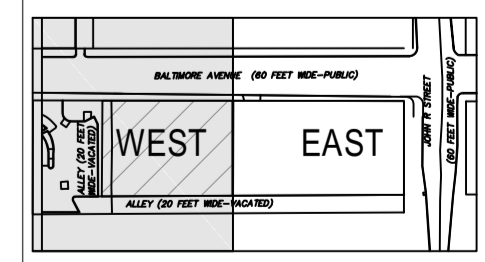
66 EAST BALTIMORE AVE.
DETROIT, MI 48202



giffels webster

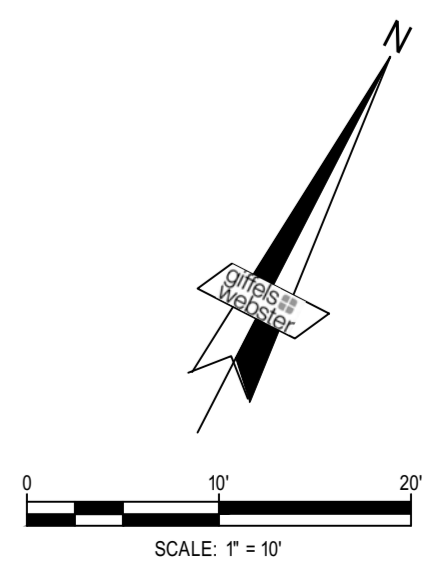
No.	Description	Date
1	Site Plan Submittal	10/23/2017
2	Site Plan Revision 1	06/02/2017
3	Site Plan Revision 2	08/11/2017

NOT FOR CONSTRUCTION



Existing Conditions
West

C1.10



NOTES:

- MEASURED BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM
- GAS, TELEPHONE, STEAM AND PUBLIC LIGHTING UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
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- UTILITY STRUCTURES WITHIN CONSTRUCTION ZONE WERE NOT OPENED AT THE TIME OF THIS SURVEY.
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- PARCEL LIES OUTSIDE OF 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FLOOD INSURANCE RATE MAP NO. 28163D0289E, DATED FEBRUARY 2, 2012.

UTILITY STATEMENT

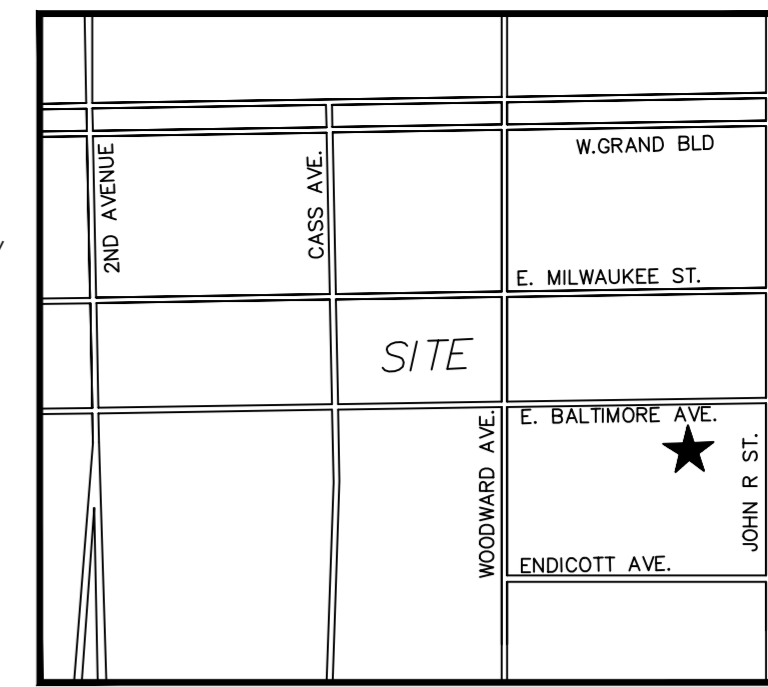
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

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PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

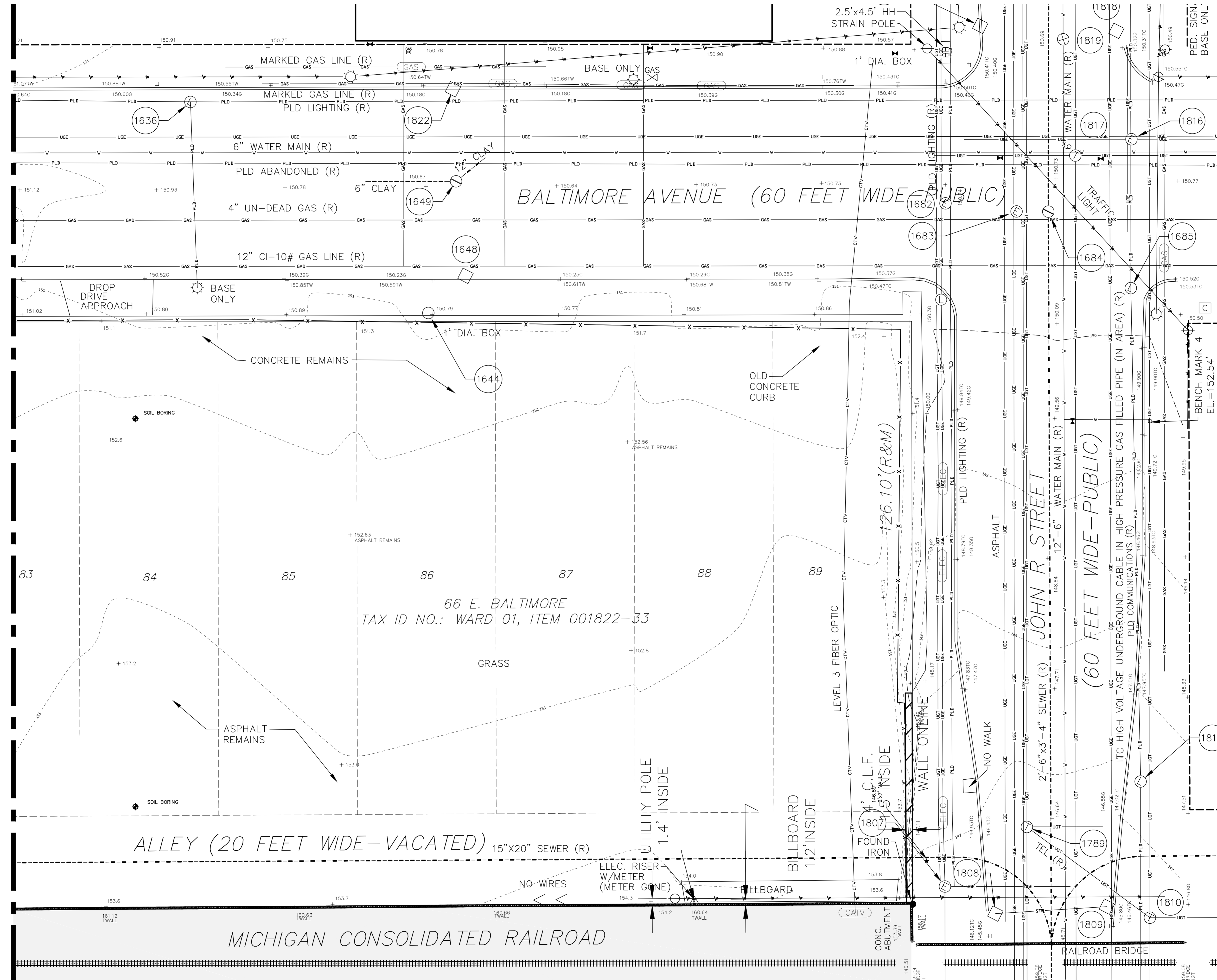


AUTHORIZED REP: Melody White
PROJECT: PLN-2730
DATE: 10/26/17
SLU #: SLU2017-00015



LOCATION MAP (NOT TO SCALE)

MATCHLINE SEE SHEET 1.11



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Revised For:

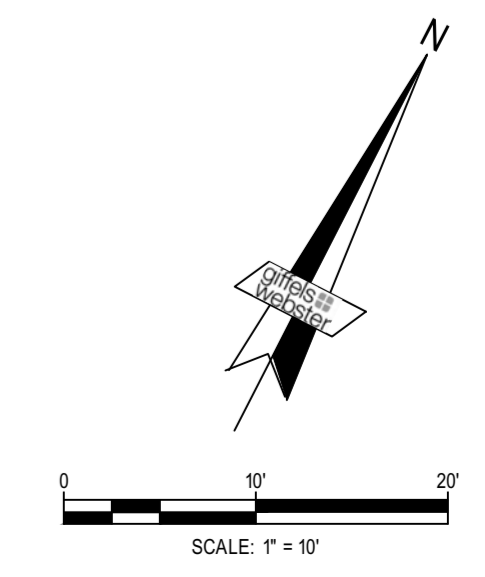
No.	Description	Date
1	Site Plan Submittal	10.23.2017
2	Site Plan Revision 1	06.02.2017
3	Site Plan Revision 2	08.11.2017

NOT FOR CONSTRUCTION



Existing Conditions East

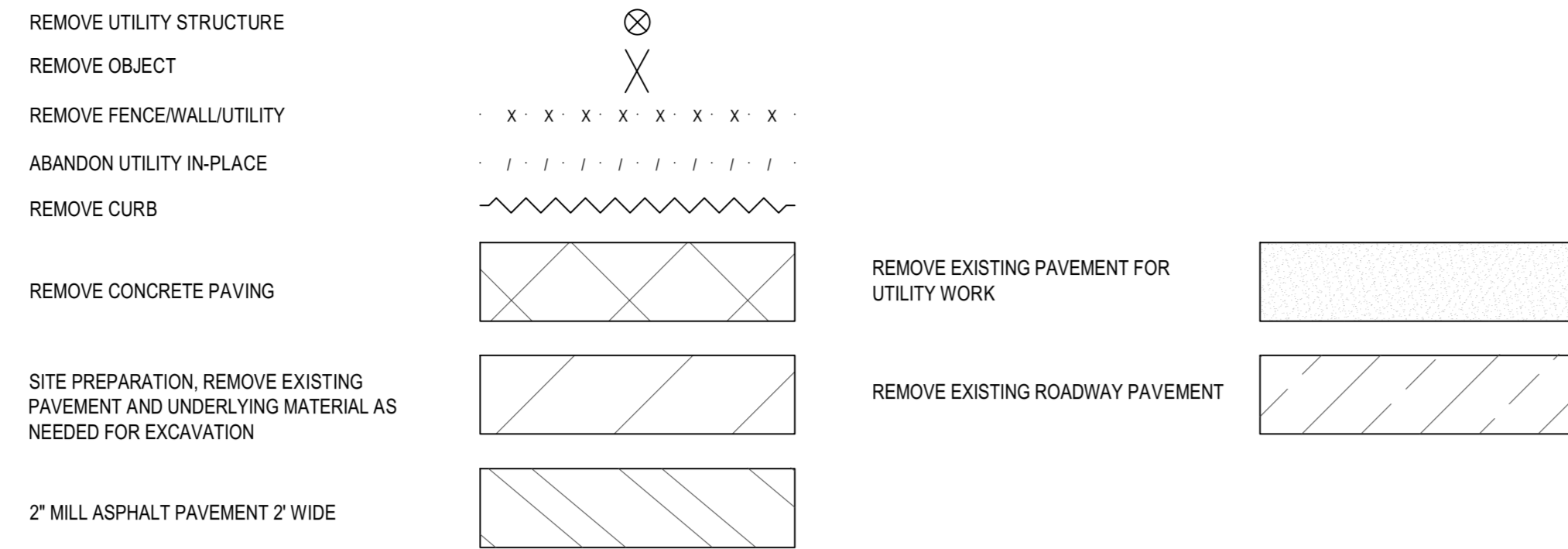
C1.11



NOTES:

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. SUBSURFACE CONDITIONS TO BE VERIFIED BY CONTRACTOR.
3. TEMPORARY ENCROACHMENT INTO CITY OF DETROIT RIGHT-OF-WAY AND/OR ADJACENT PROPERTIES DURING CONSTRUCTION IS PROHIBITED WITHOUT PERMIT OR WRITTEN AUTHORIZATION.
4. SOIL REMOVAL AND DISPOSAL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL AND ENVIRONMENTAL REPORTS.
5. WHERE DEMOLITION OF PRIVATE UTILITIES IS REQUIRED, CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
6. CONTRACTOR TO PROTECT-IN-PLACE ALL EXISTING UTILITIES EXCEPT WHERE NOTED OTHERWISE.

DEMOLITION LEGEND

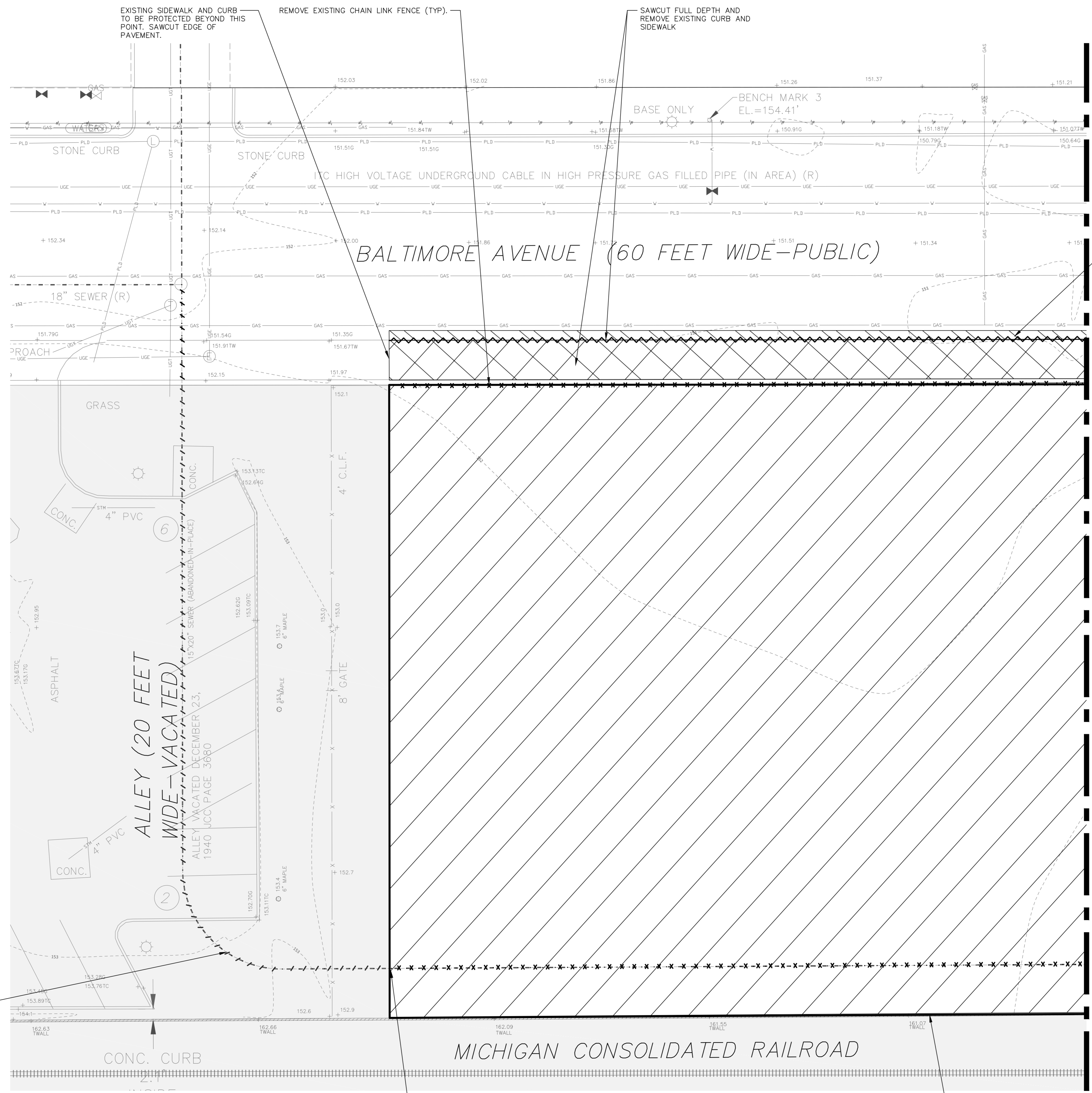


APPROVED
ePLAN
SITE PLAN REVIEW

CITY OF DETROIT

AUTHORIZED REP: Melody White
PROJECT: PLN-2730
DATE: 10/26/17
SLU #: SLU2017-00015

LOCATION MAP
(NOT TO SCALE)



MATCHLINE SEE SHEET 1.21

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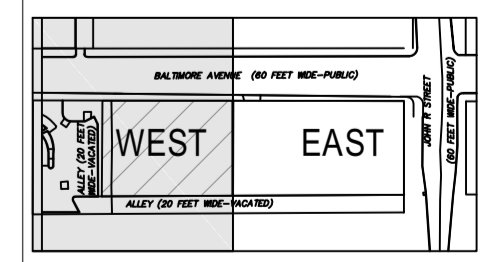
Issued For:

No.	Description	Date
1	Site Plan Submittal	10/23/2017
2	Site Plan Revision 1	06/02/2017
3	Site Plan Revision 2	08/11/2017

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CUT AND BULKHEAD EXISTING SEWER, ABANDON IN-PLACE. FILL WITH FLOWABLE FILL PER DWSO STANDARDS AND SPECIFICATIONS. EXISTING SEWER IS NOT WITHIN PUBLIC UTILITY EASEMENT, THEREFORE CONTRACTOR IS TO OBTAIN WRITTEN AUTHORIZATION FROM ADJACENT PROPERTY OWNER.

SCALE: 1" = 20'

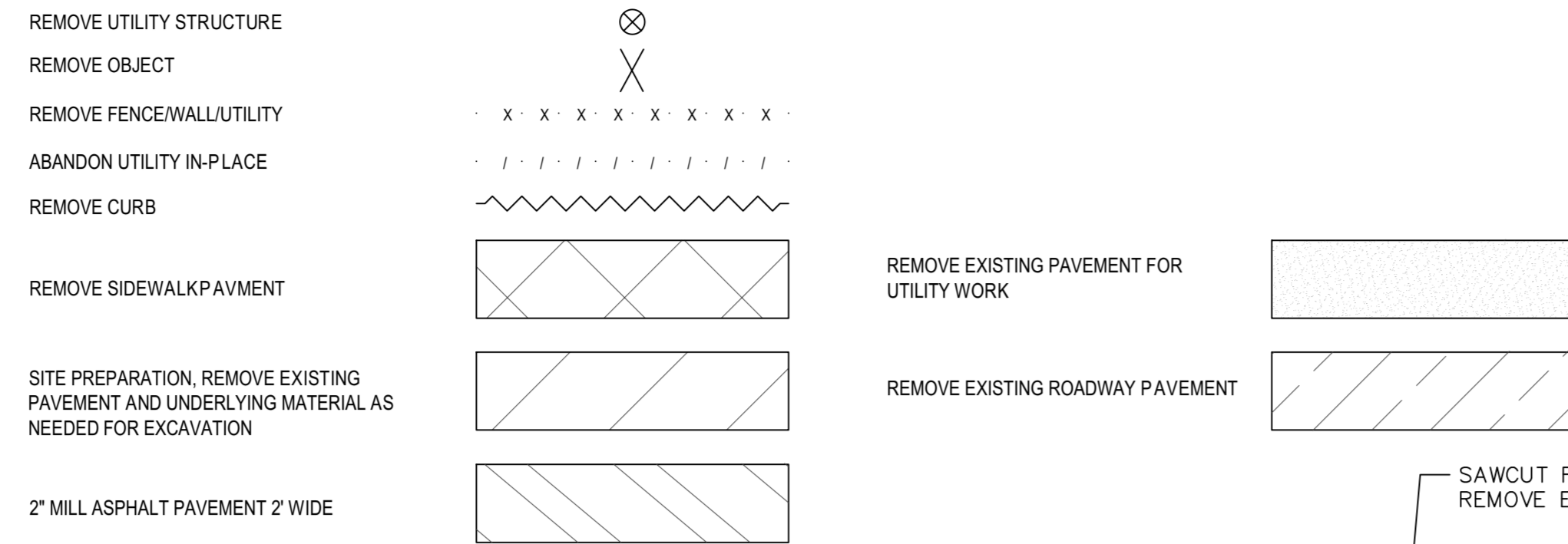


Demolition Plan
West
C1.20

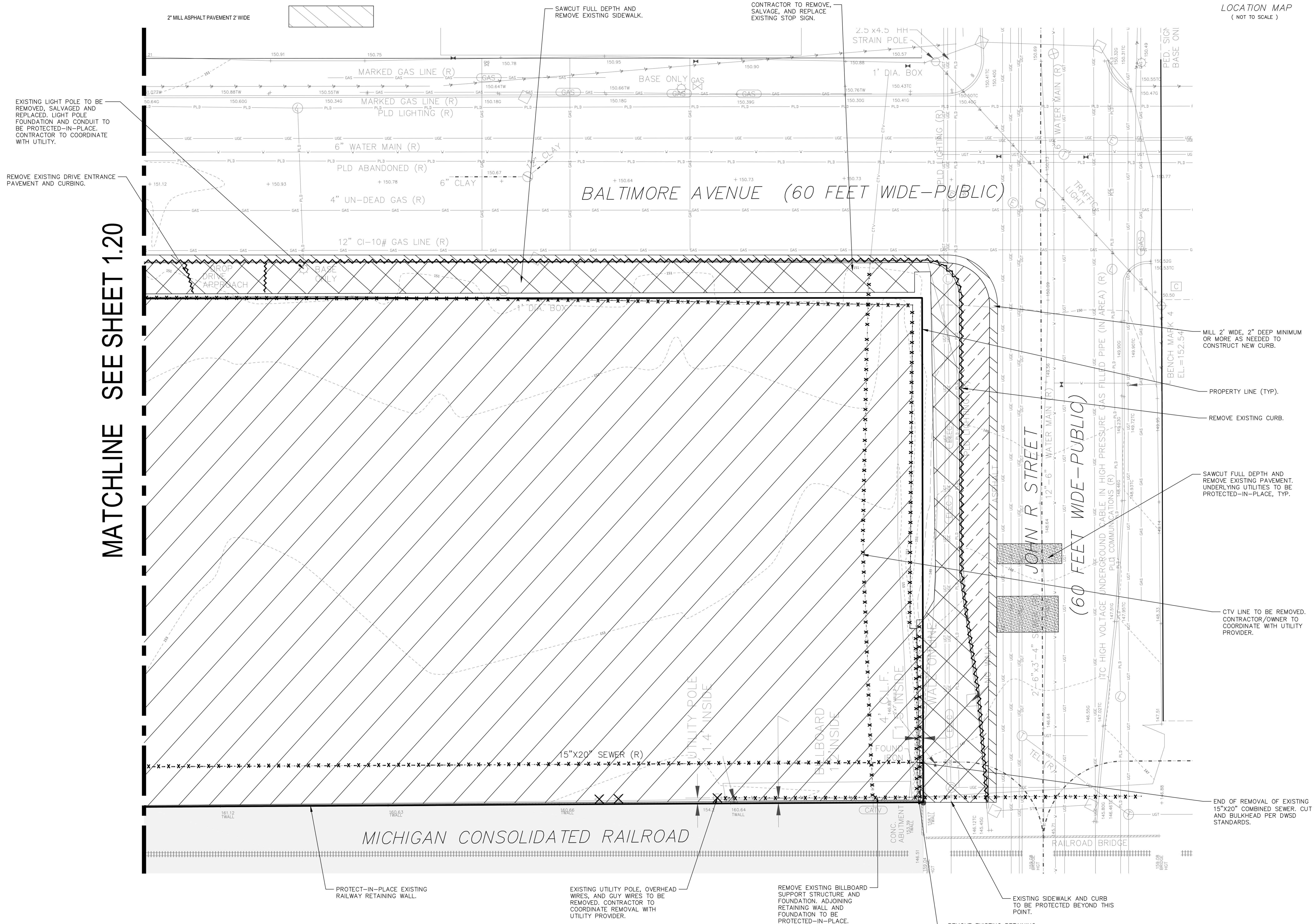
NOTES:

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- SUBSURFACE CONDITIONS TO BE VERIFIED BY CONTRACTOR.
- TEMPORARY ENCROACHMENT INTO CITY OF DETROIT RIGHT-OF-WAY AND/OR ADJACENT PROPERTIES DURING CONSTRUCTION IS PROHIBITED WITHOUT PERMIT OR WRITTEN AUTHORIZATION.
- SOIL REMOVAL AND DISPOSAL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL AND ENVIRONMENTAL REPORTS.
- WHERE DEMOLITION OF PRIVATE UTILITIES IS REQUIRED, CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- CONTRACTOR TO PROTECT-IN-PLACE ALL EXISTING UTILITIES EXCEPT WHERE NOTED OTHERWISE.

