

City of Detroit
OFFICE OF THE CITY CLERK

Jackie L. Currie
City Clerk

Vernon C. Allen
Deputy City Clerk

DEPARTMENTAL REFERENCE COMMUNICATION

April 13, 2005

To: The Department or Commission Listed Below

From: Jackie L. Currie
Detroit City Clerk

The following petition is herewith referred to you for report and recommendation to the City Council

In accordance with that body's directive, kindly return the same with your report in duplicate within four (4) weeks.

**/HISTORIC DESIGNATION ADVISORY BOARD/
PUBLIC WORKS - CITY ENGINEERING DIVISION/**

3589 Model T Automotive Heritage Complex, Inc., for easement to encroach onto city right-of-way for historic Ford Piquette Avenue Plant to circa 1904 facade, at 411 Piquette Avenue.

3589

MODEL T AUTOMOTIVE HERITAGE COMPLEX, INC.
140 Edison Avenue
Detroit, Michigan 48202-1559

March 29, 2005

Honorable City Council
c/o Jackie L. Currie, City Clerk
200 Coleman A. Young Municipal Center
2 Woodard Avenue
Detroit, MI 48202

2005 APR -6 P 3:48
DETROIT
CITY CLERK

Attention: Honorable City Council

RE: Request for easement related to restoration of the façade of the historic Ford Piquette Avenue Plant to circa 1904 appearance.

REQUEST: We request an easement to encroach on the City right-of-way in order to replicate the original steps and sodding. (Please see enclosed blueprints.)

LOCATION: 411 Piquette Avenue at Beaubien Avenue.

SCHEDULE: Construction is anticipated to begin in May.

FUNDING: The Model T Automotive Heritage Complex, Inc., (T-PLEX), in partnership with Wayne County Department of Public Services, has received funding under MDOT's Transportation Enhancement Program to restore the façade of the historic Ford Piquette Avenue Plant, the birthplace of the Model T, to its circa 1904 appearance. (Project Number ENH200300338). The total project cost is \$199,500.00 (including \$39,900.00 in matching funds provided by T-Plex).

IMPORTANCE: The Ford Piquette Avenue Plant is a City Historic District and a State Historic Site. It is included in the National Register of Historic Places and all restoration work will be in accordance with Secretary of Interior Standards. T-Plex is becoming a tourist destination and is contributing to the economic revitalization of the Milwaukee Junction area.

CONTACT INFORMATION: Jerald Mitchell 313 867-8960

Sincerely,



Jerald A. Mitchell
Founder & CEO, T-Plex

cc: Maryann Mahaffey

Visit our website www.tplex.org

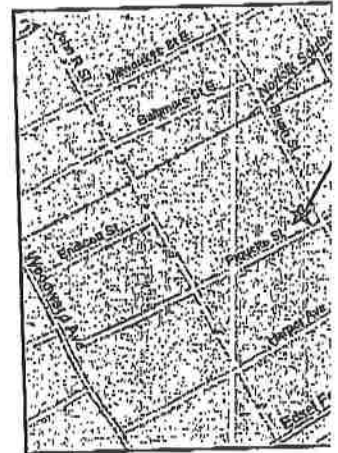
Neither T-PLEX nor the Ford Piquette Avenue Plant are affiliated with the Ford Motor Company
The Model T Automotive Heritage Complex, Inc. (T-Plex) is a 501(c)(3) non-profit organization.
Donations to T-Plex are tax deductible.

FORD PIQUETTE AVENUE PLANT

DETROIT, MI

QE|A A05113-01

MDOT PROJECT NO
CITY OF DETROIT, W
FEDERAL PROJECT N



SITE LOCATION M
NOT TO SCALE

PROJECT TEAM

OWNER:

MODEL T AUTOMOTIVE HERITAGE COMPLEX, INC. (T-PLEX)
140 EDISON AVENUE
DETROIT, MI 48202-1559
PH: 313.867.9960

ARCHITECT:

QUINN EVANS / ARCHITECTS
219 1/2 N. MAIN STREET
ANN ARBOR, MICHIGAN 48104
PH: 734.663.5888
FAX: 734.663.5044

DEPT. OF PUBLIC SERVICES:

WAYNE CO. DEPT OF PUBLIC RESOURCES
415 CLIFFORD, SUITE 800
DETROIT, MI 48226

PUBLIC UTILITIES:

MICHIGAN CONSOLIDATED GAS COMPANY
2000 SECOND AVE.
DETROIT, MI 48226
PH: 313.235.4000

PROJECT DESCRIPTION:

PROJECT RESTORES THE FRONT (SOUTH) FAÇADE OF FRONT DOOR IS FOR APPEARANCE PURPOSES ONLY DOOR WILL BE LOCKED CLOSED. FUTURE BARRIER F PLANNED FOR DOOR AT WEST ELEVATION.

BUILDING USE: WAREHOUSE, VACANT

CONSTRUCTION TYPE: TYPE IV, HEAVY TIMBER

BUILDING CODE: MICHIGAN BUILDING CODE 2003.

BUILDING SIZE: 22,000 PER FLOOR. 3 STORIES = 66,000

BUILDING IS LISTED ON THE NATIONAL REGISTER OF HISTC

ARCADE RESTORATION

CONSTRUCTION SET
3/16/05

103338
E COUNTY
NH200300338

DRAWING LIST

ARCHITECTURAL

- A-1 SITE PLAN / ENTRY RECONSTRUCTION
- A-2 MASONRY RESTORATION
- A-3 WINDOW RESTORATIONS
- A-4 ENTRY RECONSTRUCTION

- R-83-B UTILITY TRENCHES
- R-86-C SOIL EROSION & SEDIMENTATION CONTROL MEASURES
- R-100-D SOIL EROSION & SEDIMENTATION CONTROL MEASURES

EXCEPT WHERE OTHERWISE NOTED ON THESE PLANS, OR IN THE PROPOSAL OR SUPPLEMENTAL SPECIFICATIONS CONTAINED HEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF TRANSPORTATION 2003 INTERIM STANDARD SPECIFICATIONS FOR CONSTRUCTION, AND WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR RESTORATION.