DEMOLITION LEGEND



MATCHLINE SEE SHEET 1.20



LOCATION MAP (NOT TO SCALE)



AUTHORIZED REP: Melody White
 PROJECT: PLN-2730
 DATE: 10/26/17
 SLU #: SLU2017-00015

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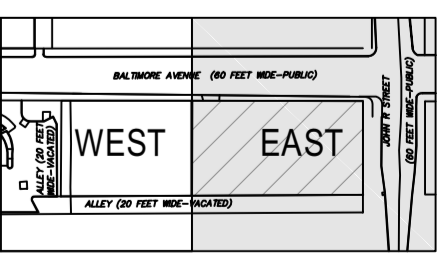
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No.	Description	Date
1	Site Plan/Initial	10.03.2017
2	Site Plan/Revision 1	06.02.2017
3	Site Plan/Revision 2	08.11.2017

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Demolition Plan East

C1.21

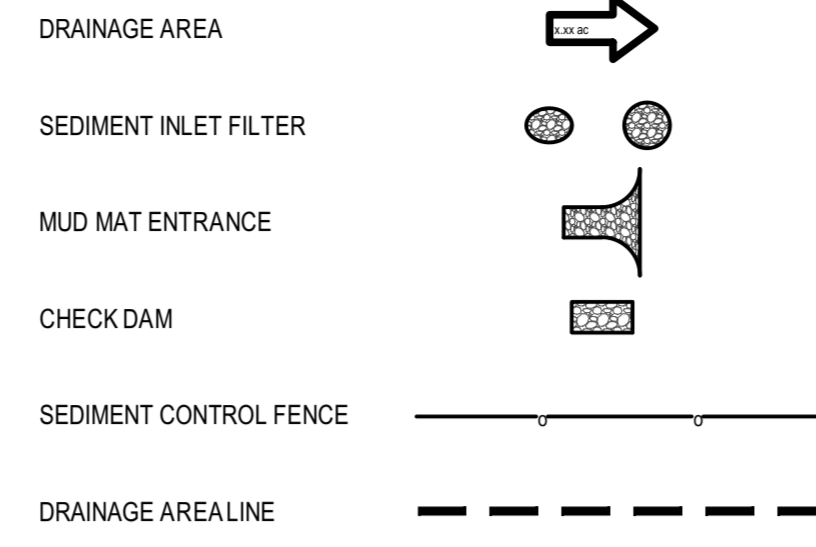
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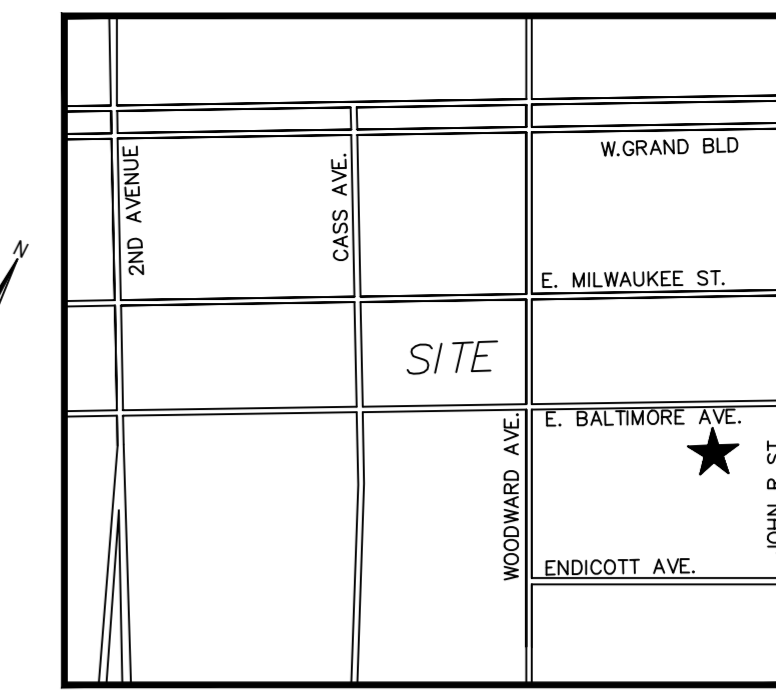
SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION	START DAY	END DAY
STONE ACCESS DRIVE ATOP GEOTEXTILE LINER	1	1
PLACE INLET FILTERS	1	1
BUILDING EXCAVATION AND SHOWING	1	40
INSTALL UNDERGROUND UTILITIES (i.e. SANITARY, STORM AND WATER MAIN)	30	35
CONSTRUCT BUILDING	40	230
COMPLETE PAVEMENT AND CLEAN OUT STORM SEWER SYSTEM	140	145
SITE LANDSCAPING, COMPLETE	160	165
REMOVE CATCH BASIN FILTERS FOLLOWING COUNTY APPROVAL	230	231

	STREET CLEANING SCHEDULE						
	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY (IF WORKING)
SCRAPE STREETS		√	√	√	√	√	√
SWEEP STREETS				√			

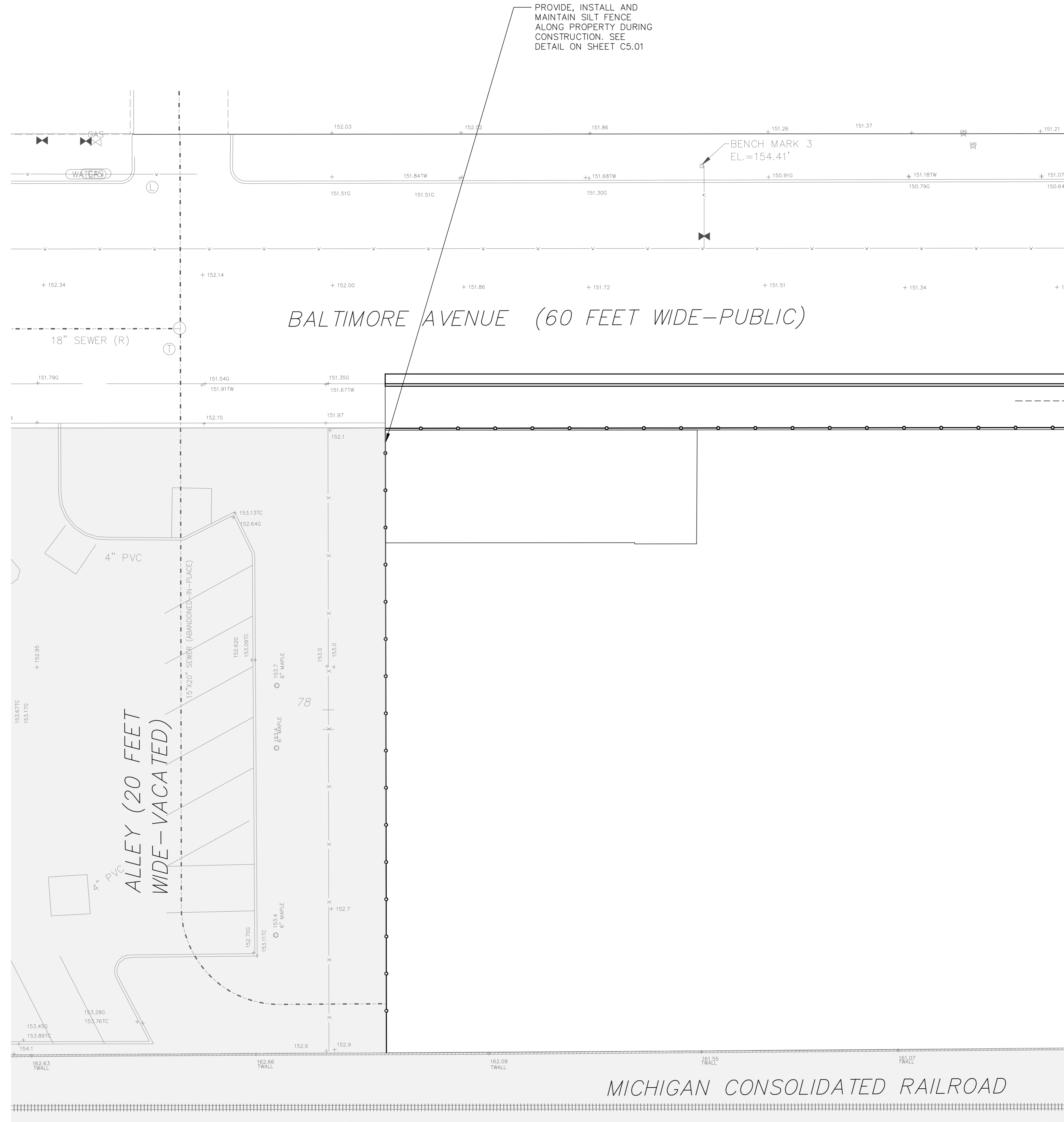
EROSION CONTROL LEGEND



AUTHORIZED REP: Melody White
 PROJECT: PLN-2730
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LOCATION MAP
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MATCHLINE SEE SHEET 1.31

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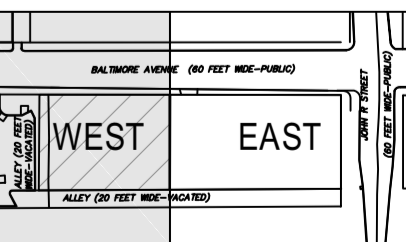
Issued For:

No.	Description	Date
1	Site Plan Submittal	10.03.2017
2	Site Plan Revision 1	06.02.2017
3	Site Plan Revision 2	08.11.2017

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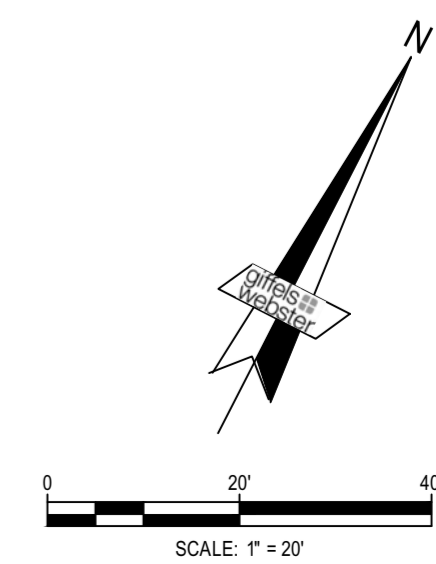
Key Section

Key Plan



Sheet Name
SESC West

C1.30



MICHIGAN CONSOLIDATED RAILROAD





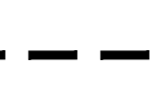

NOTES:

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION		
	START DAY	END DAY
STONE ACCESS DRIVE ATOP GEOTEXTILE LINER	1	1
PLACE INLET FILTERS	1	1
BUILDING EXCAVATION AND SHOWING	1	40
INSTALL UNDERGROUND UTILITIES (i.e. SANITARY, STORM AND WATER MAIN)	30	35
CONSTRUCT BUILDING	40	230
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REMOVE CATCH BASIN FILTERS FOLLOWING COUNTY APPROVAL	230	231

STREET CLEANING SCHEDULE							
	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY (IF WORKING)
SCRAPE STREETS		√	√	√	√	√	√
SWEEP STREETS				√			

EROSION CONTROL LEGEND

- DRAINAGE AREA 
- SEDIMENT INLET FILTER 
- MUD MAT ENTRANCE 
- CHECK DAM 
- SEDIMENT CONTROL FENCE 
- DRAINAGE AREALINE 

PROVIDE, INSTALL AND MAINTAIN LOW POINT INLET FILTER. SEE DETAIL ON SHEET C5.01



APPROVED
ePLAN
SITE PLAN REVIEW

AUTHORIZED REP: Melody White

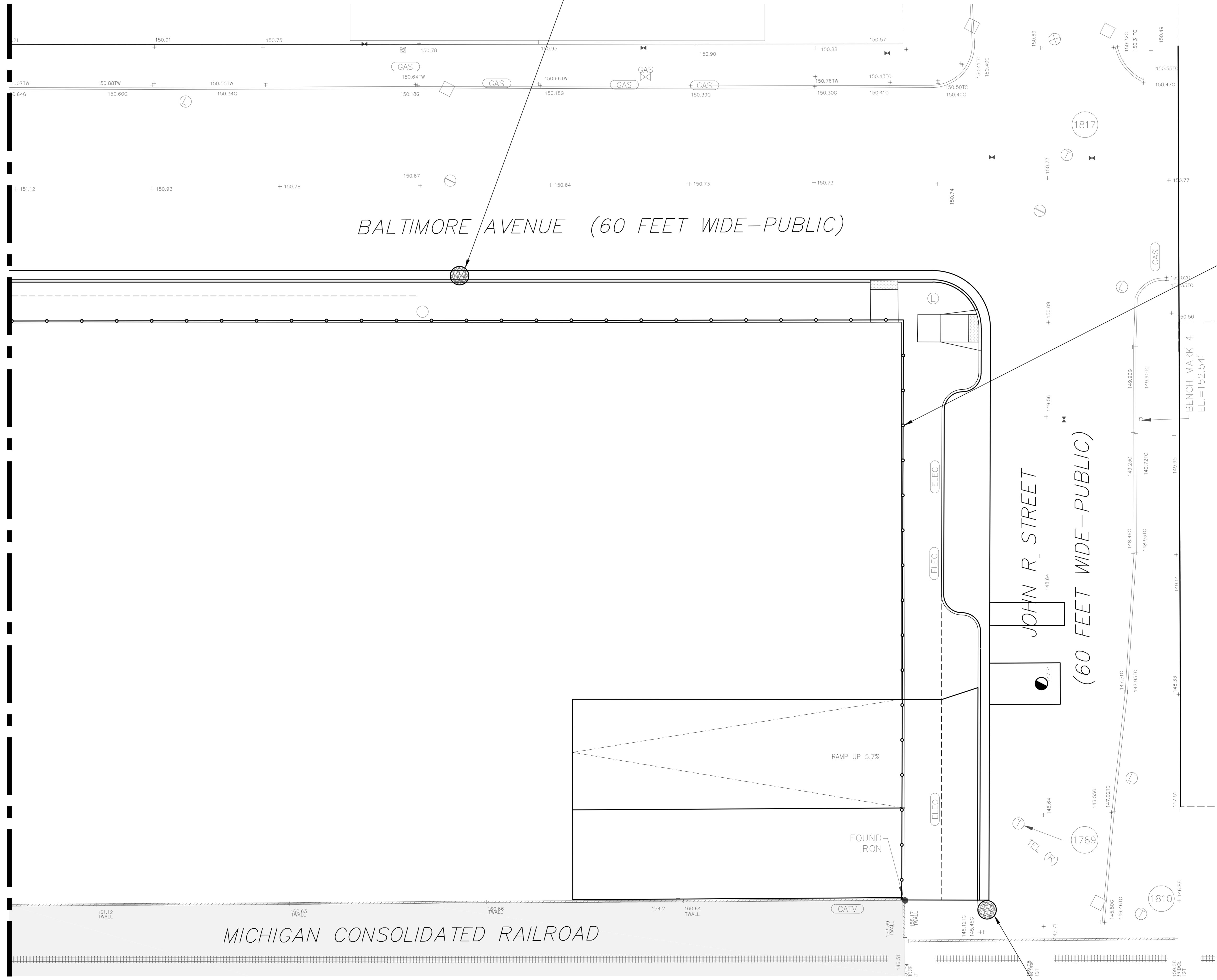
PROJECT: PLN-2730

DATE: 10/26/17

SLU #: SLU2017-00015



MATCHLINE - SEE SHEET 1.30



PROVIDE, INSTALL AND MAINTAIN SILT FENCE ALONG PROPERTY DURING CONSTRUCTION. SEE DETAIL ON SHEET C5.01

PROVIDE, INSTALL AND MAINTAIN LOW POINT INLET FILTER. SEE DETAIL ON SHEET C5.01

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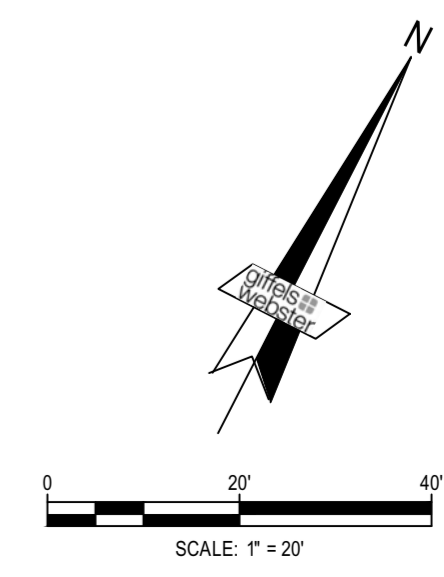
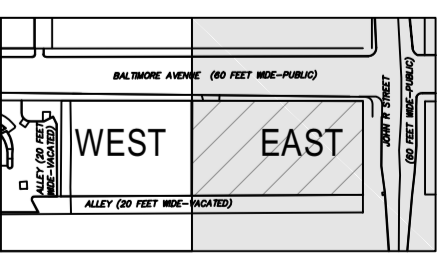
 PATRICIA L. DEMARCO
 ENGINEER
 No. 6201064539
 LICENSED PROFESSIONAL ENGINEER

Consultants


Issued For:

No.	Description	Date
1	Site Plan Submittal	10.03.2017
2	Site Plan Revision 1	10.02.2017
3	Site Plan Revision 2	08.11.2017

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Sheet Name
SESC East
C1.31

NOTES:

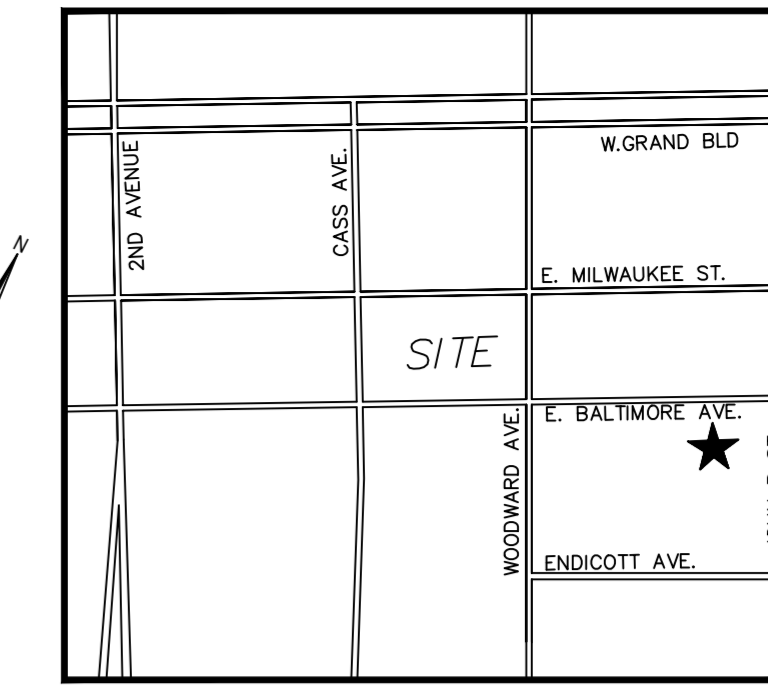
1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. EXISTING UTILITIES TO BE PROTECTED - IN-PLACE THROUGHOUT CONSTRUCTION, EXCEPT WHERE NOTED OTHERWISE.
3. ALL SIDEWALK TO BE COMPLIANT WITH ADA ACCESSIBLE REQUIREMENTS.
4. CONTRACTOR SHALL HAVE NO IMPACT ON ADJACENT RAILING OR RETAINING WALL.

PAVING HATCH LEGEND

2" MILL ASPHALT PAVEMENT		UTILITY TRENCH PAVEMENT REPLACEMENT PER CITY OF DETROIT	
2" OFF OF CURB REMOVAL AND RESTORE TO EXISTING GRADE (TYP.)		SPECIAL PAVEMENT TREATMENT - TO BE EXPOSED AGGREGATE OR PAVERS.	
PROVIDE AND INSTALL 8" NONREINFORCED CONCRETE PAVEMENT		PROVIDE AND INSTALL HEAVY DUTY ASPHALT PAVEMENT.	
PROVIDE AND INSTALL 4" CONCRETE SIDEWALK PER CITY OF DETROIT STANDARDS			
DECORATIVE PAVEMENT - SEE LANDSCAPE PLANS FOR LAYOUT AND DETAILS			
LANDSCAPE - SEE LANDSCAPE PLAN FOR DETAILS			



AUTHORIZED REP: Melody White
 PROJECT: PLN-2730
 DATE: 10/26/17
 SLU #: SLU2017-00015

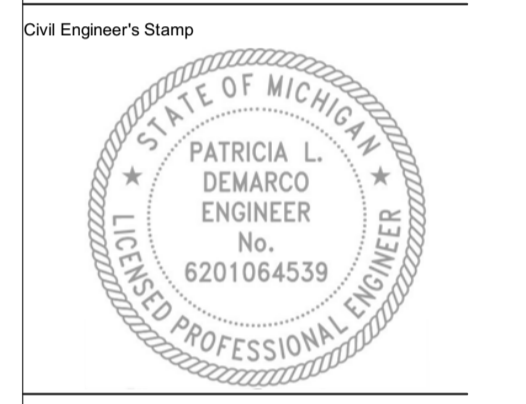


LOCATION MAP
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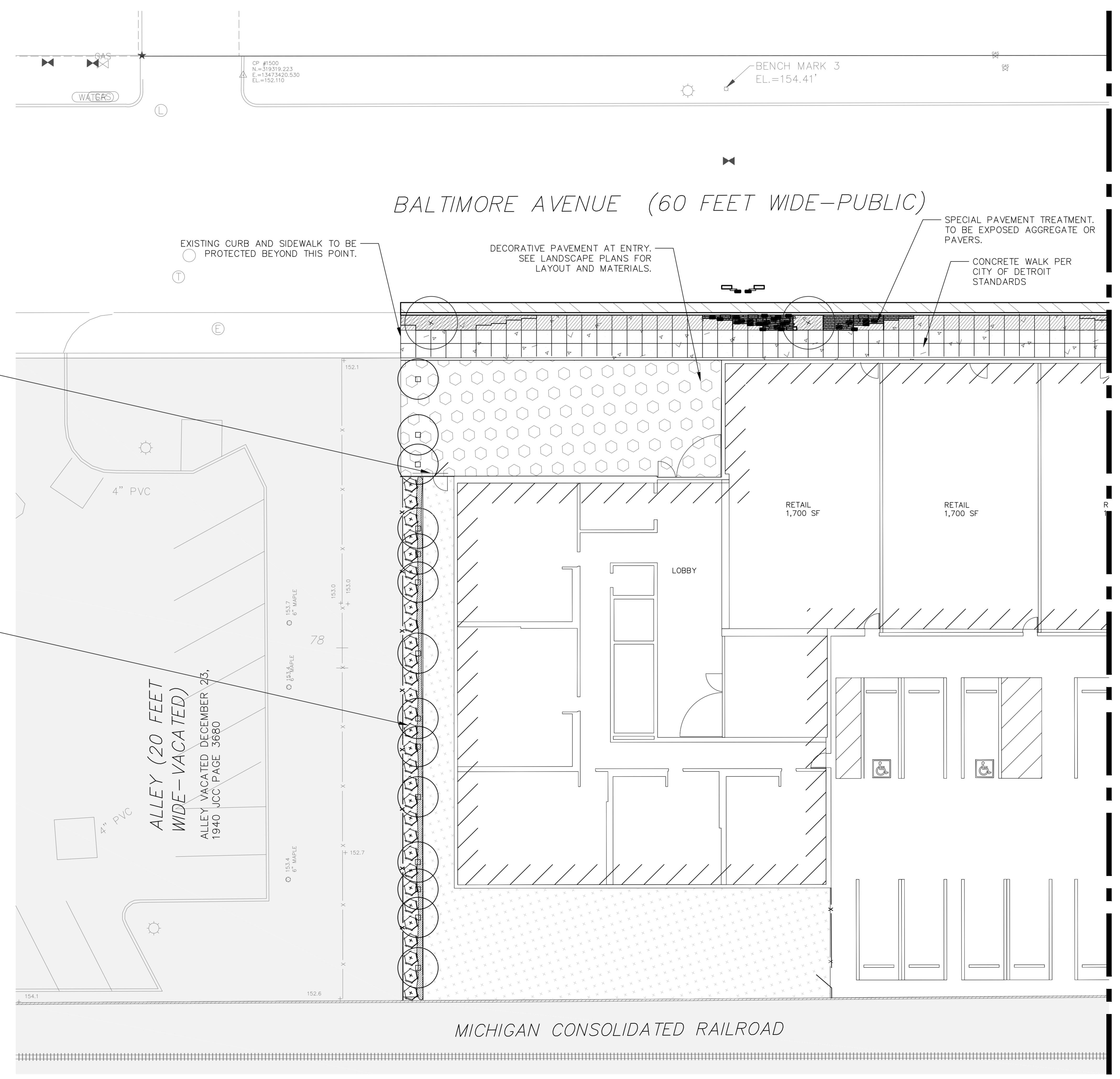
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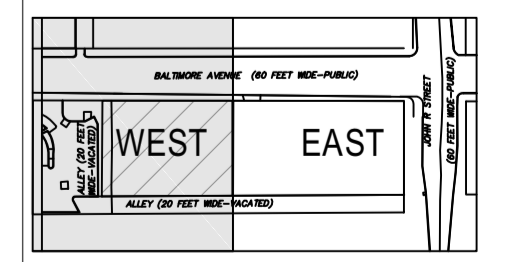
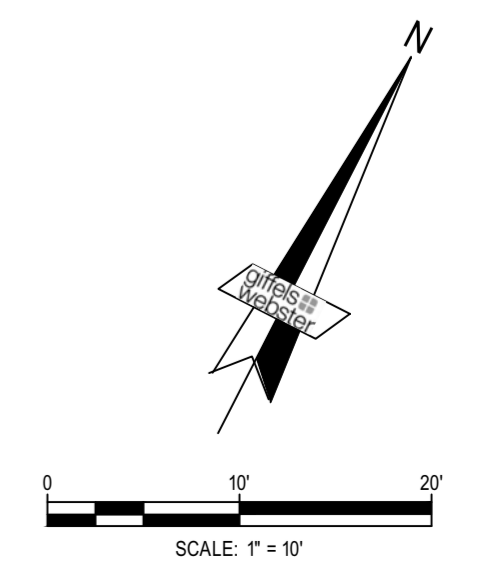
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1	Site Plan Submittal	03.03.2017
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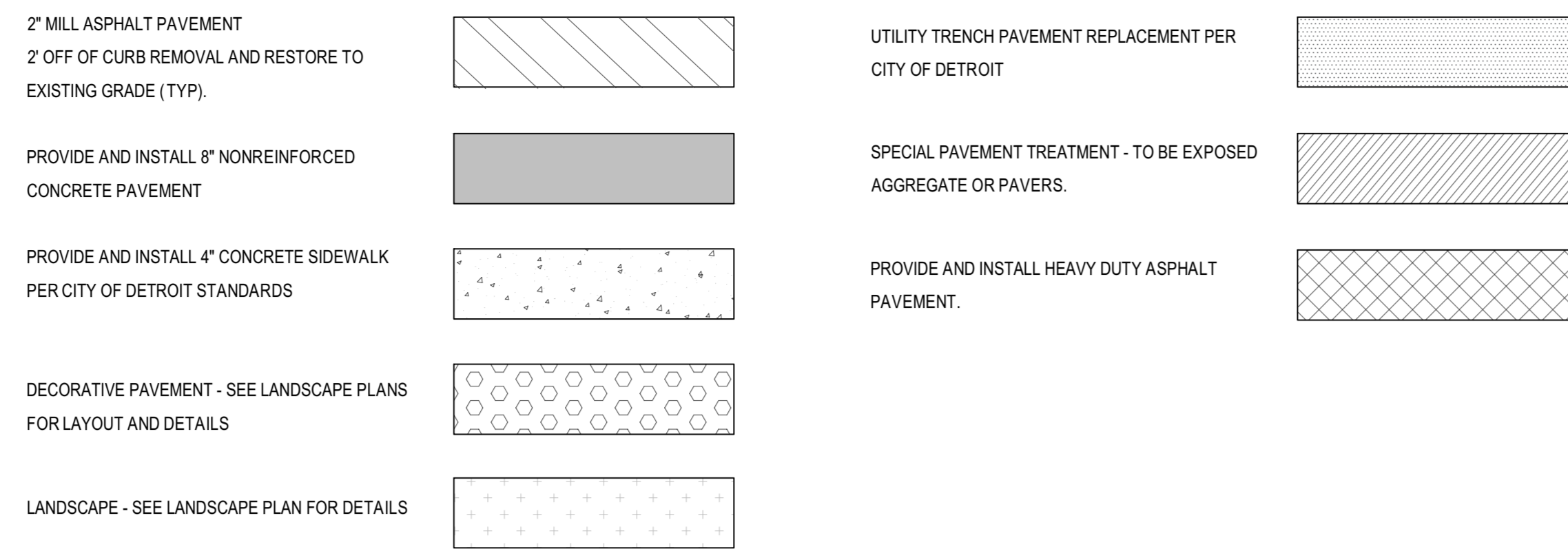


Sheet Name
Site Plan West
C1.40

NOTES:

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
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4. CONTRACTOR SHALL HAVE NO IMPACT ON ADJACENT RAILING OR RETAINING WALL.

PAVING HATCH LEGEND



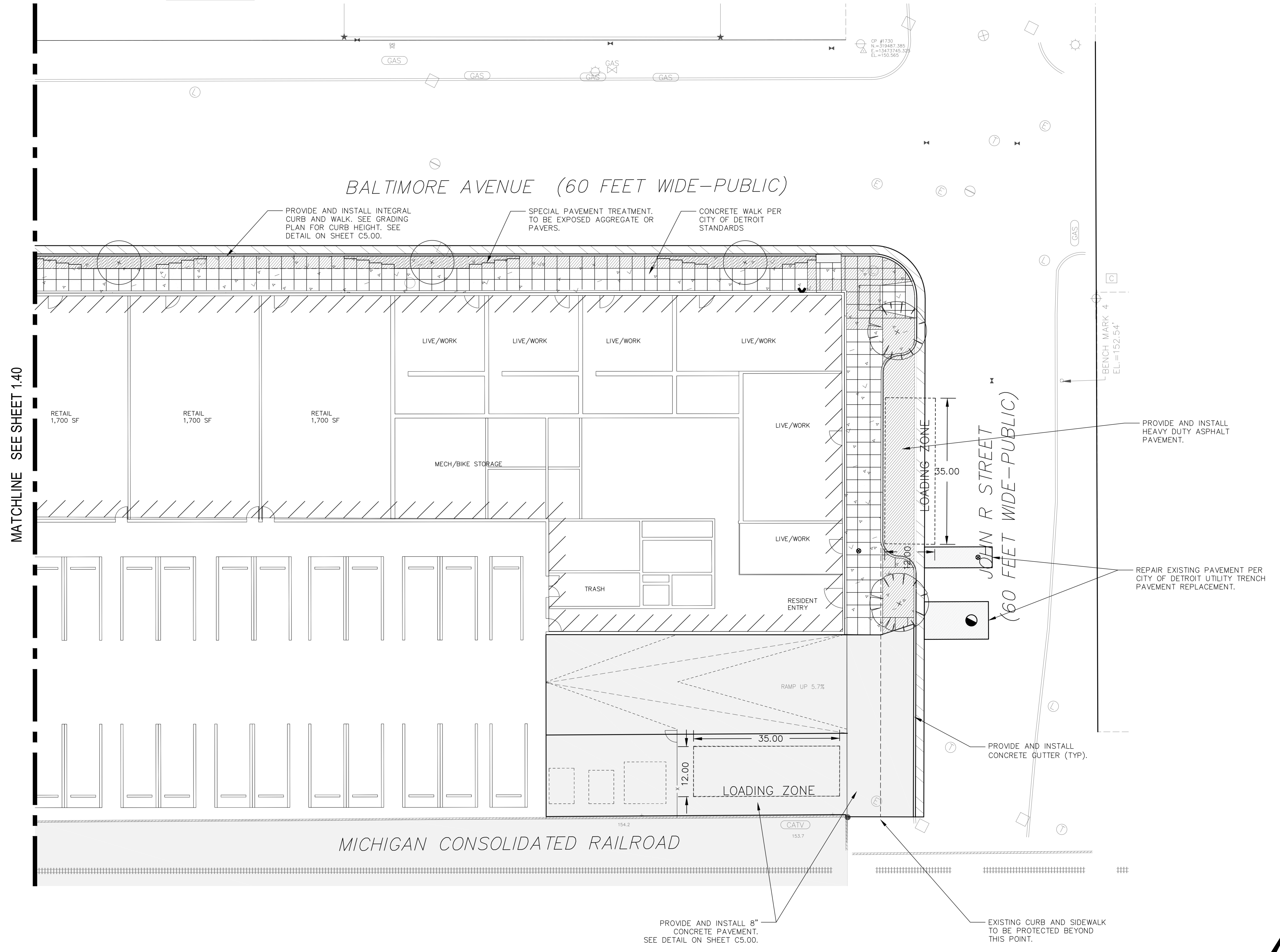
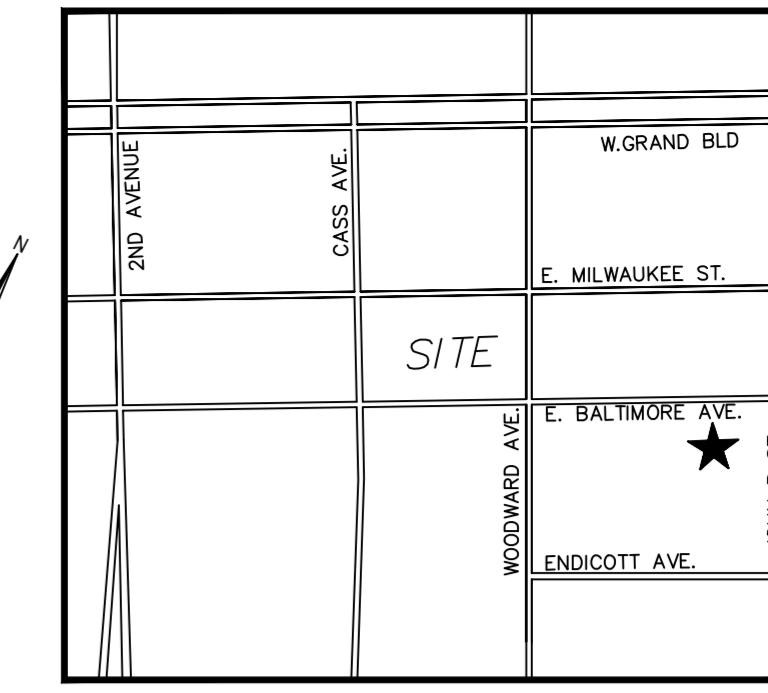
APPROVED
ePLAN
SITE PLAN REVIEW

AUTHORIZED REP: Melody White

PROJECT: PLN-2730

DATE: 10/26/17

SLU #: SLU2017-00015



MATCHLINE SEE SHEET 1.40

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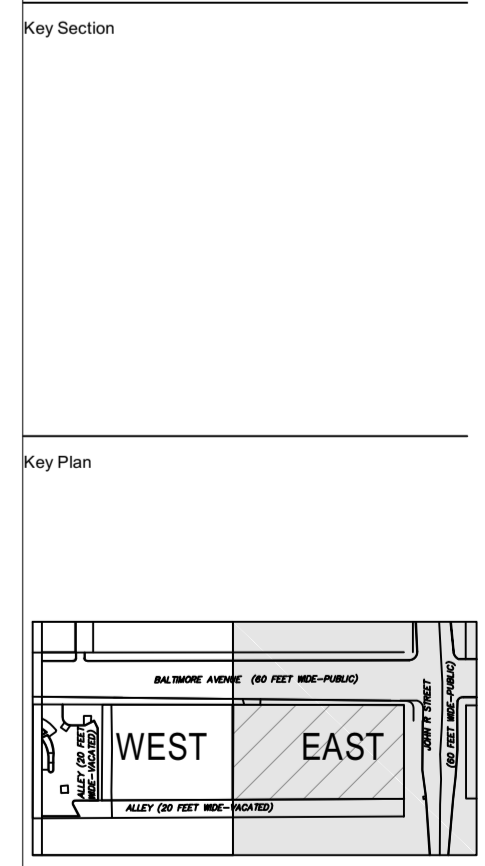
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1	Site Plan Submittal	10.03.2017
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3	Site Plan Revision 2	08.11.2017

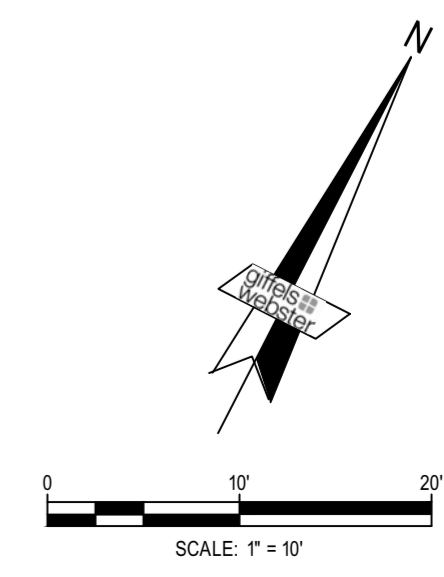
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Sheet Name
Site Plan East

C1.41

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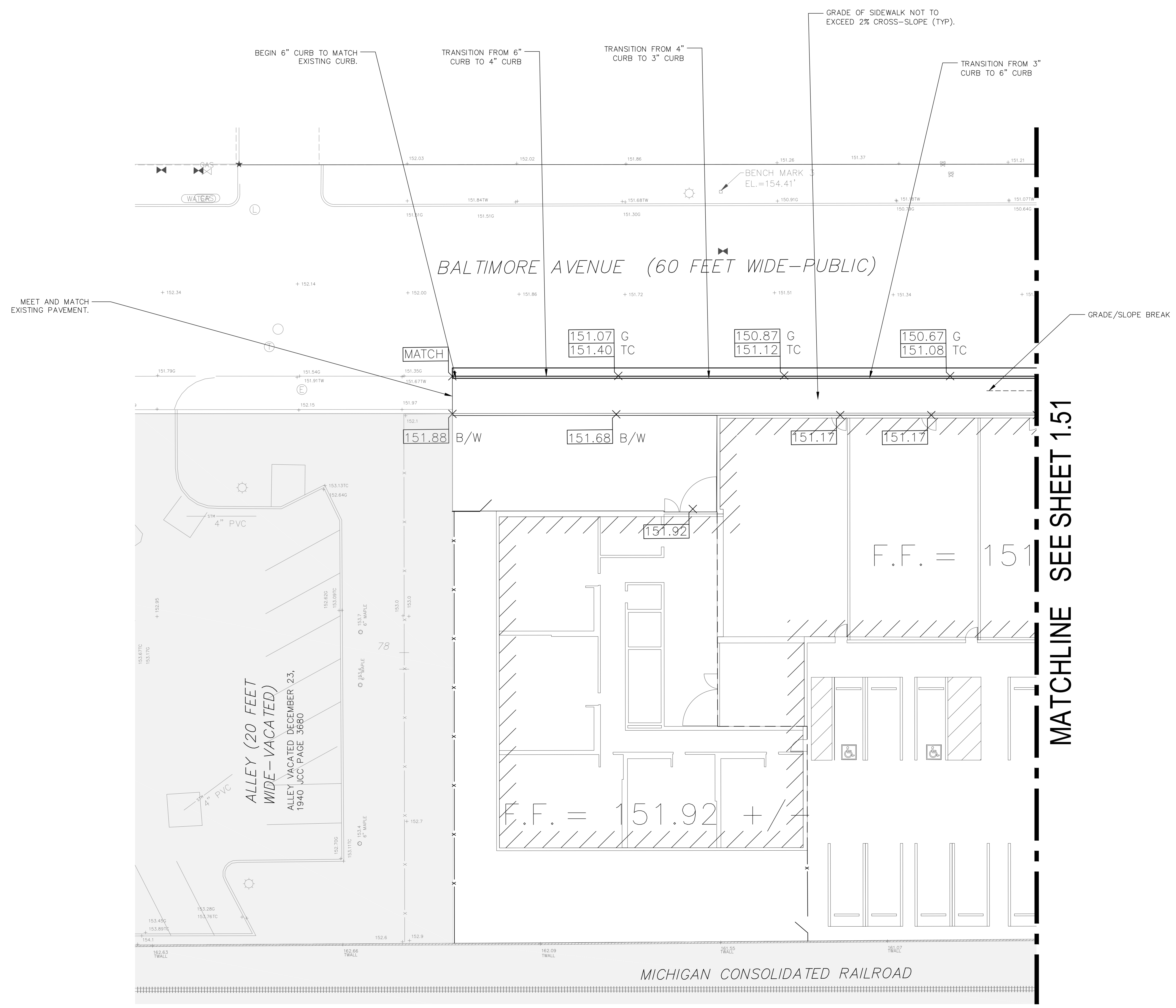
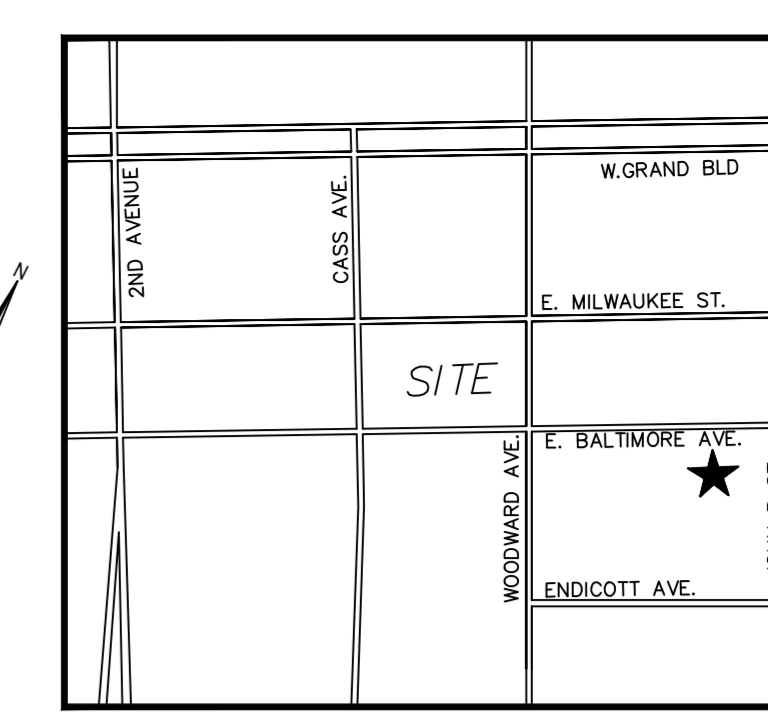
- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- 2. ALL GRADING TO BE COMPLIANT WITH ADA ACCESSIBILITY REQUIREMENTS.