411 PIQUETTE ST.
DETROIT, MI



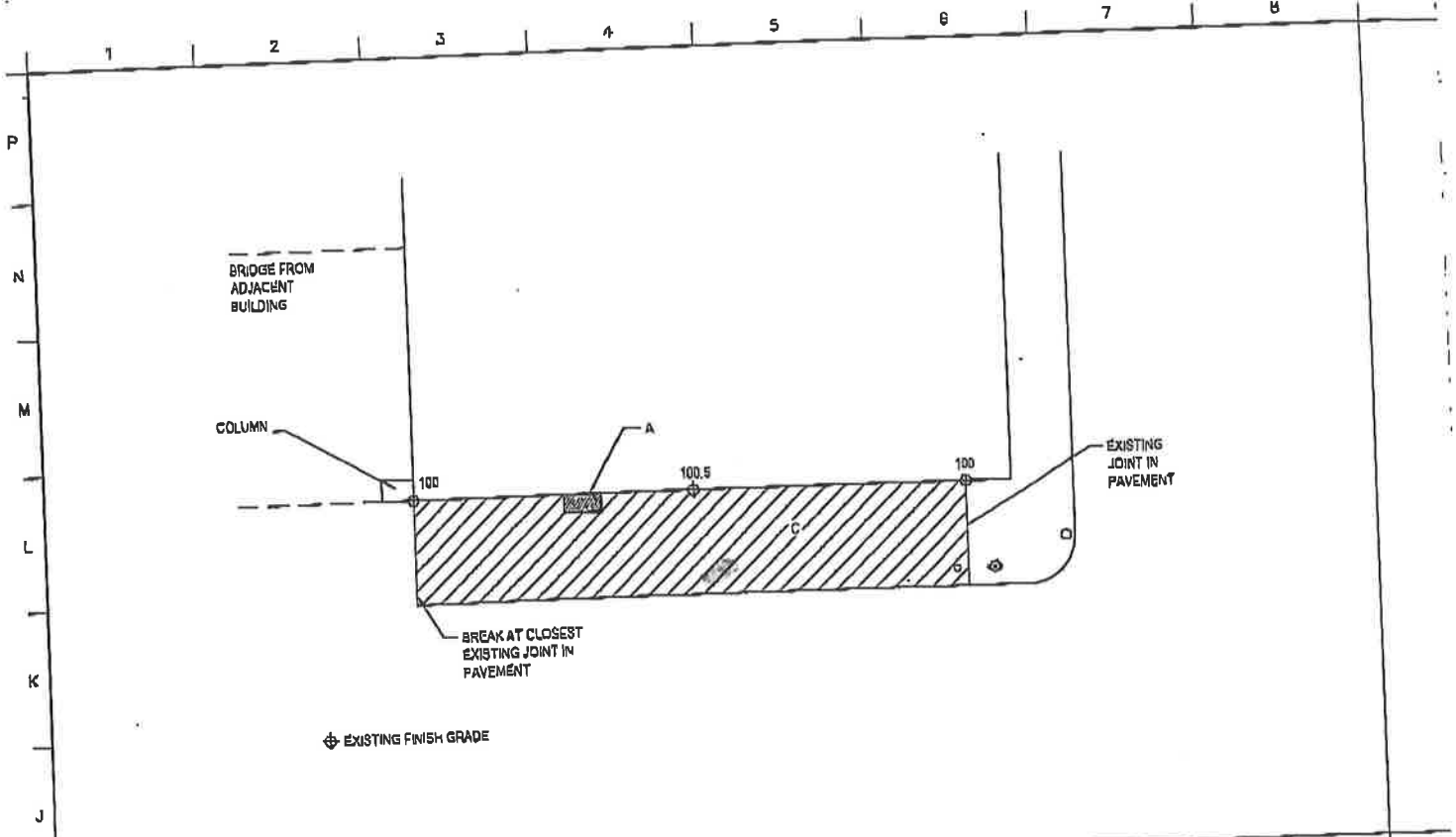
.DING.
VE.
SS IS

ENTRY BEARING WALLS.

TOTAL

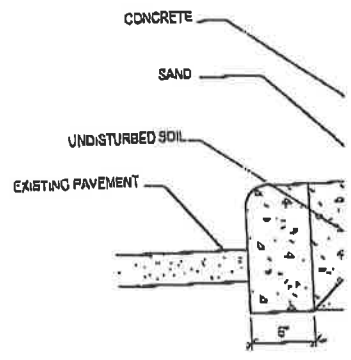
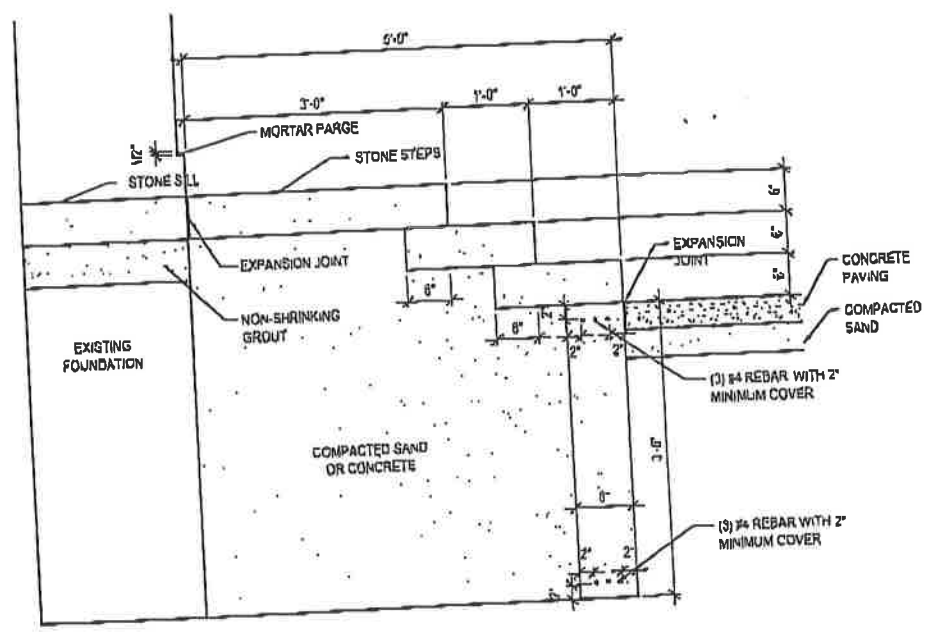


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H1 SITE DEMO

SCALE: 1/8" = 1' REFERRED FROM: File Name:



A1 ENTRY ELEVATION

SCALE: 1" = 1' REFERRED FROM: File Name:

A7 CONCRETE P.