GRADING LEGEND

GRADE/SLOPE BREAK - - - - -



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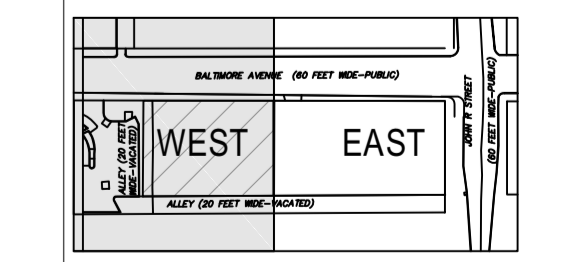
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2	Site Plan Revision 1	10/02/2017
3	Site Plan Revision 2	08/11/2017

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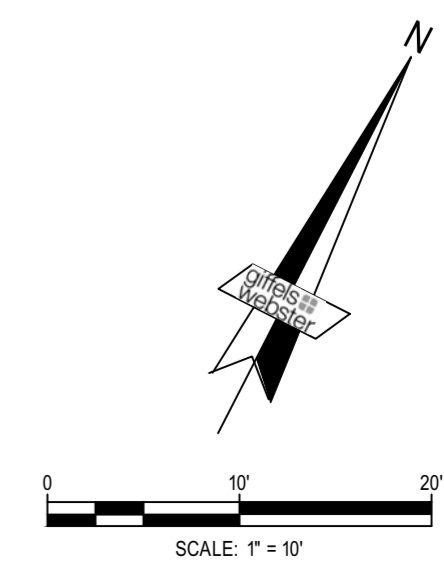
Key Section

Key Plan



Sheet Name
Grading Plan West

C1.50



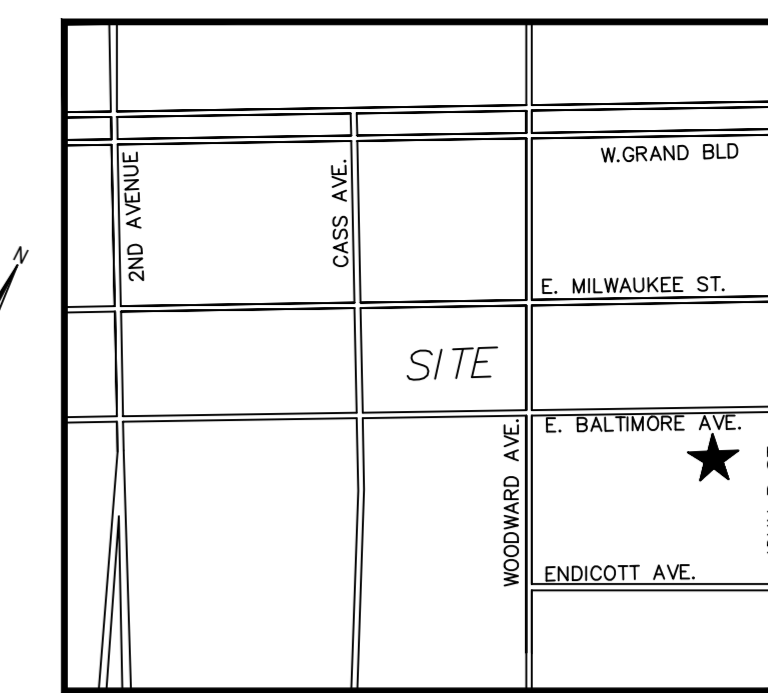
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GRADING LEGEND

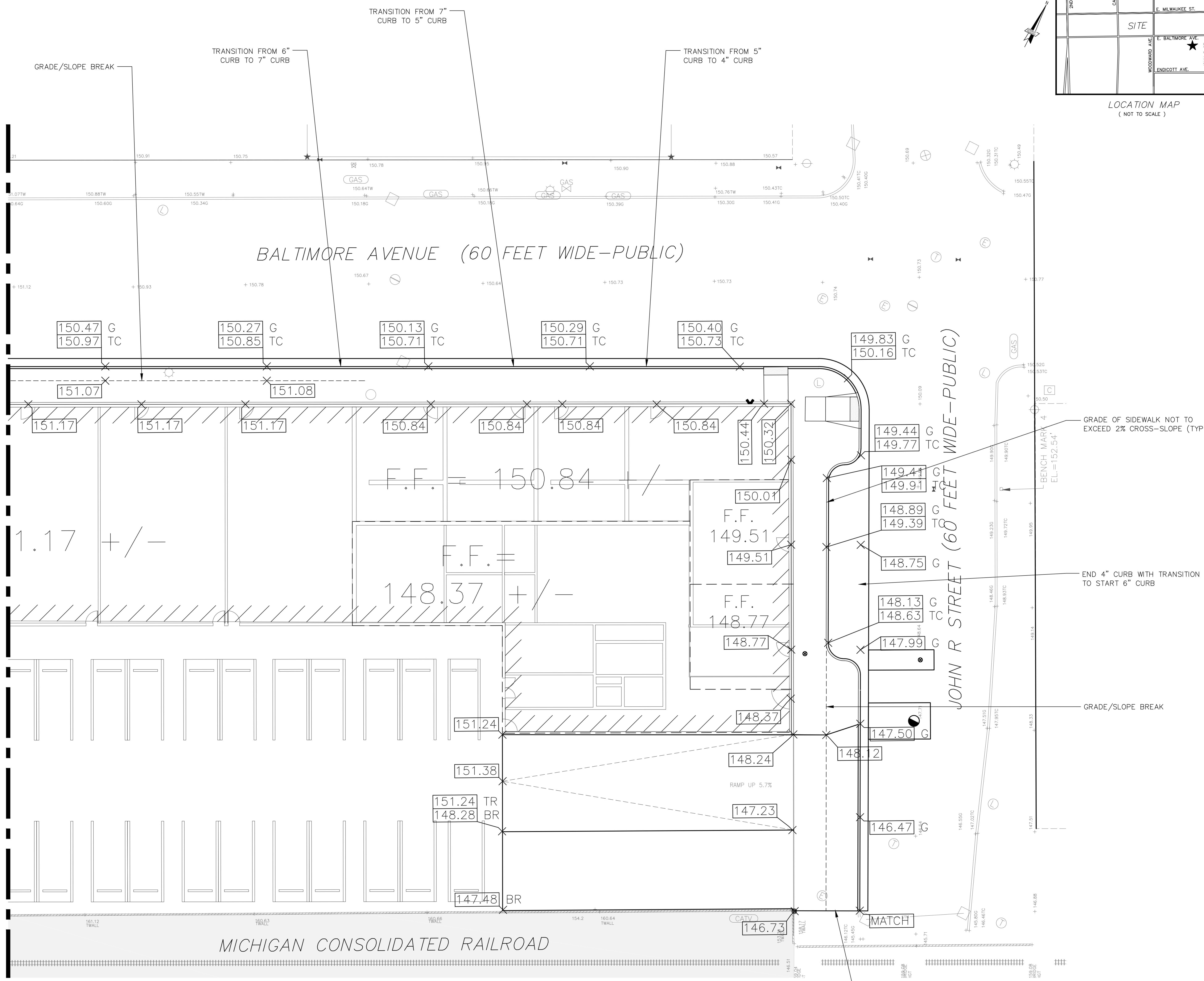
GRADE/SLOPE BREAK -----



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MATCHLINE SEE SHEET 1.50



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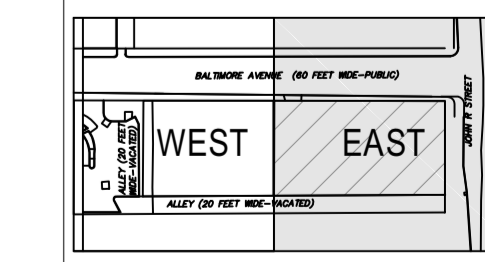


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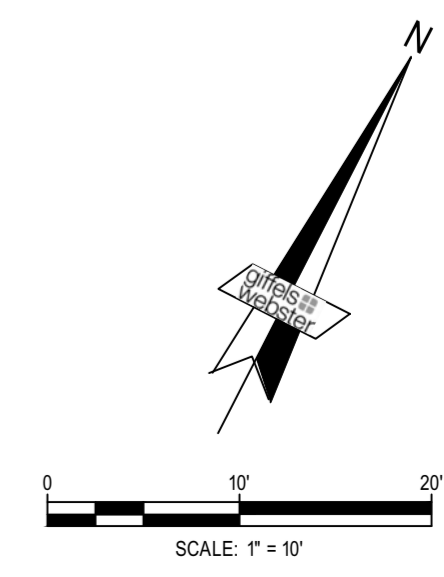
No.	Description	Date
1	Site Plan Submittal	10.03.2017
2	Site Plan Revision 1	10.02.2017
3	Site Plan Revision 2	08.11.2017

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Grading Plan
 East

C1.51

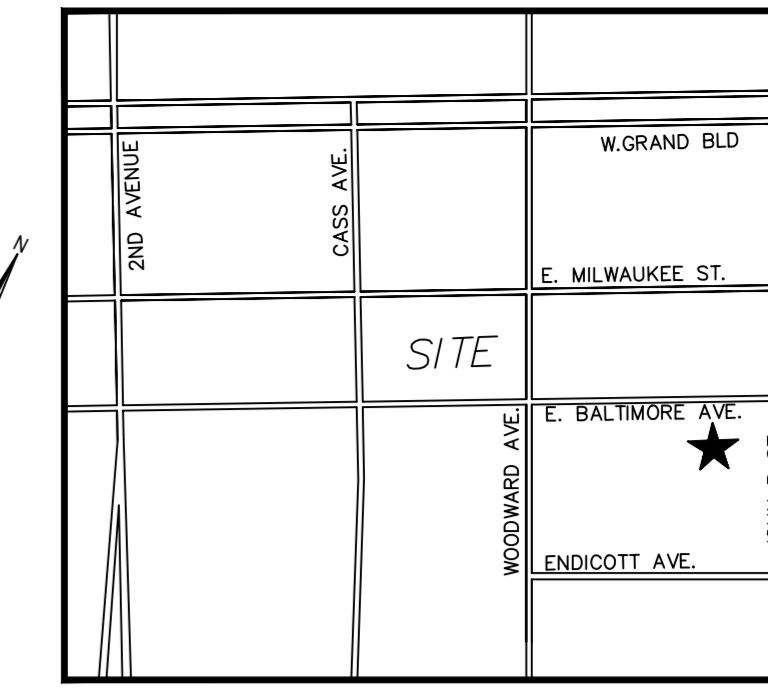
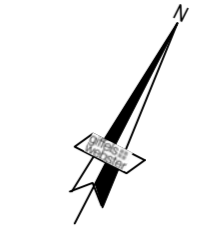


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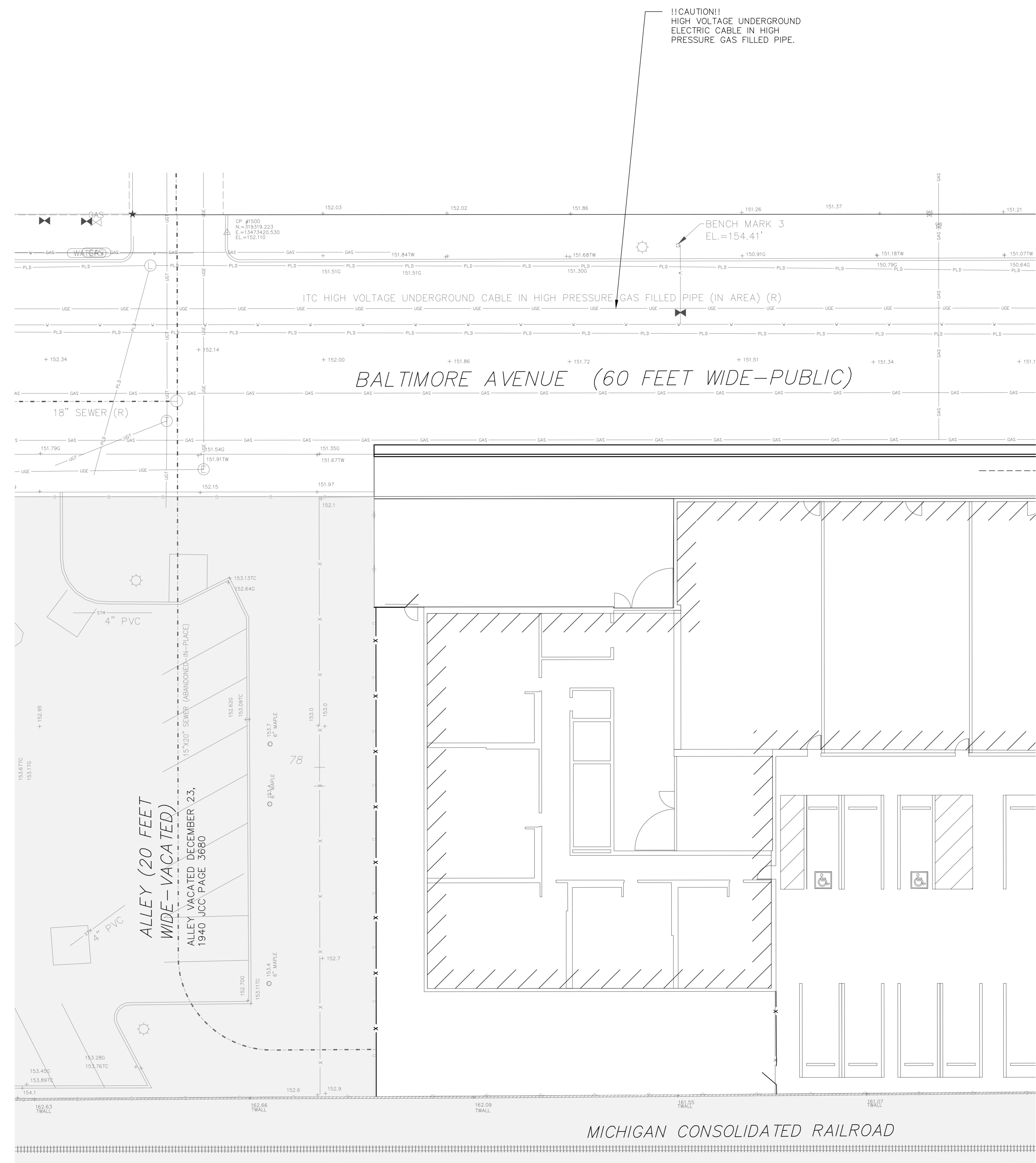
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 PROJECT: PLN-2730
 DATE: 10/26/17
 SLU #: SLU2017-00015



LOCATION MAP
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!! CAUTION!!
 HIGH VOLTAGE UNDERGROUND
 ELECTRIC CABLE IN HIGH
 PRESSURE GAS FILLED PIPE.

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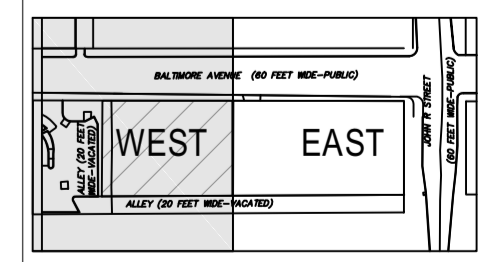
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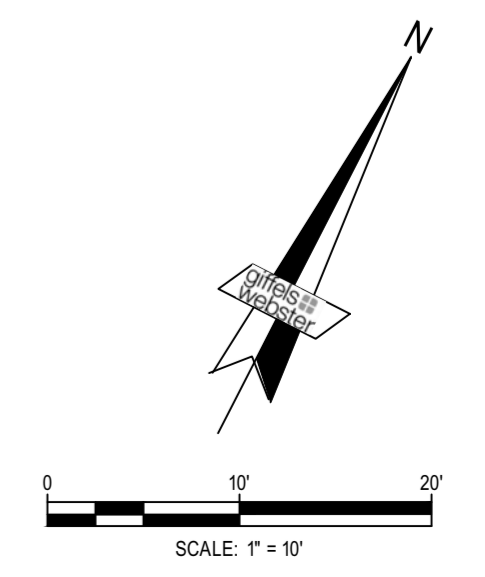
Key Section

Key Plan



Sheet Name
 Utility Plan
 West

C1.60
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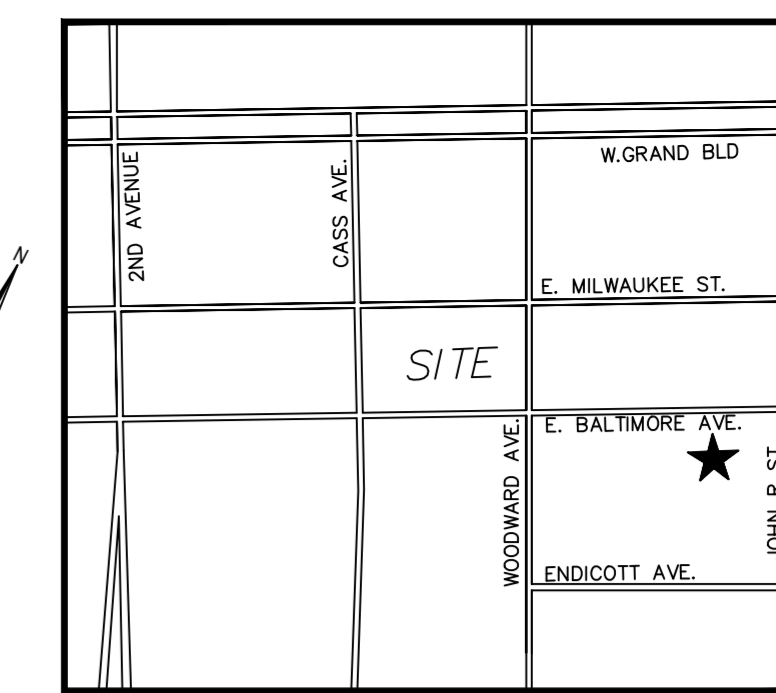


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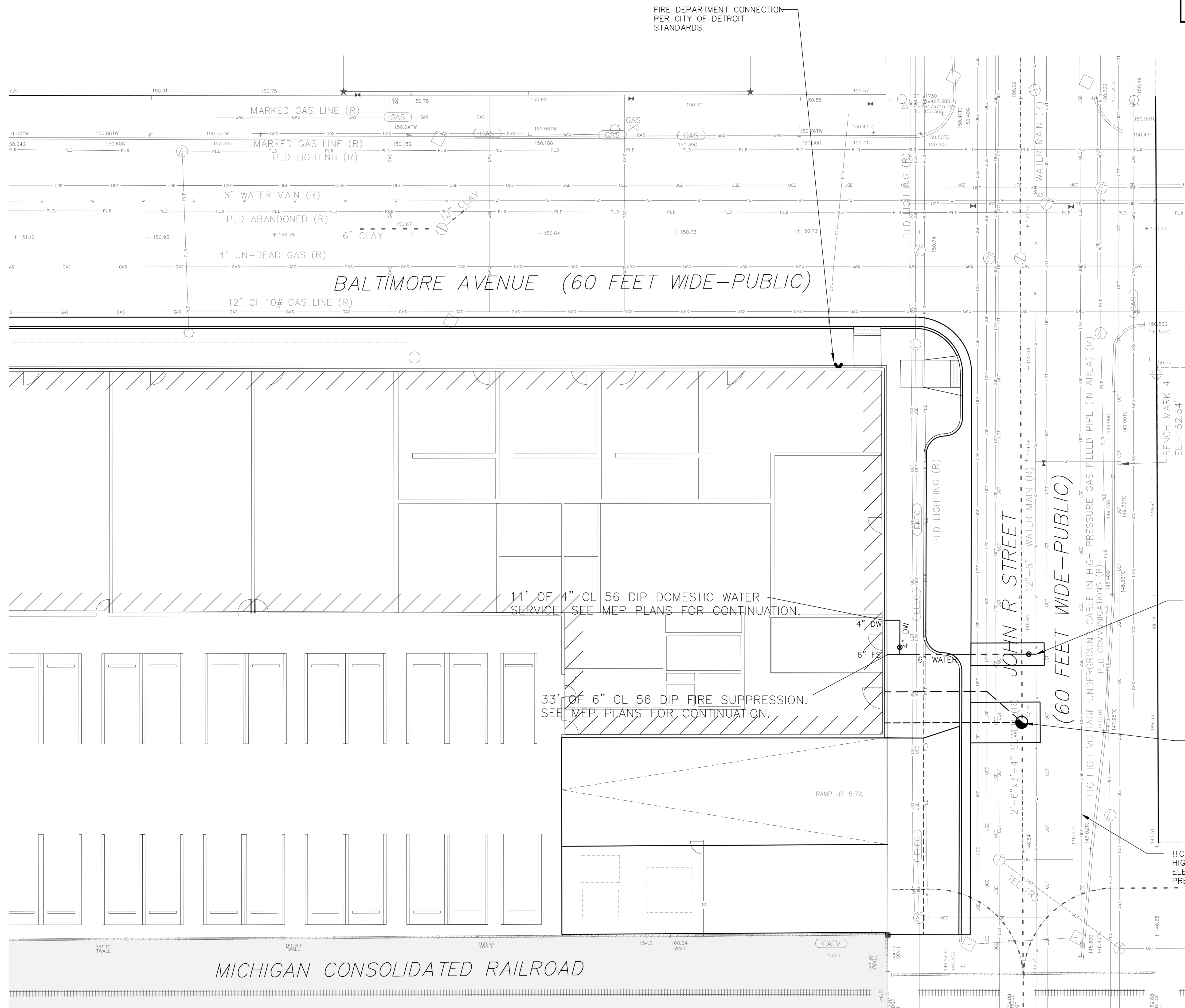
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3	Site Plan Revision 2	08.11.2017

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Key Section

Key Plan

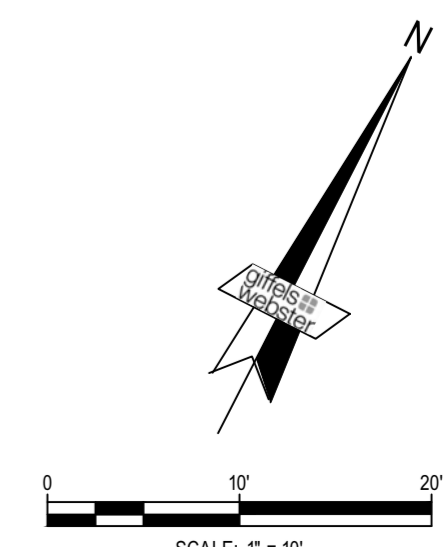


Sheet Name

Utility Plan
 East

C1.61

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City Engineer's Stamp
PATRICIA L. DEMARCO
ENGINEER
No. 6201064539
LICENSED PROFESSIONAL ENGINEER

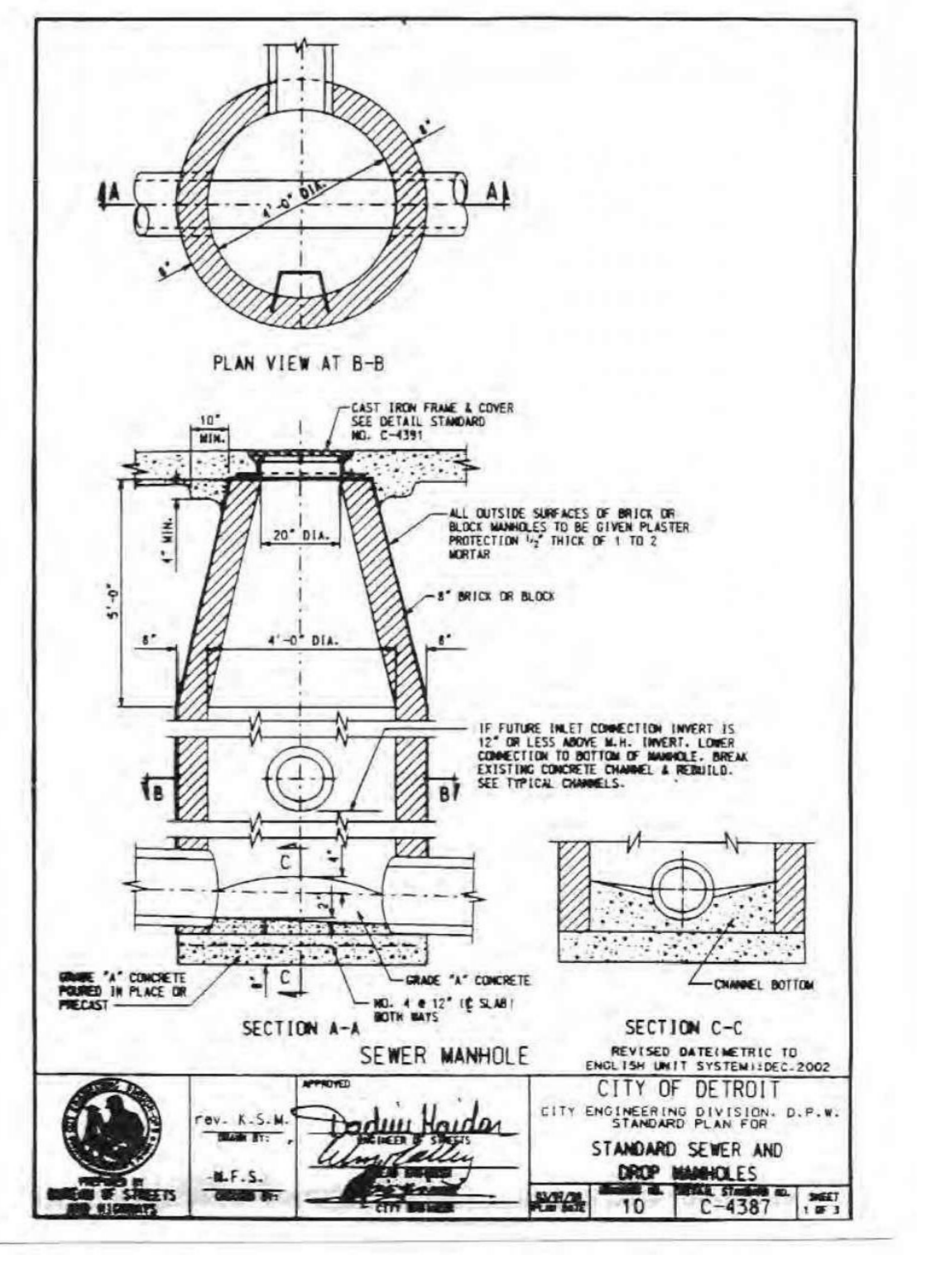
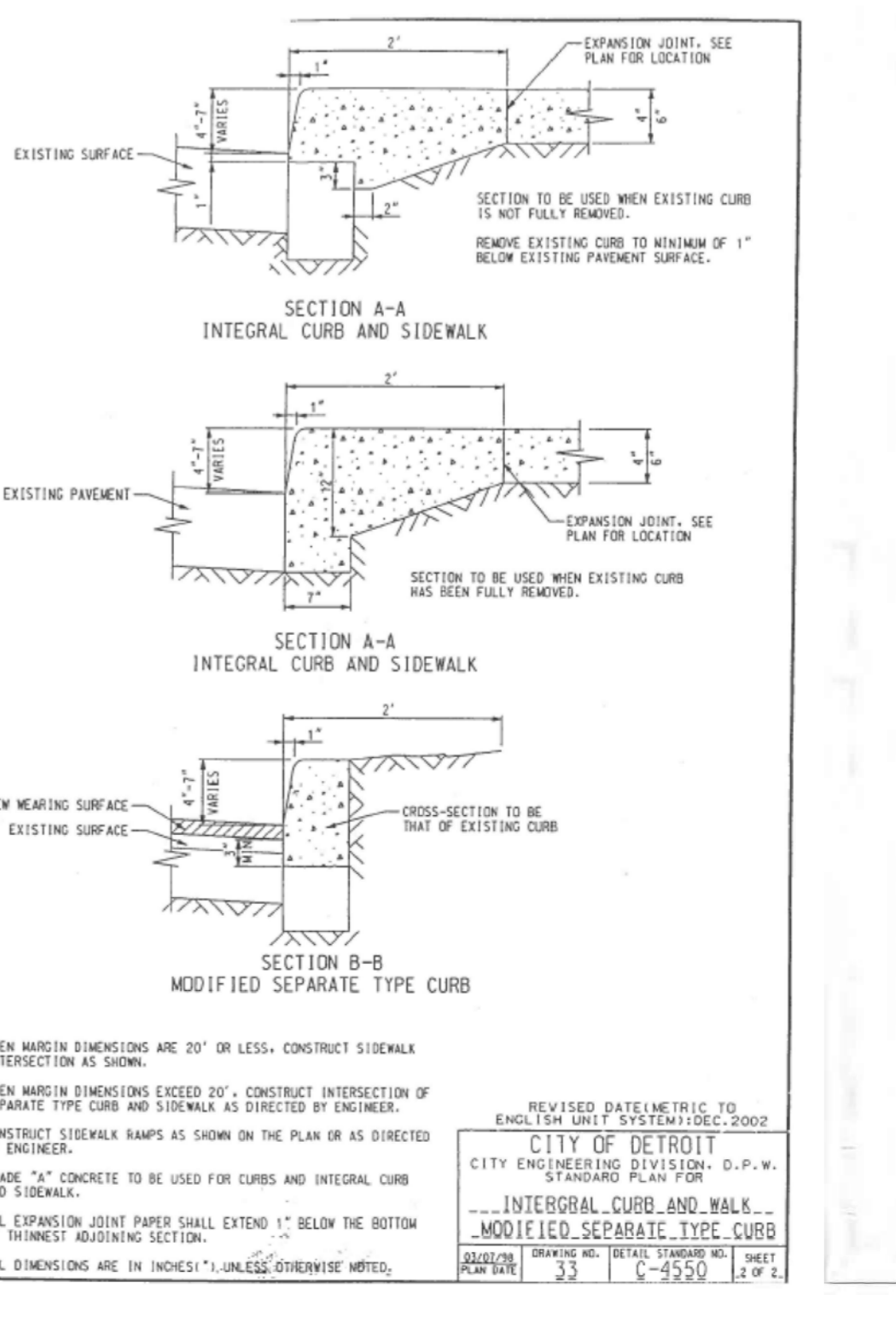
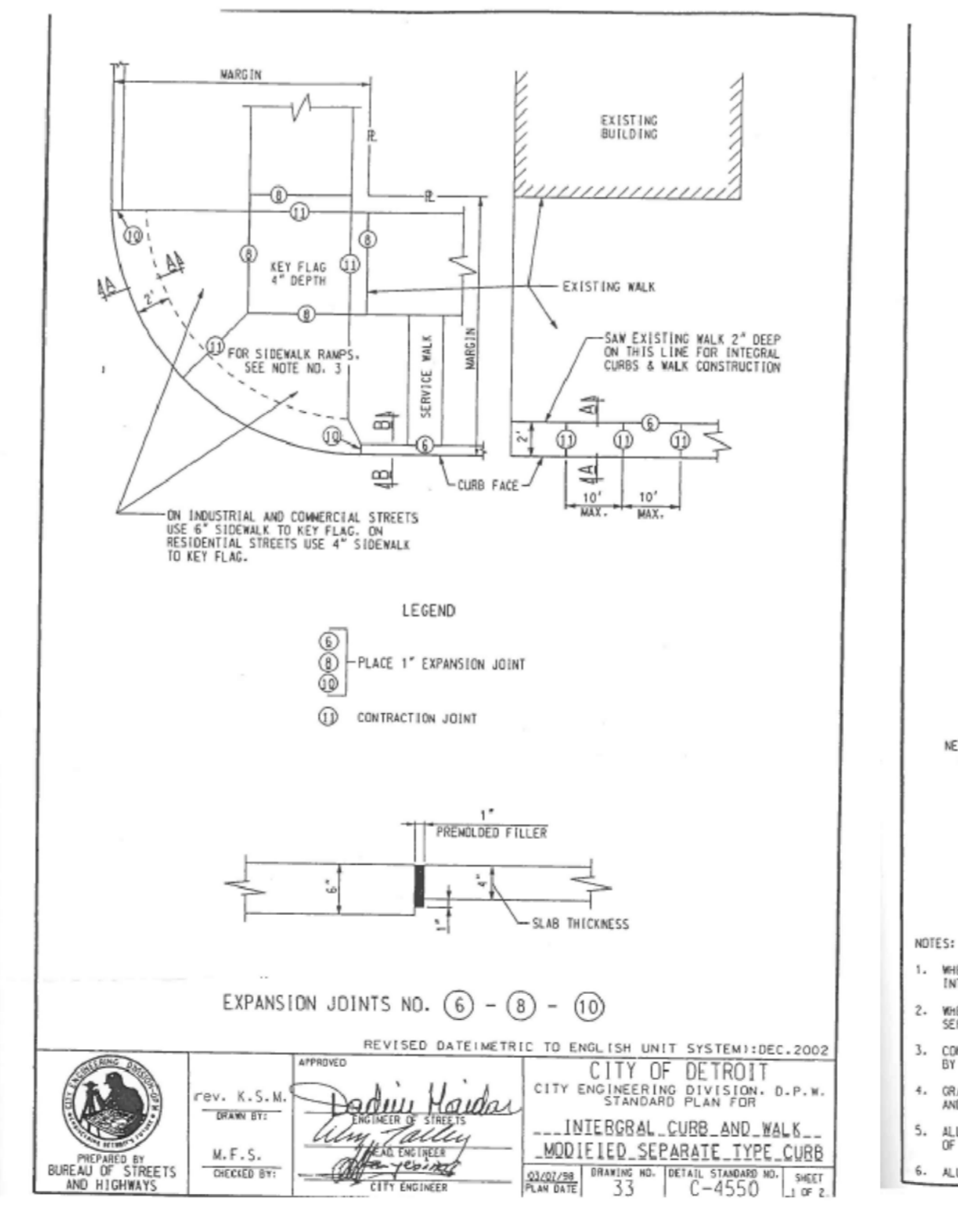
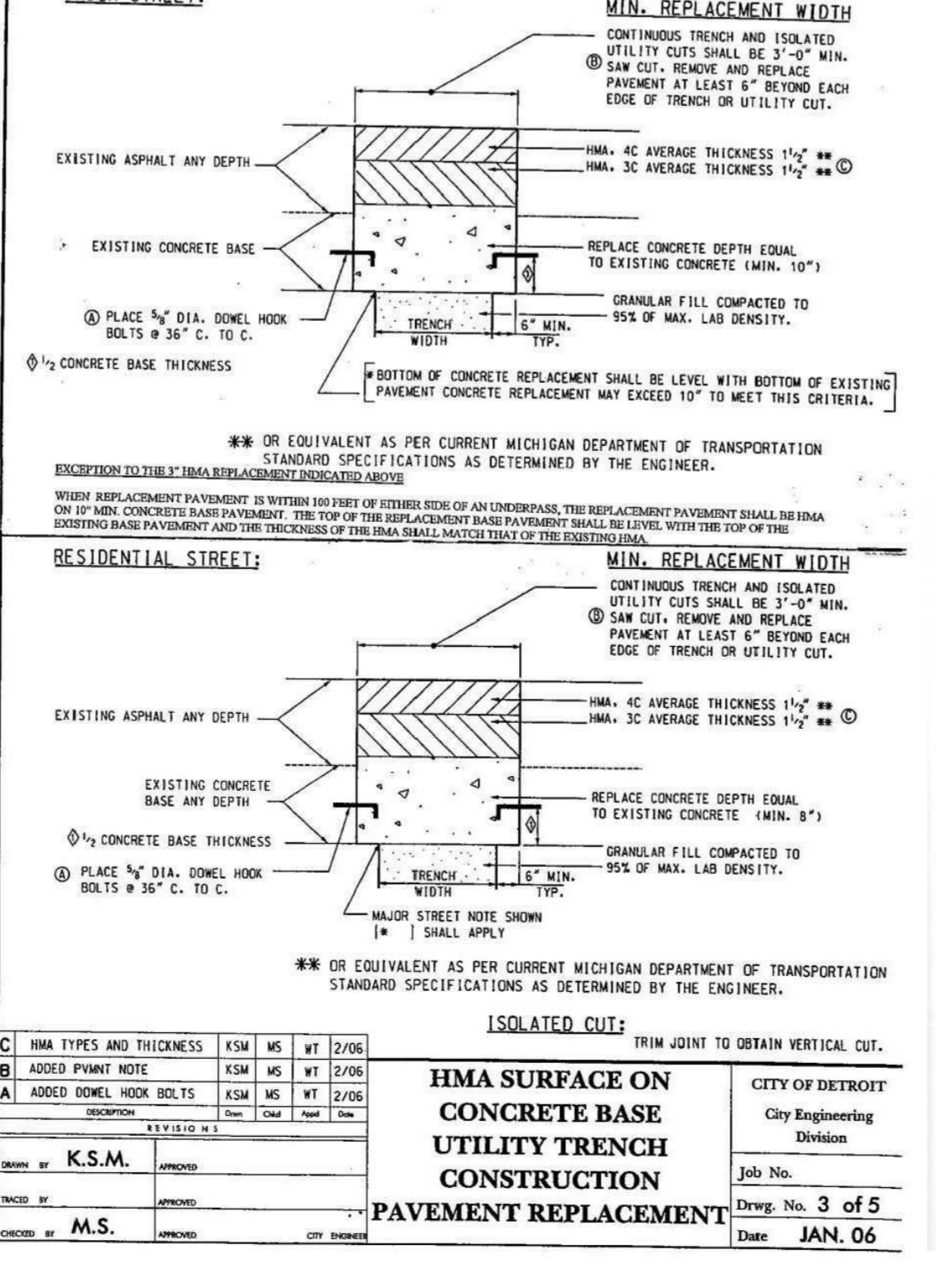
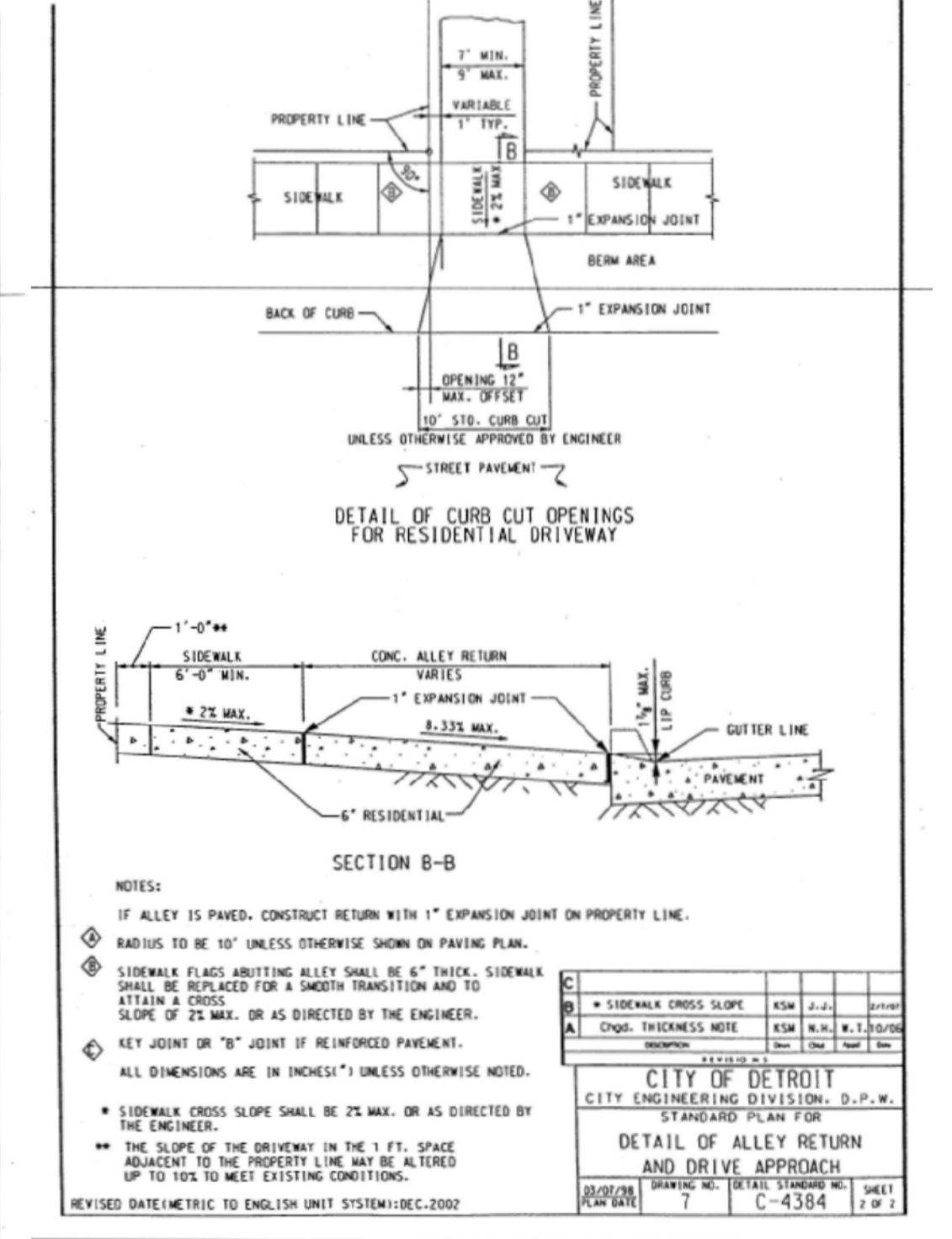
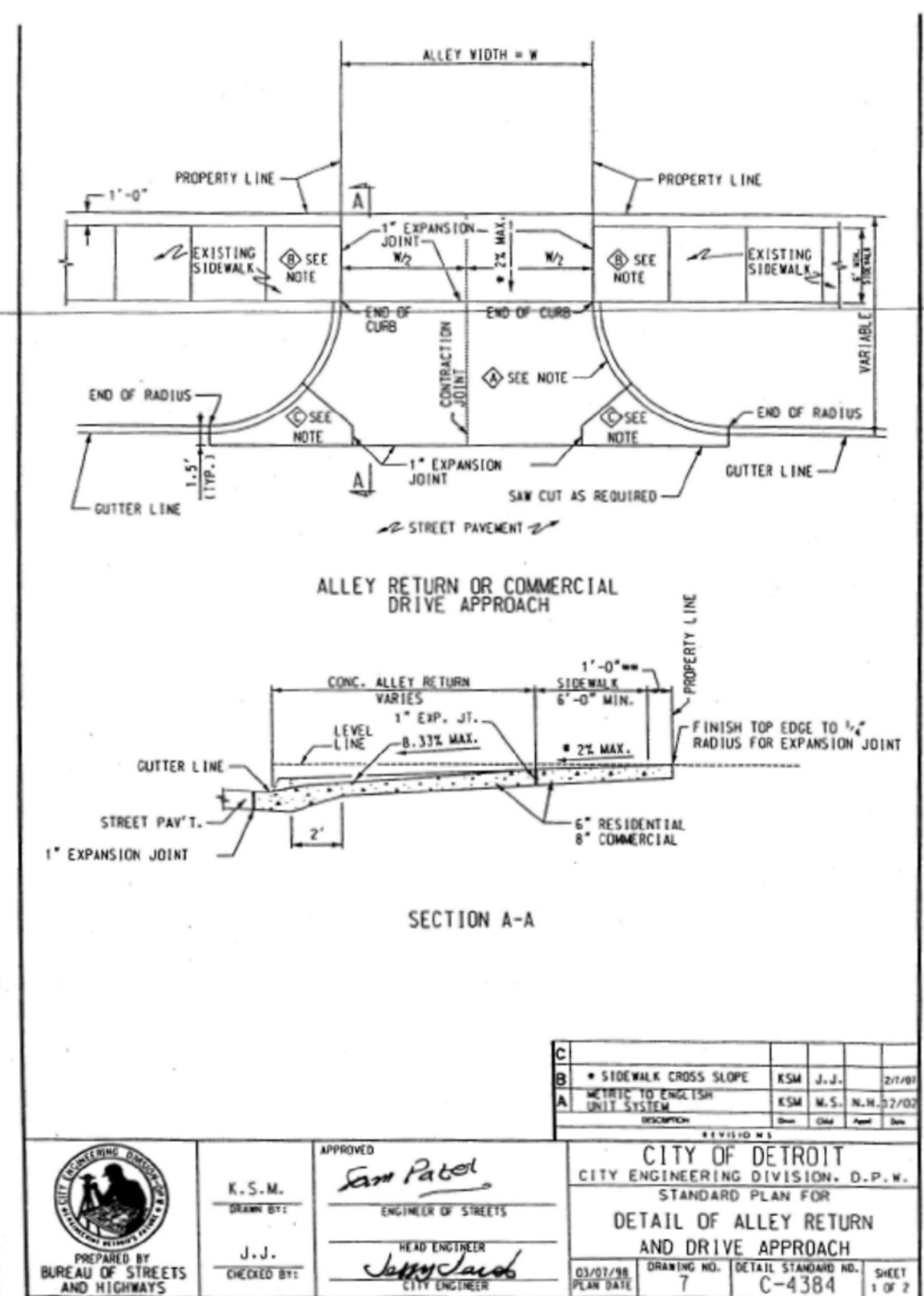
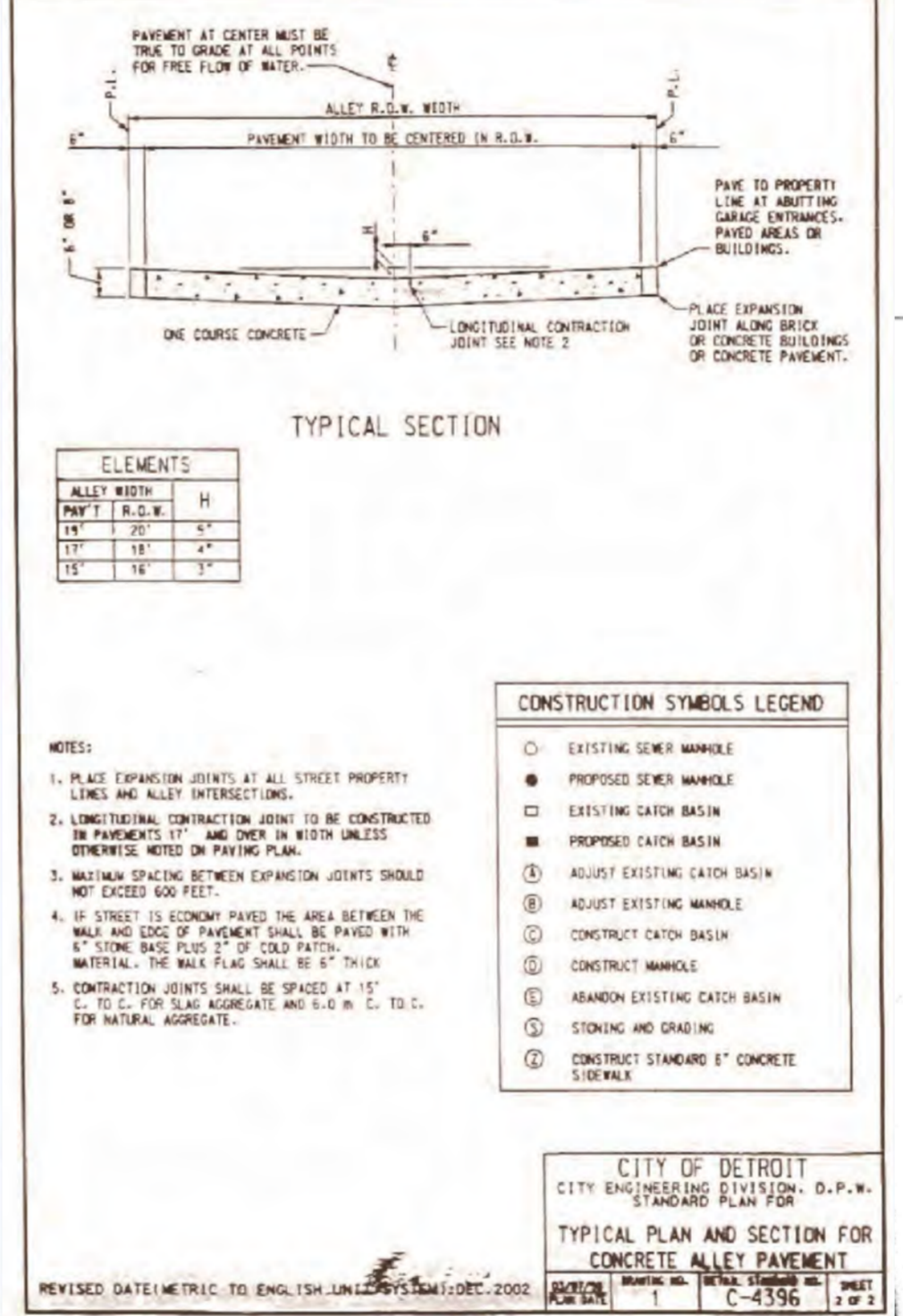