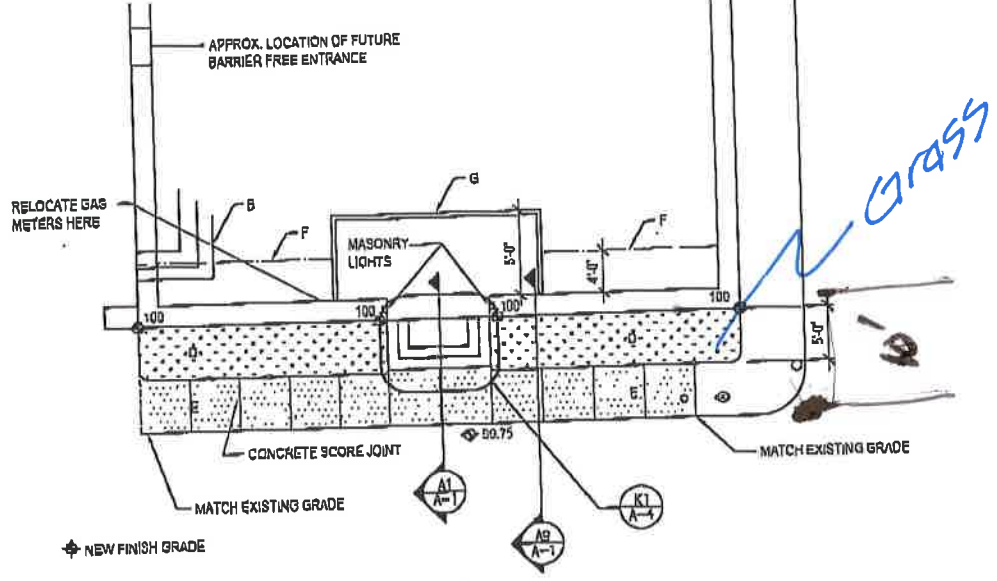
SCALE 1-1/2" = 1' REFERRED

10 11 12 13 14 15 16



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FORD PIQUETTE
MODEL T PLANT
FACADE
RESTORATION

DETROIT, MI
QEIA No 05113.00

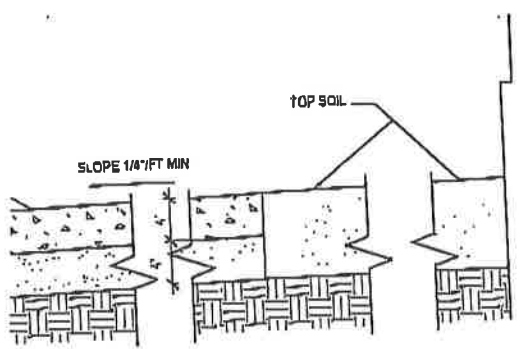
SITE RESTORATION

SCALE: 1/8" = 1' REFERRED FROM: File Name

KEYED NOTES

- A. RELOCATE GAS METERS TO WEST SIDE OF BUILDING. COORDINATE WORK WITH MICHIGAN CONSOLIDATED GAS COMPANY.
- B. CONNECT SIX NEW GAS SERVICE LINES TO EXISTING GAS LINES AT A POINT ABOVE THE EXISTING DROPPED CEILING AT THE FIRST FLOOR. REPLICATE EXISTING CONNECTIONS TO METERS. REMOVE ABANDONED GAS PIPING FROM POINT OF NEW CONNECTION TO FRONT OF FACADE. FIELD VERIFY ALL EXISTING CONDITIONS. ALL WORK TO MEET REQUIREMENTS OF MICHIGAN CONSOLIDATED GAS COMPANY AND THE STATE OF MICHIGAN.
- C. REMOVE PAVING AND SUBSOIL TO 8" BELOW FINISH GRADE.
- D. PROVIDE NEW TOP SOIL AND GRASS SEEDING.
- E. PROVIDE NEW BASE COURSE AND PAVING.
- F. REMOVE AND REPLACE DROPPED CEILING AS NEEDED.
- G. 2x4 AND PLYWOOD TENANT PROTECTION WALL TO UNDERSIDE OF 2ND FLOOR. RESTORE DROPPED CEILING UPON COMPLETION.