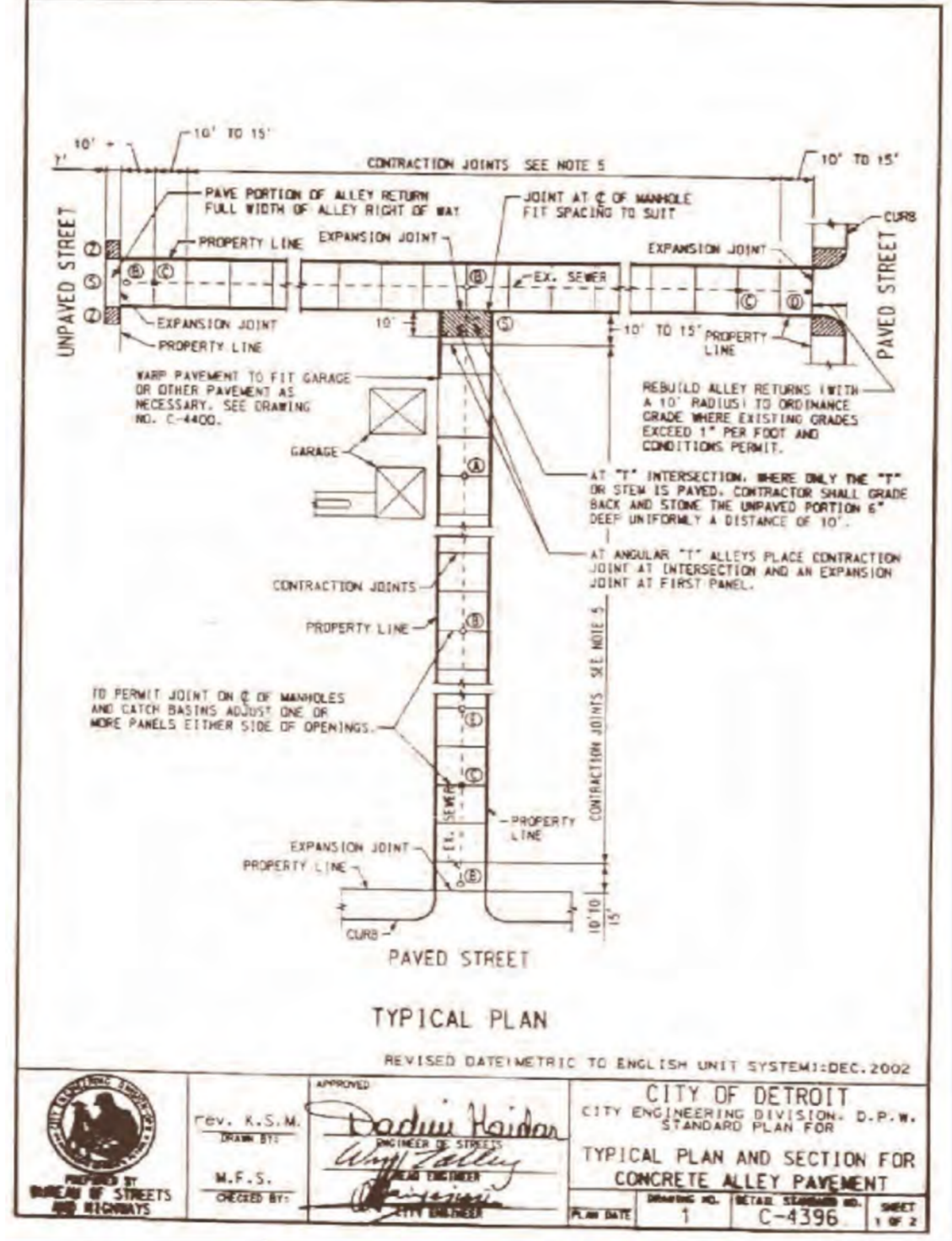
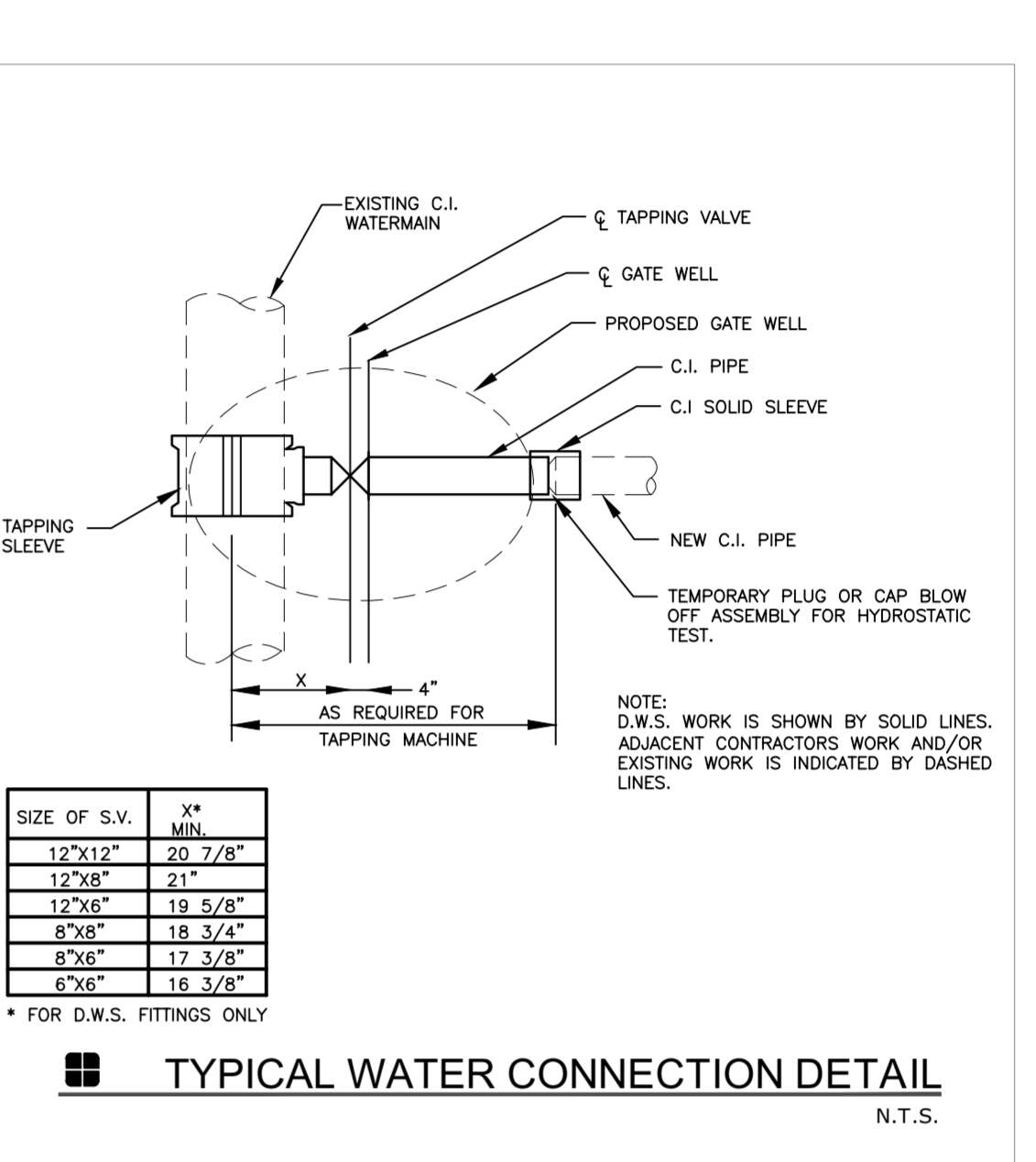
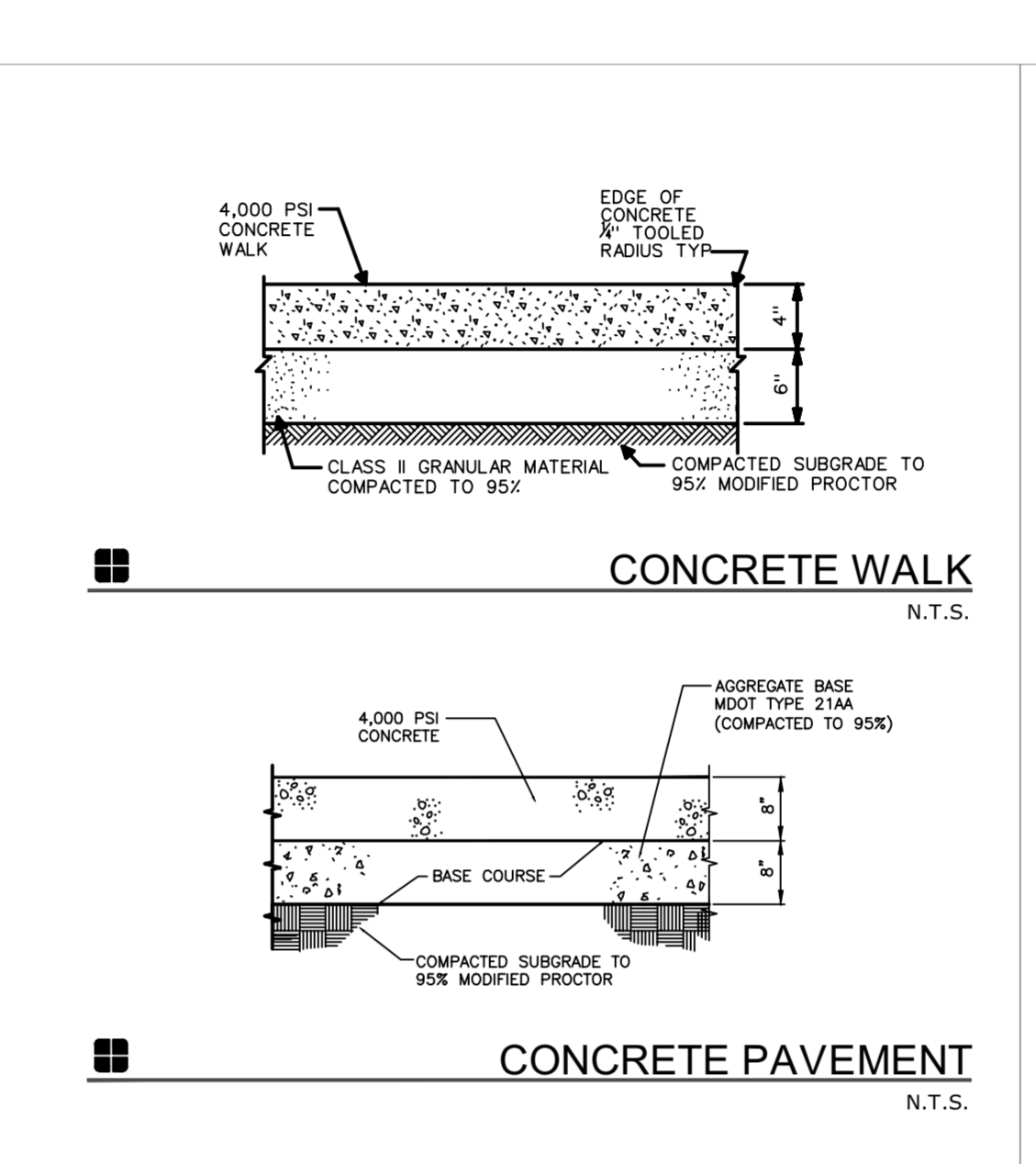
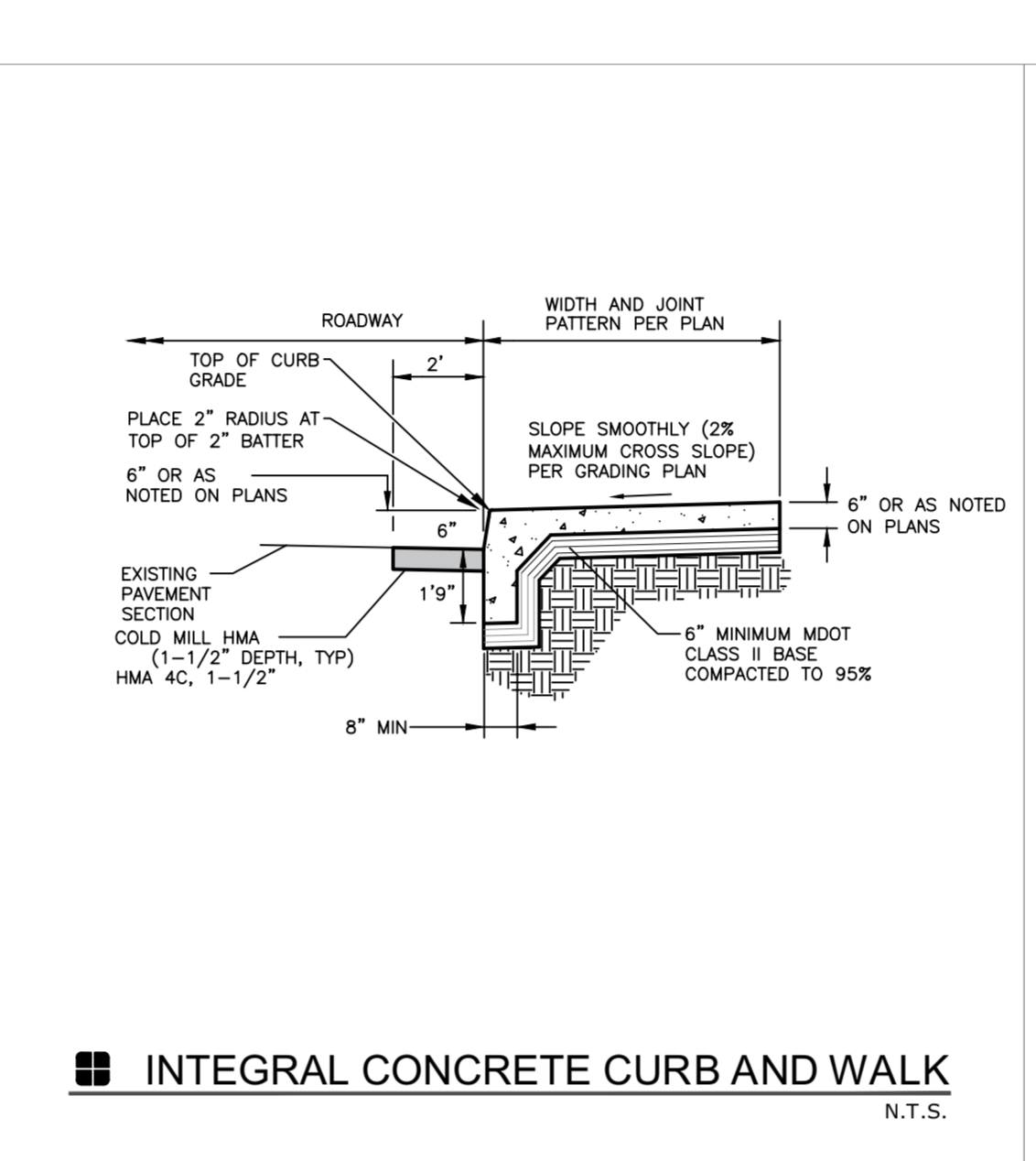
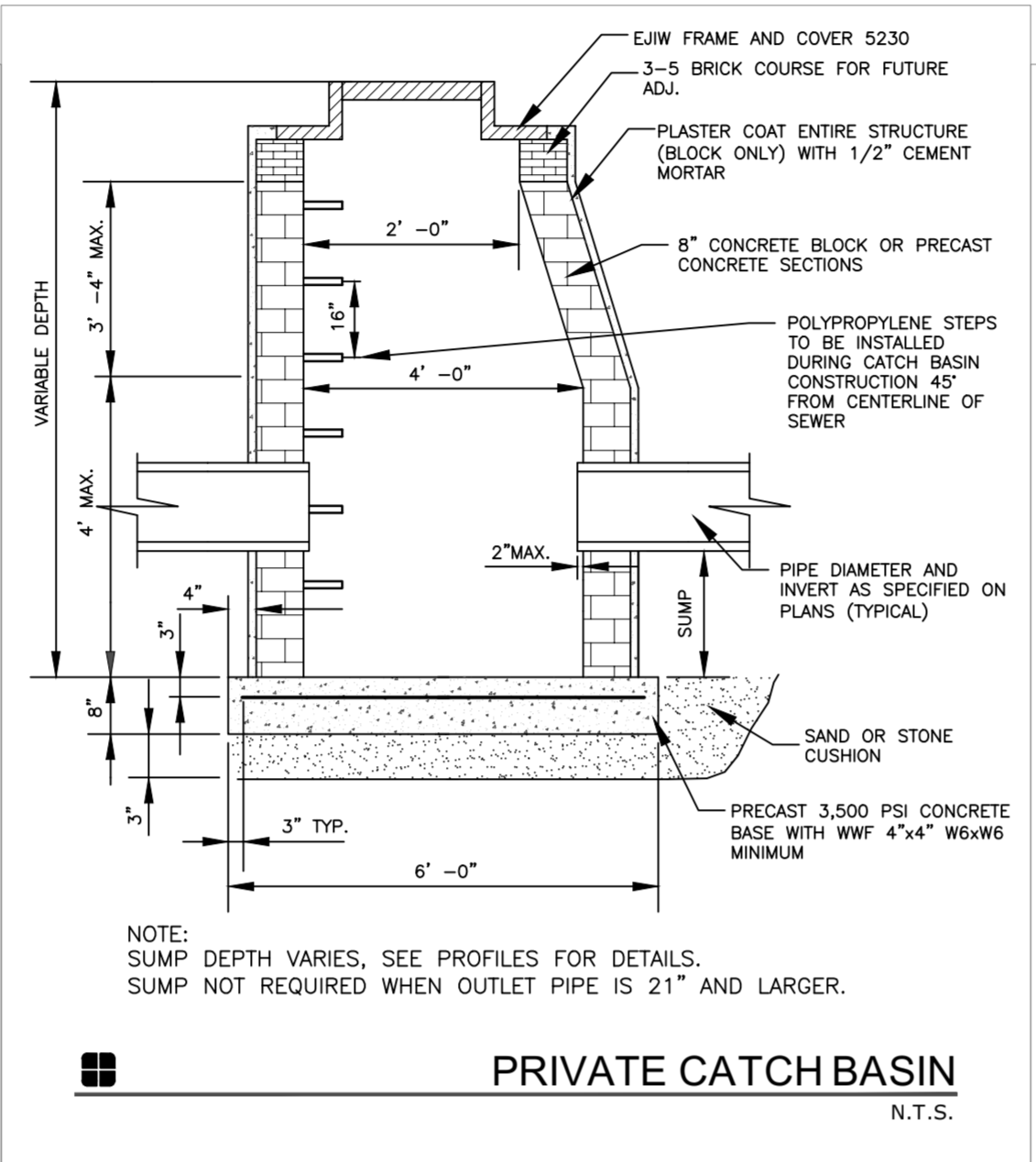
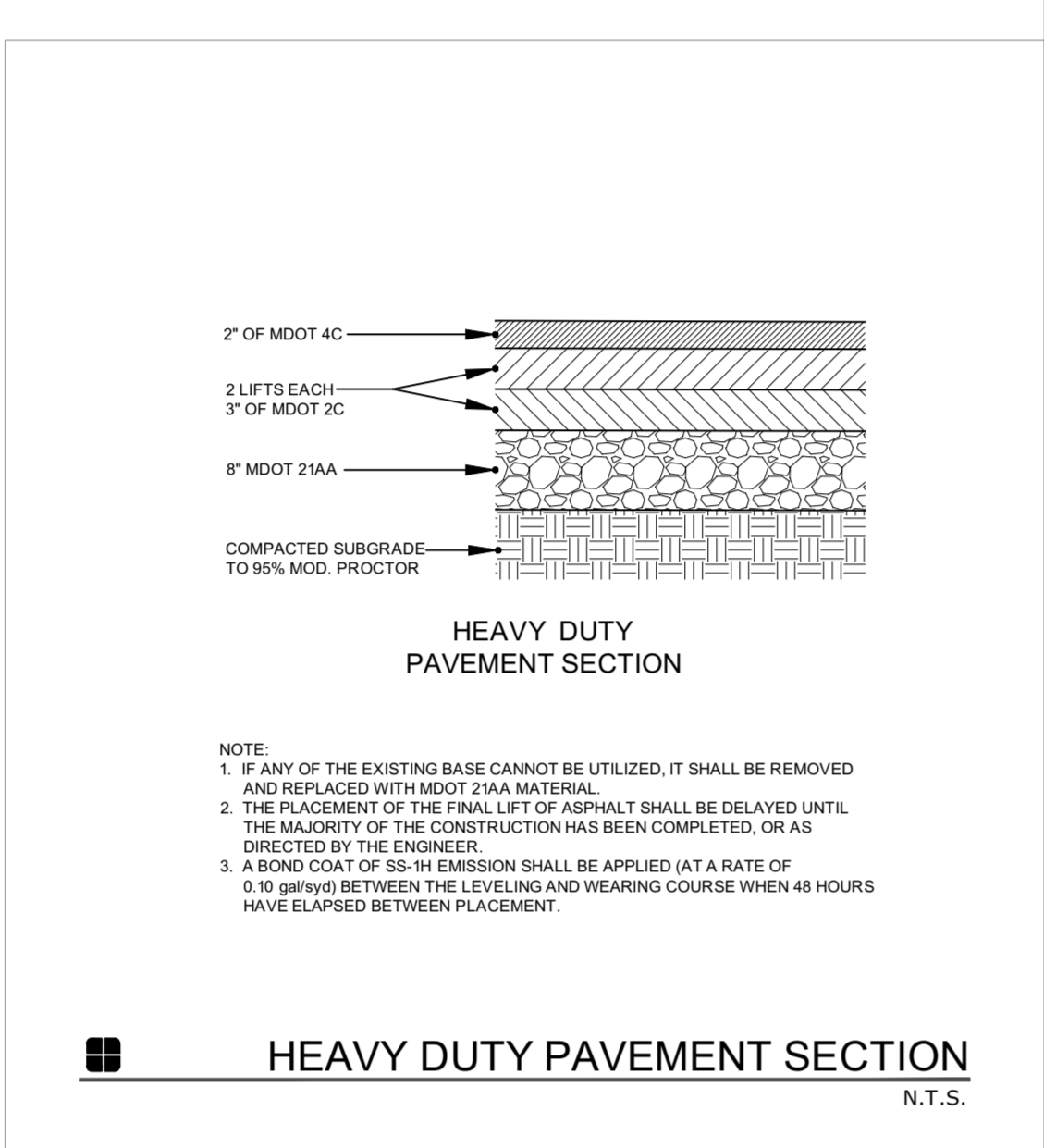
giffels
webster

No.	Description	Date
1	Site Plan Submittal	10/23/2017
2	Site Plan Revision 1	10/26/2017
3	Site Plan Revision 2	08/11/2017

NOT FOR
CONSTRUCTION

Key Section
Key Plan
Sheet Name
Details

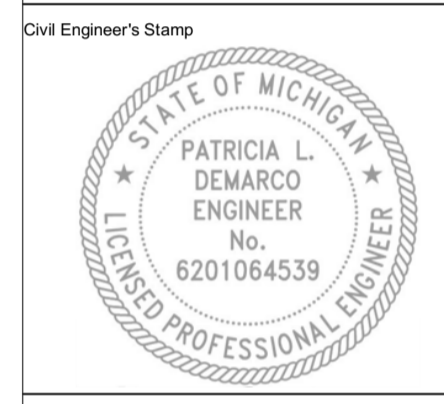
C5.00



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Is used for:

No.	Description	Date
1	Site Plan Submittal	03.03.2017
2	Site Plan Revision 1	06.02.2017
3	Site Plan Revision 2	08.11.2017

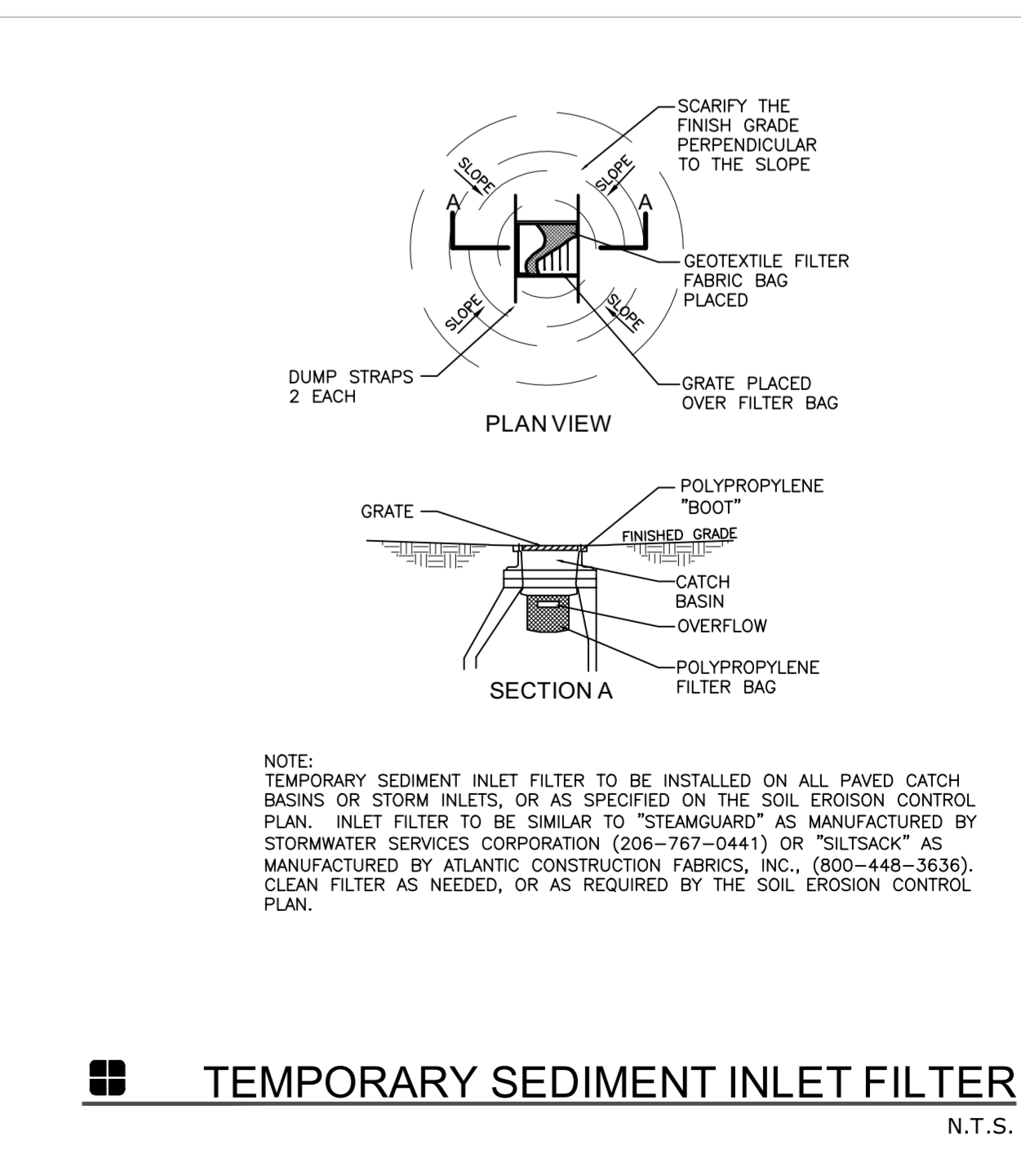
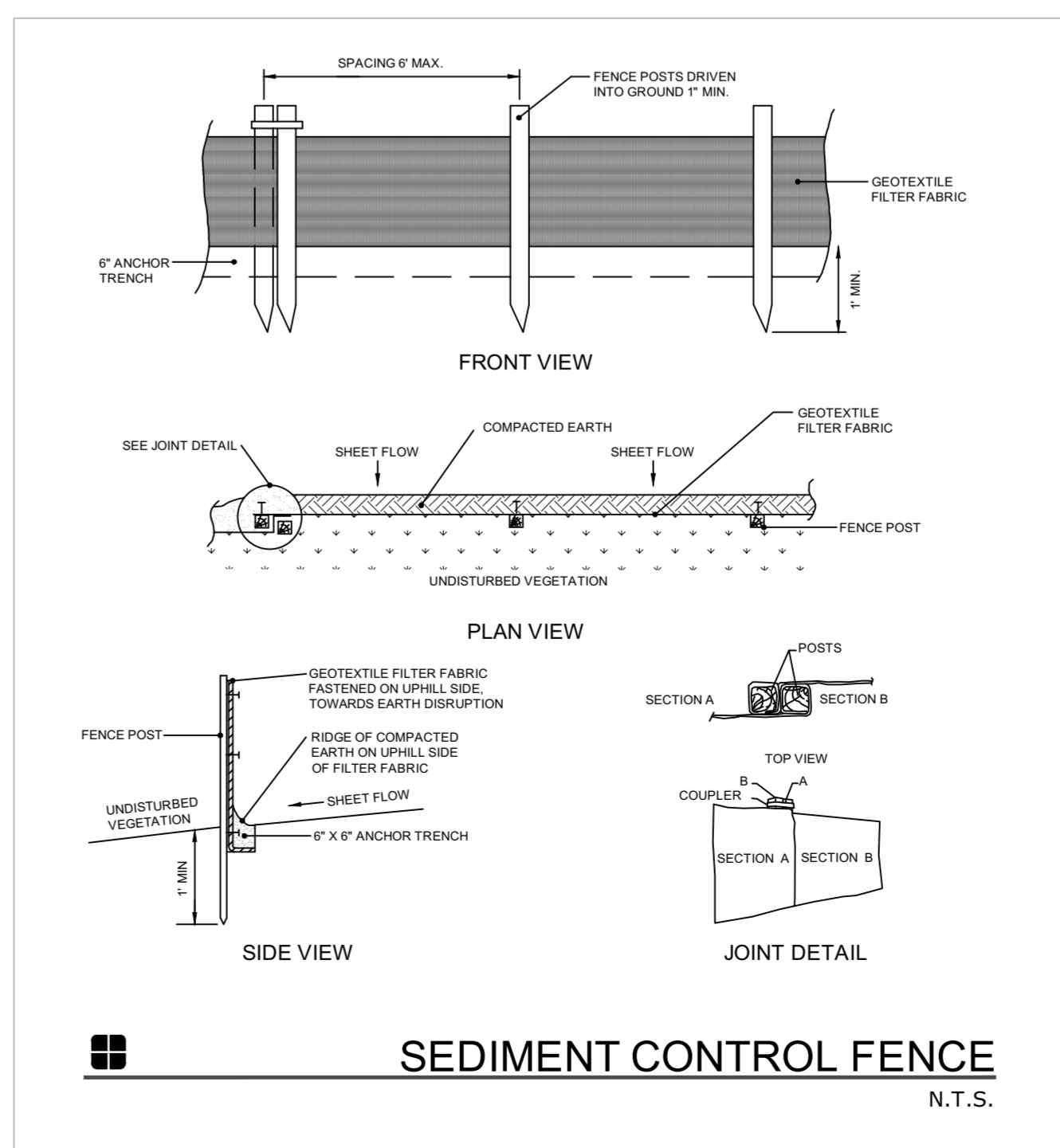
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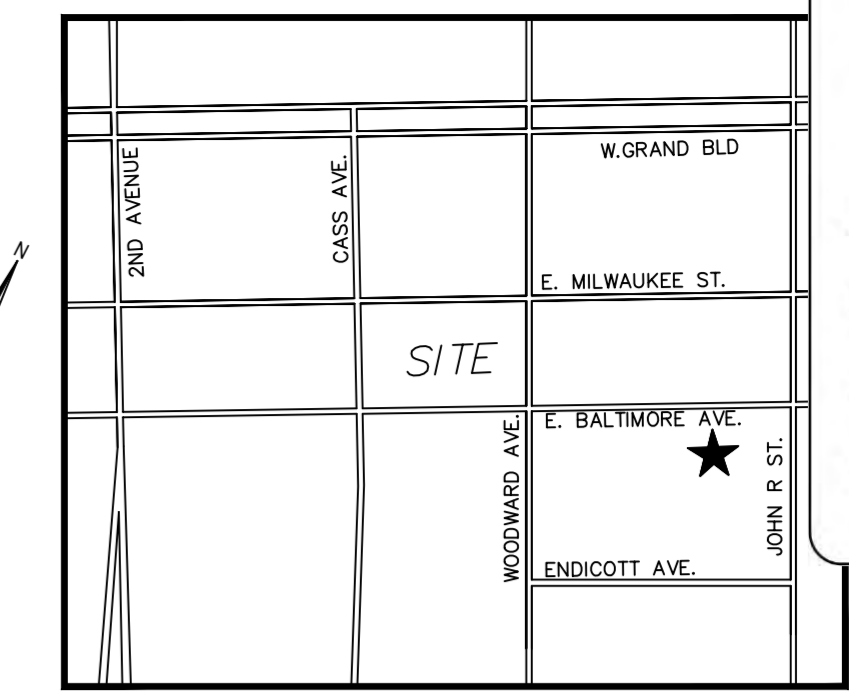
Key Section

Key Plan

Sheet Name
SESC Details

C5.01





- PLANT NOTES:**
- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
 - Planting bed soil for shall be an equal mix of screened topsoil, peat moss, and . . . To deter weed growth during establishment, apply a pre-emergent ("Preen" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
 - Planting pockets shall be no deeper than twice the height of the root ball.
 - All tree wrap shall be removed upon planting.
 - Mulch shall be crushed granite, VSI-SD, 4" thick, uncompacted, raked flat. Known Source: Levy. Contractor to submit sample for approval by landscape architect/civil engineer prior to placement.
 - Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
 - Remove the top 1/3 of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
 - Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 Grade.
 - Plant material shall be planted within the annual planting window of March 15 through November 15. any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.

- GENERAL NOTES:**
- All Construction shall conform to the current standards and specifications of local ordinances.
 - All areas not built, landscaped, or paved upon shall receive stone mulch, crushed granite, VSI-SD. Known source: Levy.
 - All plant bed areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
 - Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
 - A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.

LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

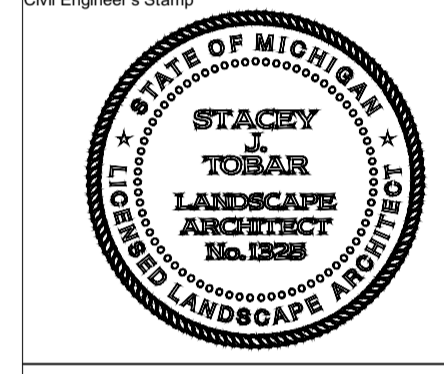
LANDSCAPE PLANT LIST:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
14	GK	Princeton Grape Blebs	GINKGO BILOBA 'PRINCETON SENTINEL'	2 1/2" CAL, B&B
5	HL	Shiloh Honey Locust	GLEDTERIA TRICANTHOS 'SHERMAN'S HONEY LOC'	2 1/2" CAL, B&B
2	TF	Turkish Fibret	CORYLUS COLLURNA	3" CAL, B&B
SHRUBS				
30	WEG	Wine & Roses Weigela	WEIGELA FLORIDA 'WINE & ROSES'	#5 CONT., 42 inch O.C., Plant in Rows
ORNAMENTAL GRASSES / PERENNIALS				
63	SAL	New Dimension Blue Salvia	SALVIA NEMEROSA NEW DIMENSION BLUE	#1 CONT., 18 inch O.C., Plant in Rows
##	EBF	Elgin Blue Fescue	FESTUCA GLAUCA 'ELGIN BLUE'	#1 CONT., 12 inch O.C., Plant in Rows

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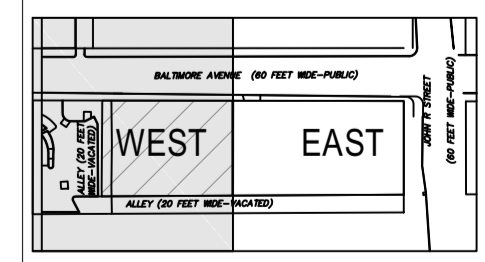
giffels webster

Issued For:

No.	Description	Date
1	Site Plan Submittal	03.03.2017
2	Site Plan Revision 1	06.02.2017
3	Site Plan Revision 2	08.11.2017

Key Section

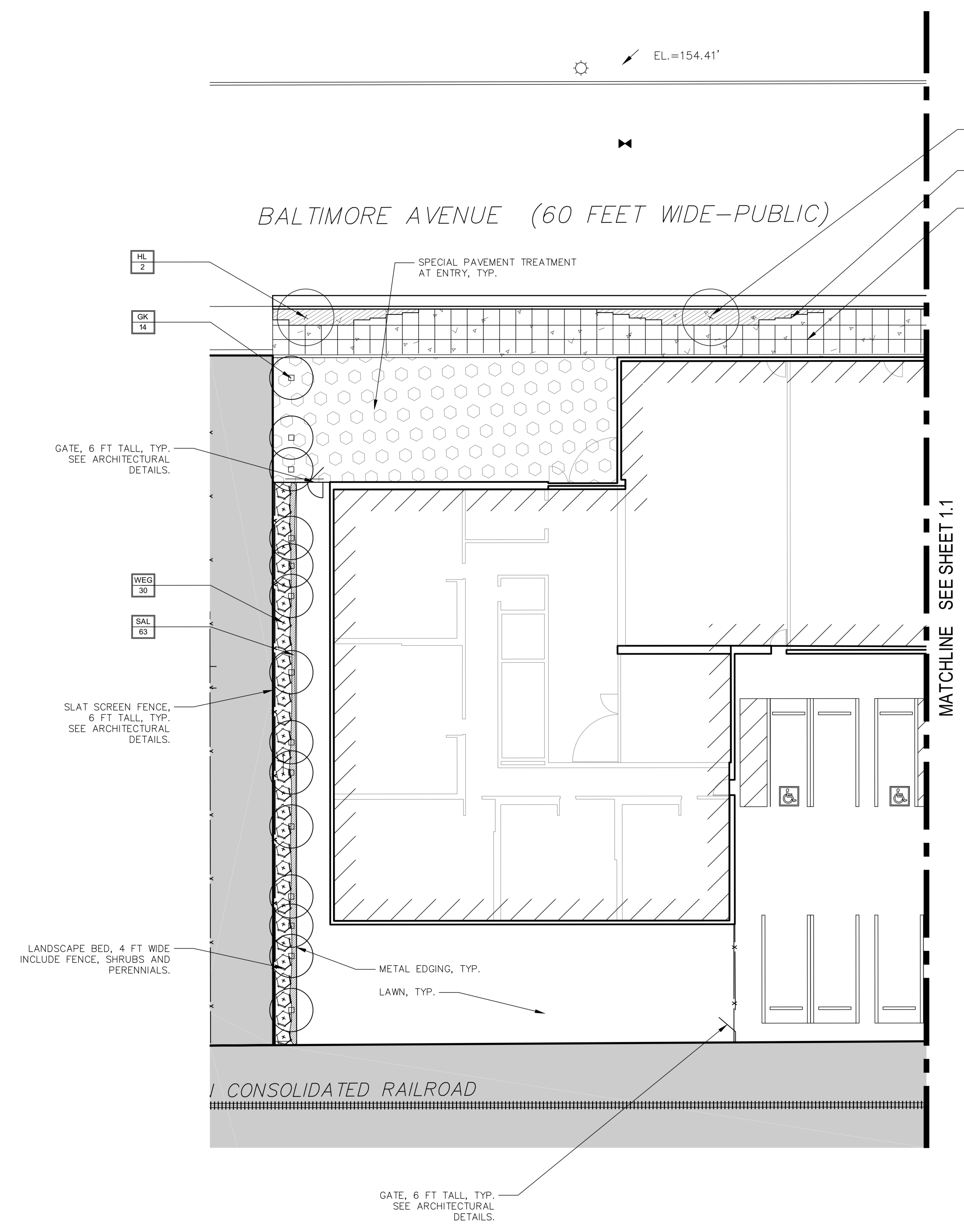
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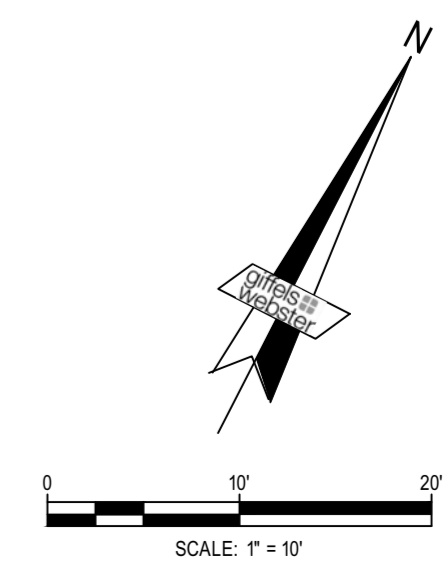
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Landscape Plan West

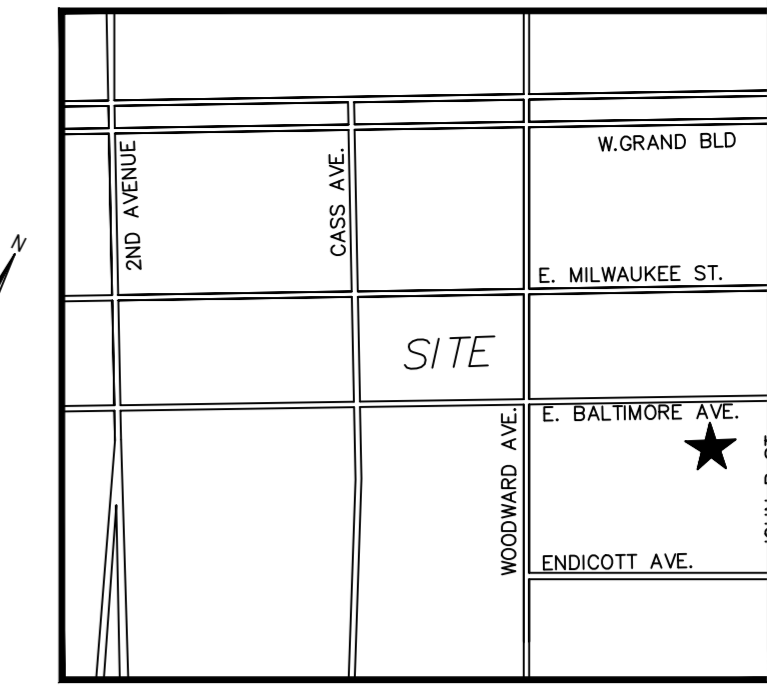
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MATCHLINE SEE SHEET 1.1



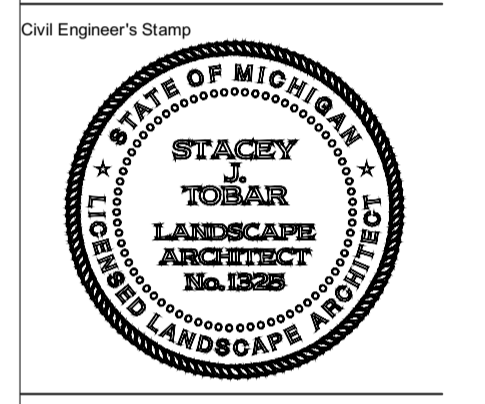


LOCATION MAP
(NOT TO SCALE)

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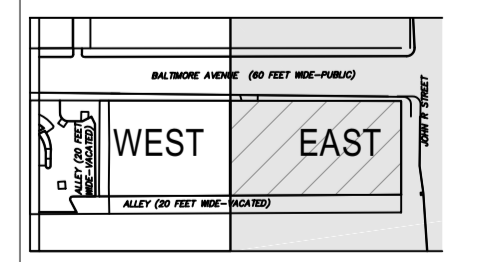
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Issued For:

No.	Description	Date
1	Site Plan Submittal	02.03.17
2	Site Plan Revision 1	06.02.17
3	Site Plan Revision 2	08.11.17

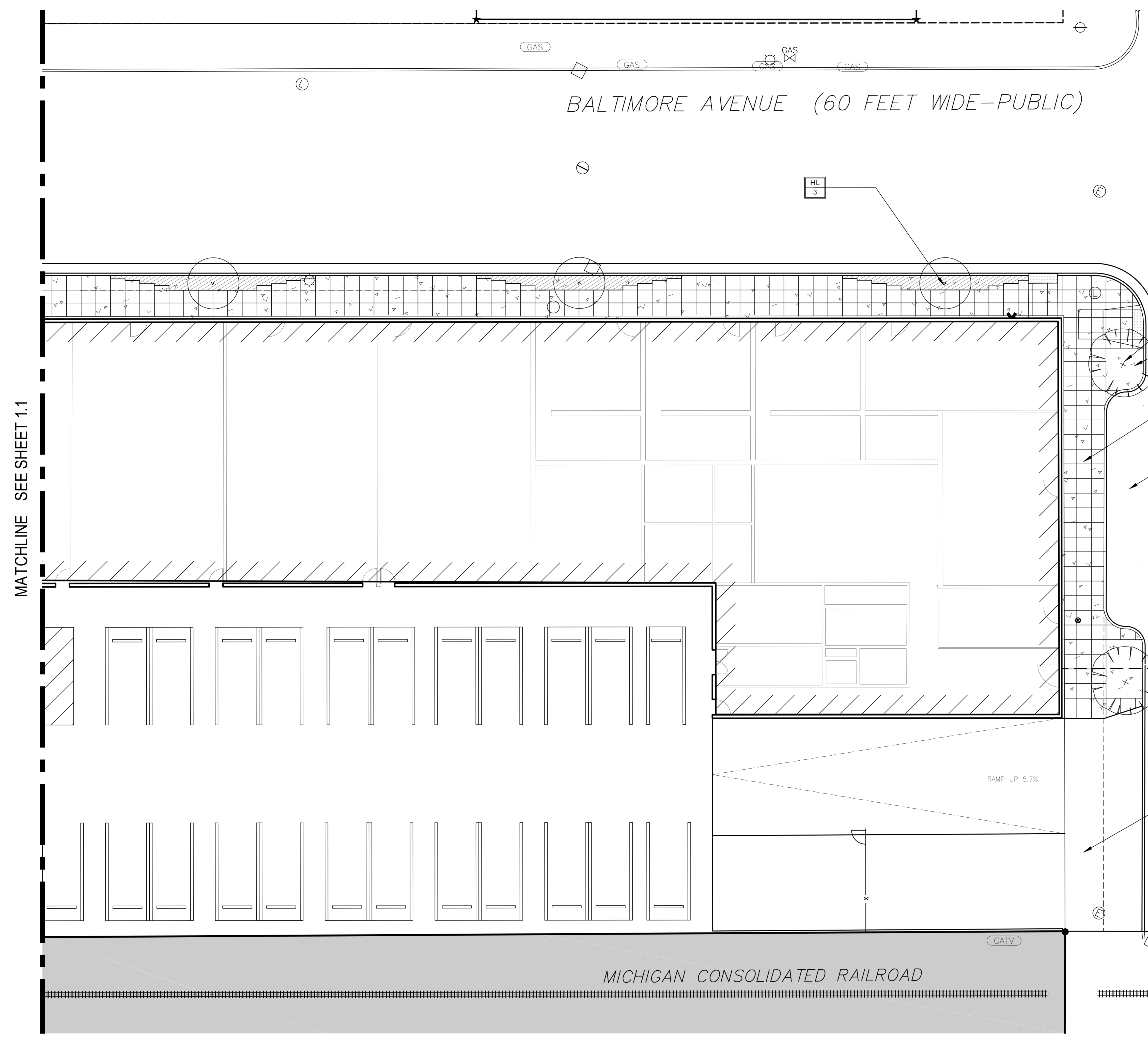
Key Section

Key Plan



Sheet Name
Landscape Plan
East

L1.1

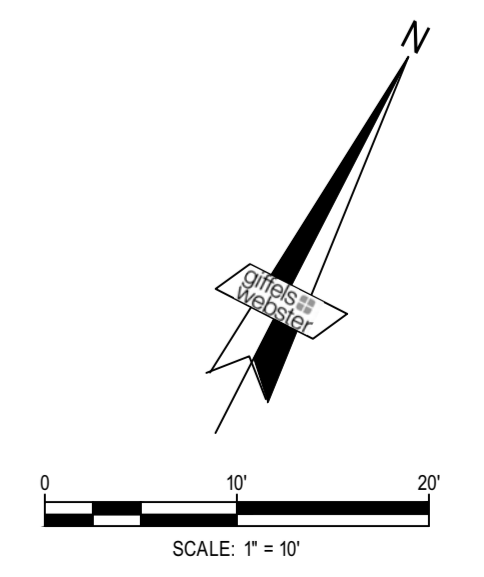


- HL 3
- TF 2
- PROPOSED DECIDUOUS TREE IN PLANTER, TYP.
- CONCRETE PAVEMENT PER CITY OF DETROIT STANDARDS, TYP.
- LOADING ZONE, TYP.