SITE PLAN & ENTRY RE-CONSTRUCTION



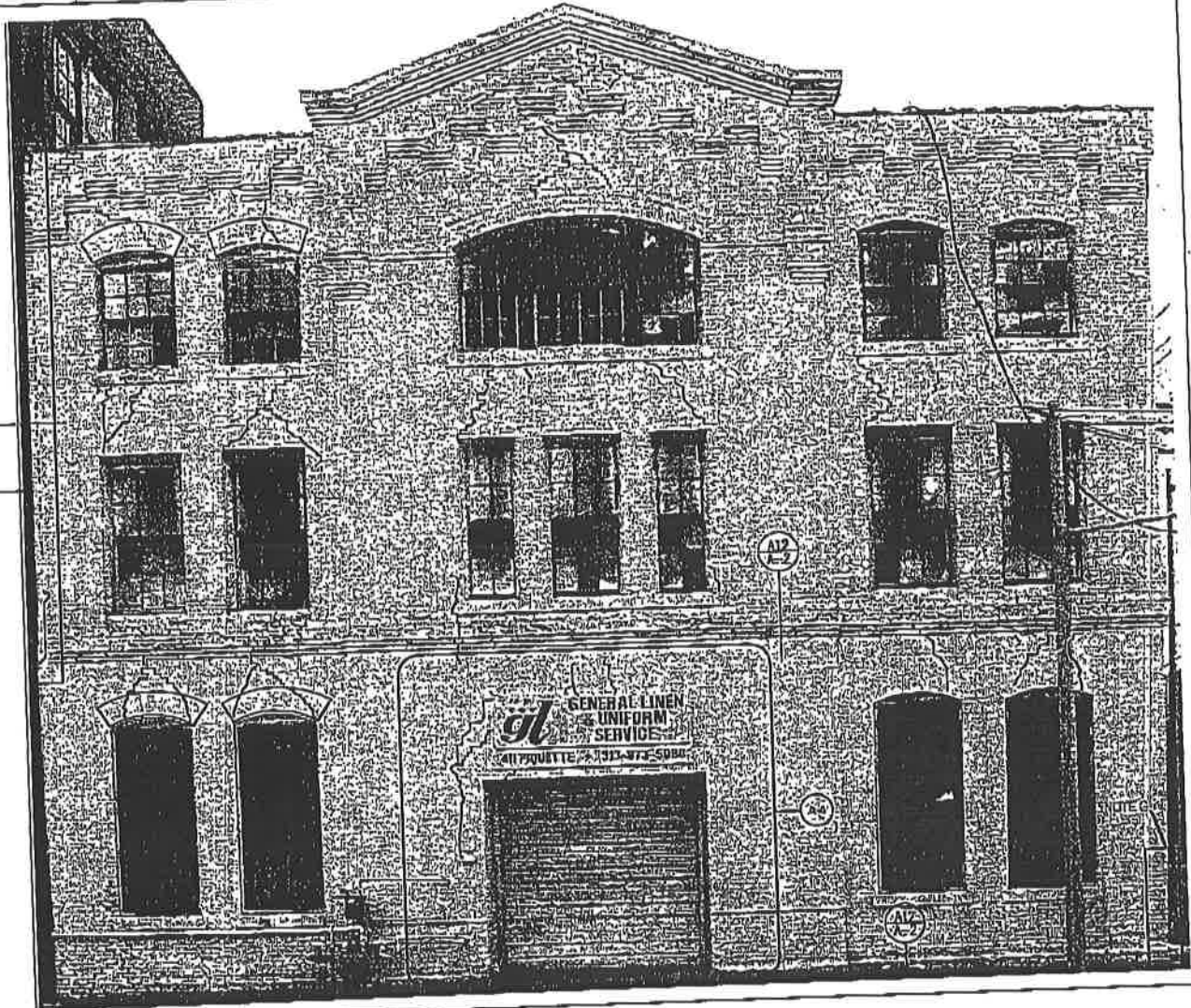
NO.	TITLE	DATE
1	REVIEW SET	02/02/05
2	CONSTRUCTION	03/16/05

FILE NAME: 7-1

A-1

T DETAIL

10 11 12 13 14 15 16



F1 EXTERIOR MASONRY CRACKS

1/4" = 1' REFERRED FROM: File Name:

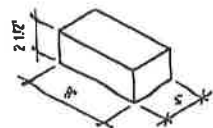
GENERAL NOTES:

- A. REMOVE PAINT FROM MASONRY AND STEEL UNTELS (AT SECOND FLOOR WINDOWS)
- B. RECONSTRUCT ORIGINAL ENTRY DOOR AND ADJACENT WINDOWS AS SHOWN ON SHEET A-4
- C. RECONSTRUCT MASONRY ARCHES TO MATCH THE ORIGINAL ABOVE WINDOWS A-1, A-1, F-1, AND F-2
- D. TUCK POINT MASONRY JOINTS AND CRACKS
- E. REPLACE ALL BRICKS WITH ERODED SURFACES. NOTE CONCENTRATION OF SUCH BRICKS AT PARAPET, AT SECOND FLOOR BELT COURSE AND BELOW WATER TABLE. INCLUDE REPLACEMENT OF DAMAGED AND ERODED BRICK IN AREA THAT WILL BE EXPOSED WHEN GRADE IN FRONT OF BUILDING IS LOWERED.
- F. REPLACE BRICK WITH HOLES IN THEM AT EXISTING GAS SERVICE.
- G. REPLACE ERODED BRICKS AT SOUTHEAST CORNER OF BUILDING.
- H. REPLACE FACE BRICK WHERE BRIDGE FROM ADJACENT BUILDING ABUTS THIS BUILDING. PROVIDE EXPANSION JOINT PER DETAIL A4
- I. PROVIDE MORTAR PARING AT WATER COURSE AND BELT COURSE PER DETAIL A12
- J. REMOVE ROOFING FROM BACK SIDE OF PARAPET. LEAVE ROOFING FROM BELOW FIRST MORTAR JOINT THAT IS 8" OR MORE ABOVE THE SURFACE OF THE ADJACENT FLAT ROOF. INSTALL FLASHING PER DETAIL A14
- K. REPAIR MASONRY AS NEEDED AT BACK FACE OF PARAPET. ASSUME 100% REPLACEMENT OF BRICK FROM LINE OF FLASHING TO TOP OF PARAPET.
- L. INSTALL FLASHING AT BACK FACE OF PARAPET PER DETAIL A14

PHOTO NOTE:

PHOTO ILLUSTRATIONS ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL CHECK CONDITION OF BUILDING IN FIELD. BIDS SHALL INCLUDE TUCKPOINTING OF ALL JOINTS THAT ARE ERODED OVER 1/8" BEHIND THE FACE OF THE BRICK, TUCKPOINTING OF ALL CRACKS, REPLACING ALL ERODED BRICK AND REPLACING ALL BRICKS WITH HOLES IN THEM.