CONCRETE DRIVE APRON PER CITY OF DETROIT STANDARDS, TYP.

MATCHLINE SEE SHEET 1.1

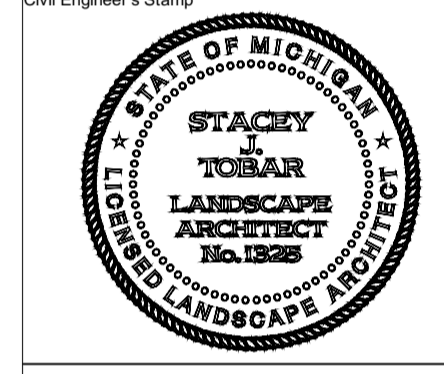
MICHIGAN CONSOLIDATED RAILROAD



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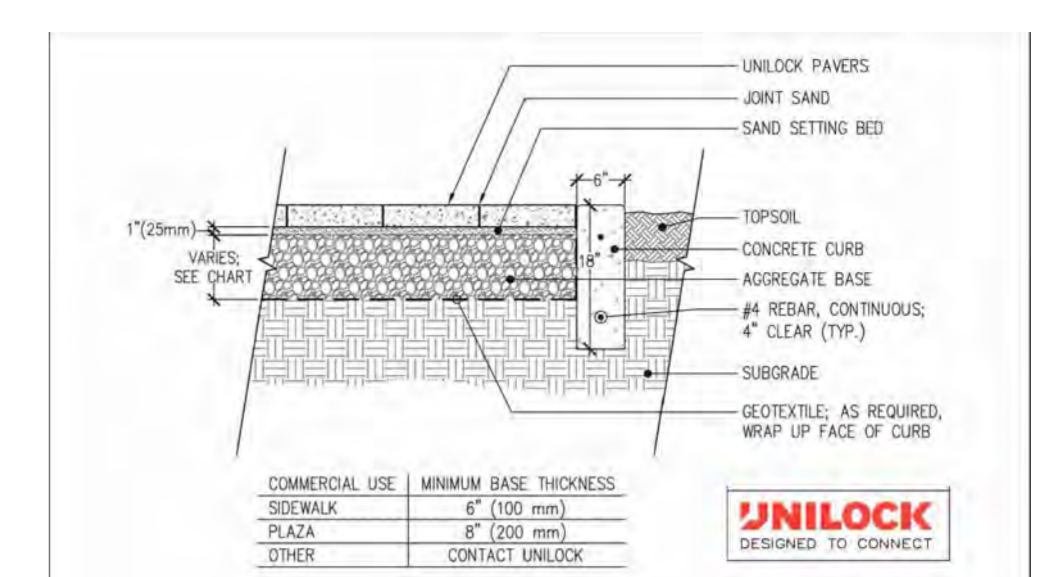


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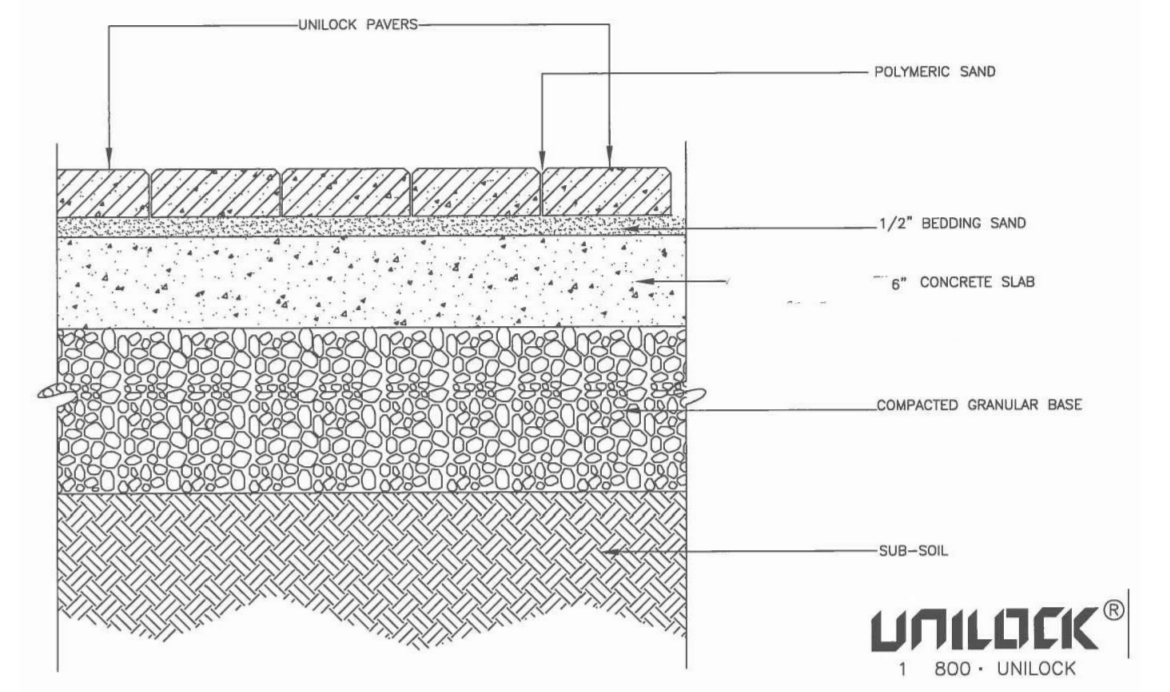
Issued For:

No.	Description	Date
1	Site Plan Submittal	03.03.2017
2	Site Plan Revision 1	06.02.2017
3	Site Plan Revision 2	08.11.2017

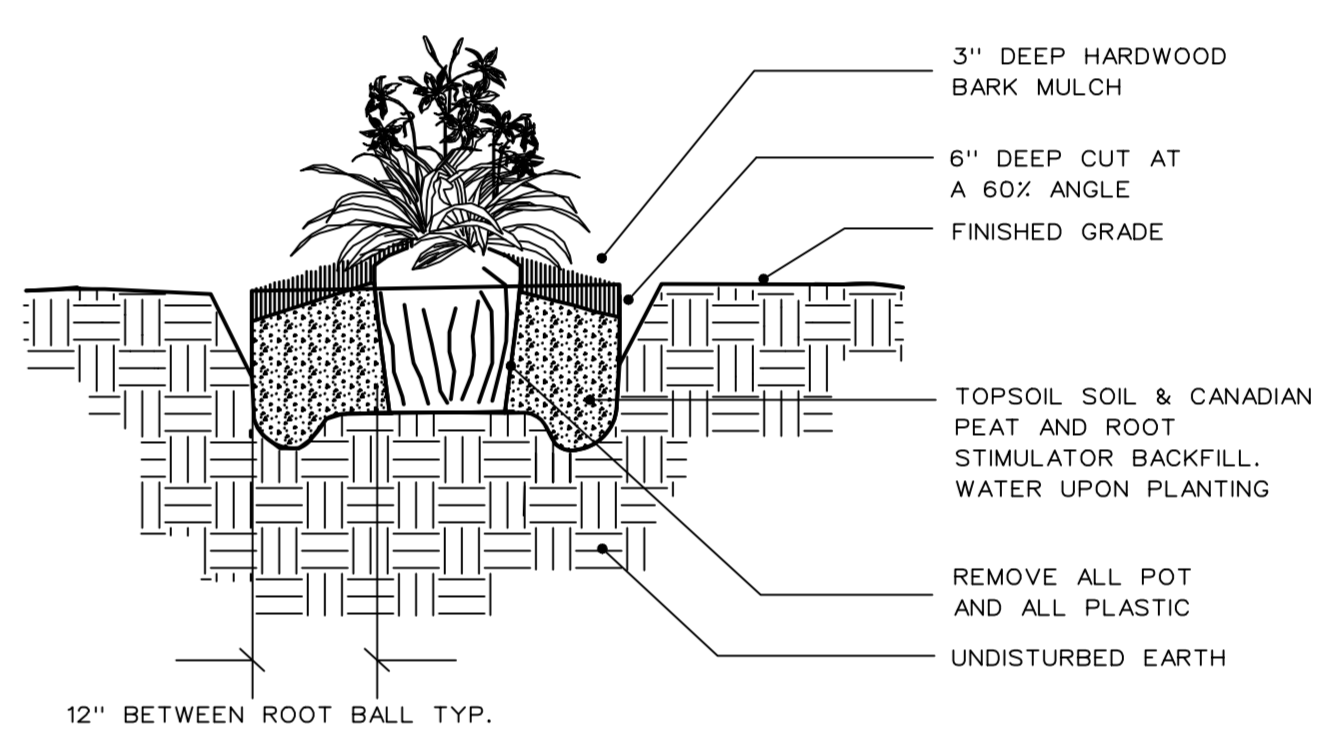
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Key Plan
Sheet Name
Landscape Details



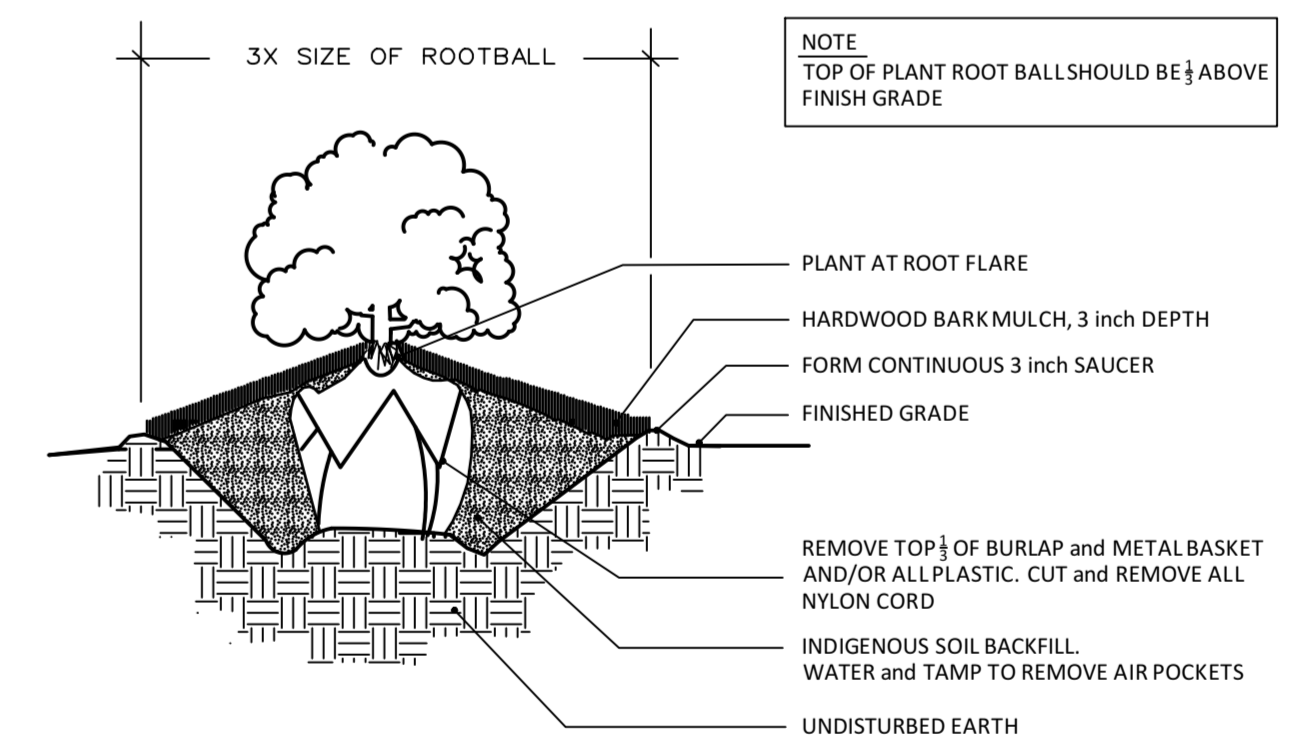
UNIT PAVERS on 6" AGGREGATE with CURB
N.T.S.



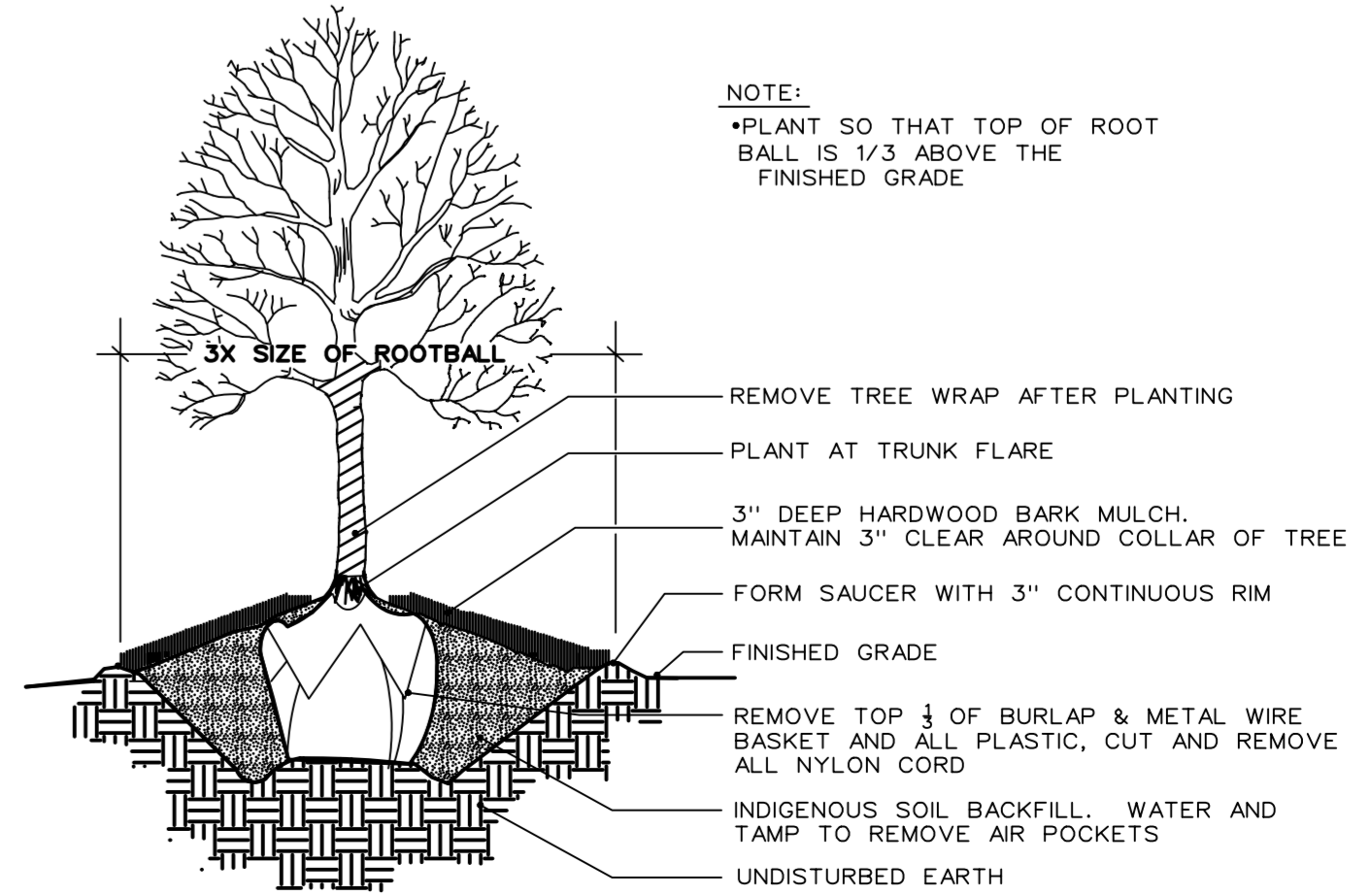
UNIT PAVERS on 6" CONCRETE BASE
N.T.S.



PERENNIAL PLANTING DETAIL
NO SCALE



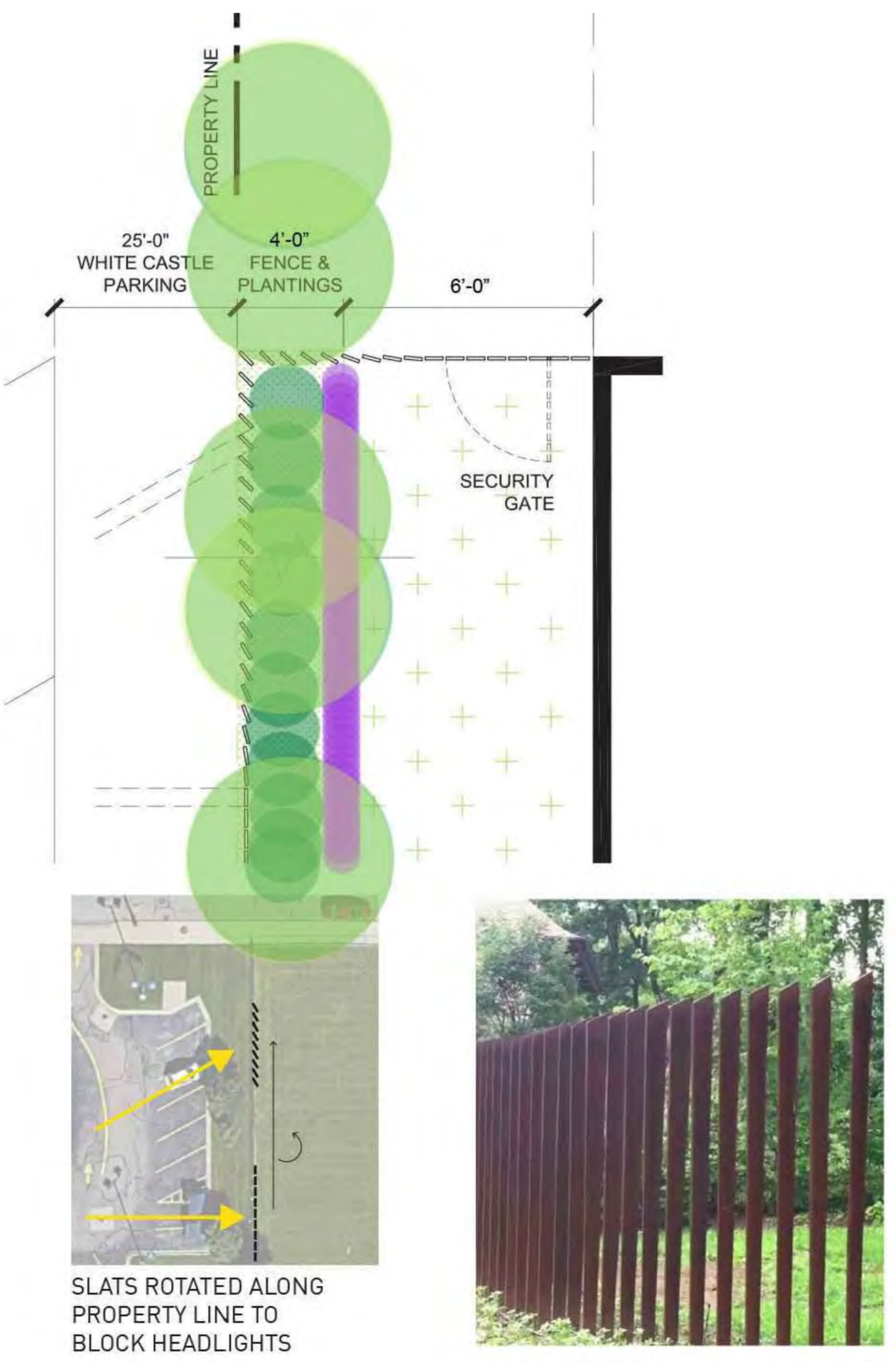
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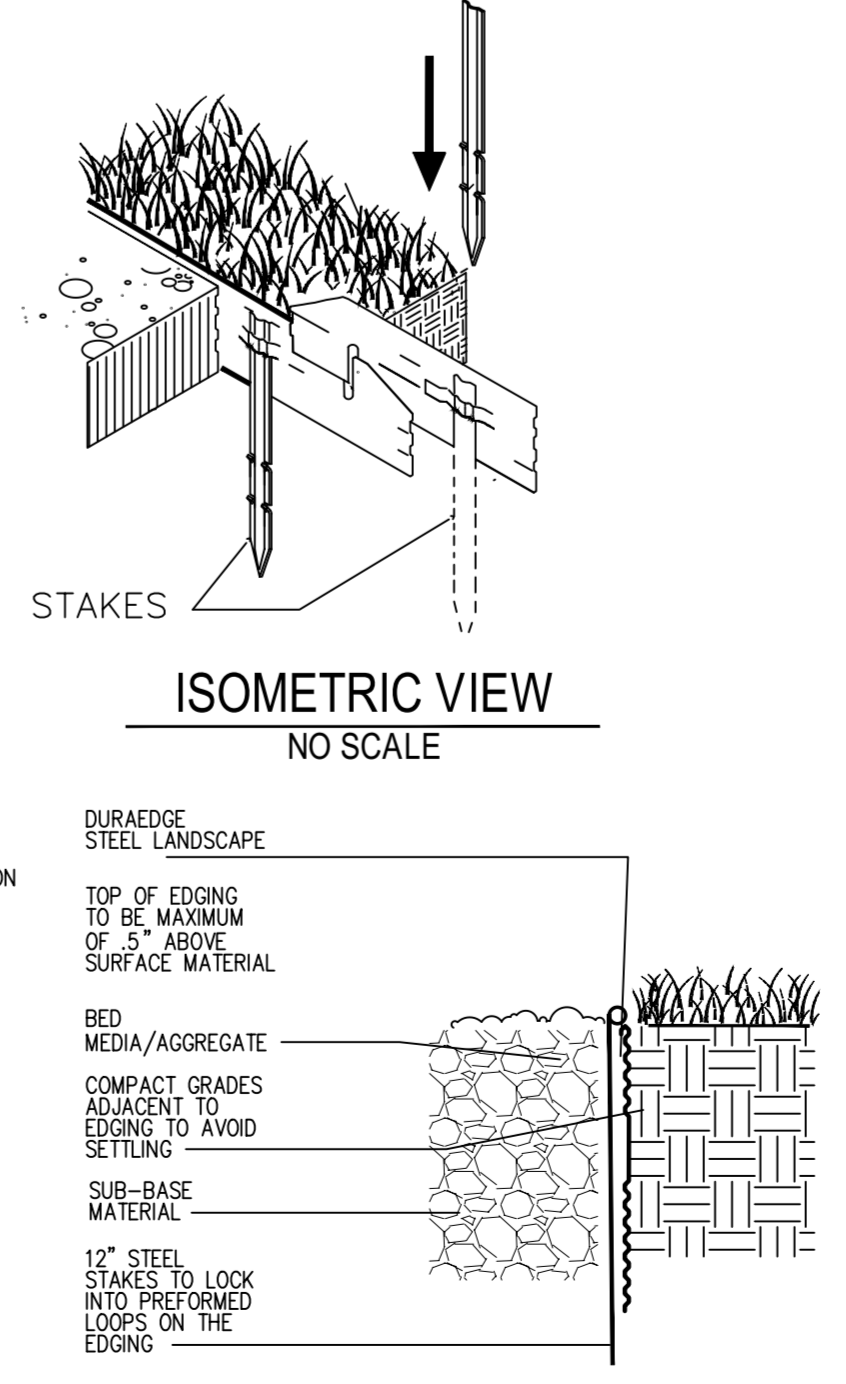
DECIDUOUS TREE PLANTING DETAIL
NO SCALE



SLAT SCREEN FENCE WEST ELEVATION
NO SCALE



SLAT SCREEN FENCE - 6 FT
NO SCALE



STEEL EDGING
NO SCALE