**BRICK SIZE:
VERIFY IN FIELD**

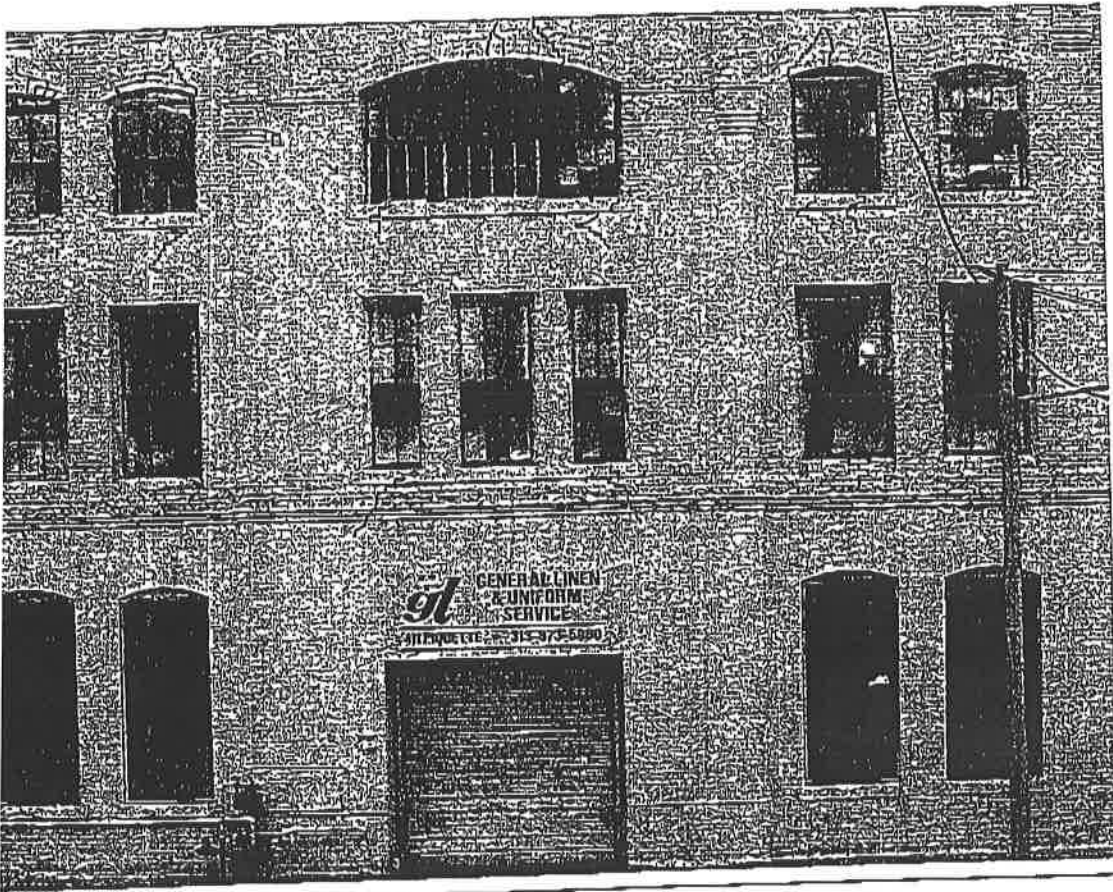


SCALE: 1-1/2" = 1'



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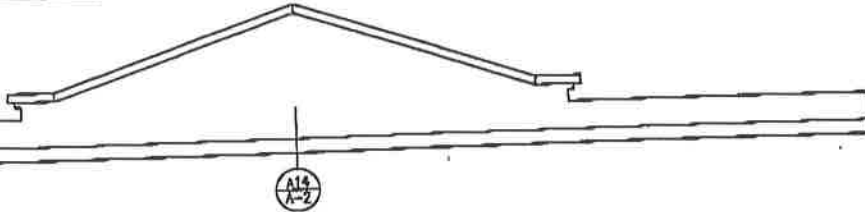
**FORD
PIQUETTE**
MODEL T PLANT
FACADE
RESTORATION

DETROIT, MI
QE|A No. 05113.00;

**MASONRY
RESTORATION**

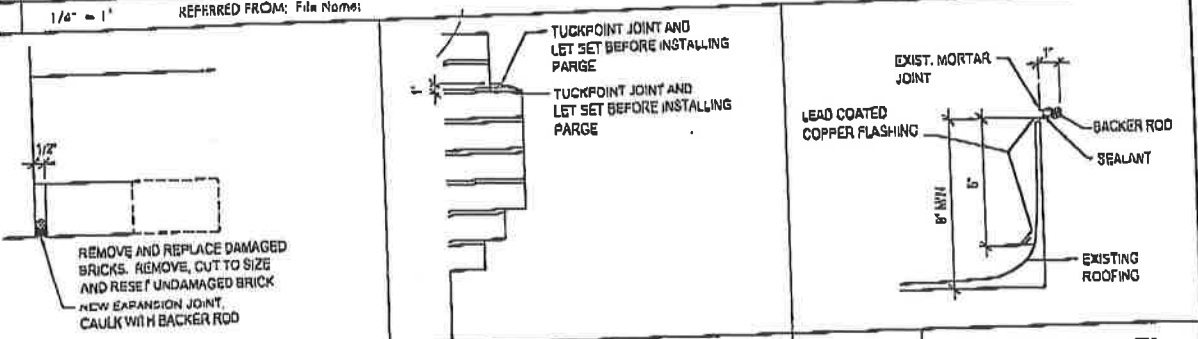
X-RAY VIEW OF INTERIOR CRACKS SHOWN ON EXTERIOR

1/4" = 1' REFERRED FROM: File Name:



BACK FACE OF PARAPET

1/4" = 1' REFERRED FROM: File Name:



NO.	TITLE	DATE
1	REVIEW SET	02/10/05
2	CONSTRUCTION	03/16/05

FILE NAME: A-2

A-2

BRICK REPLACEMENT

A12

PARGE DETAIL

A14

FLASHING DTL.

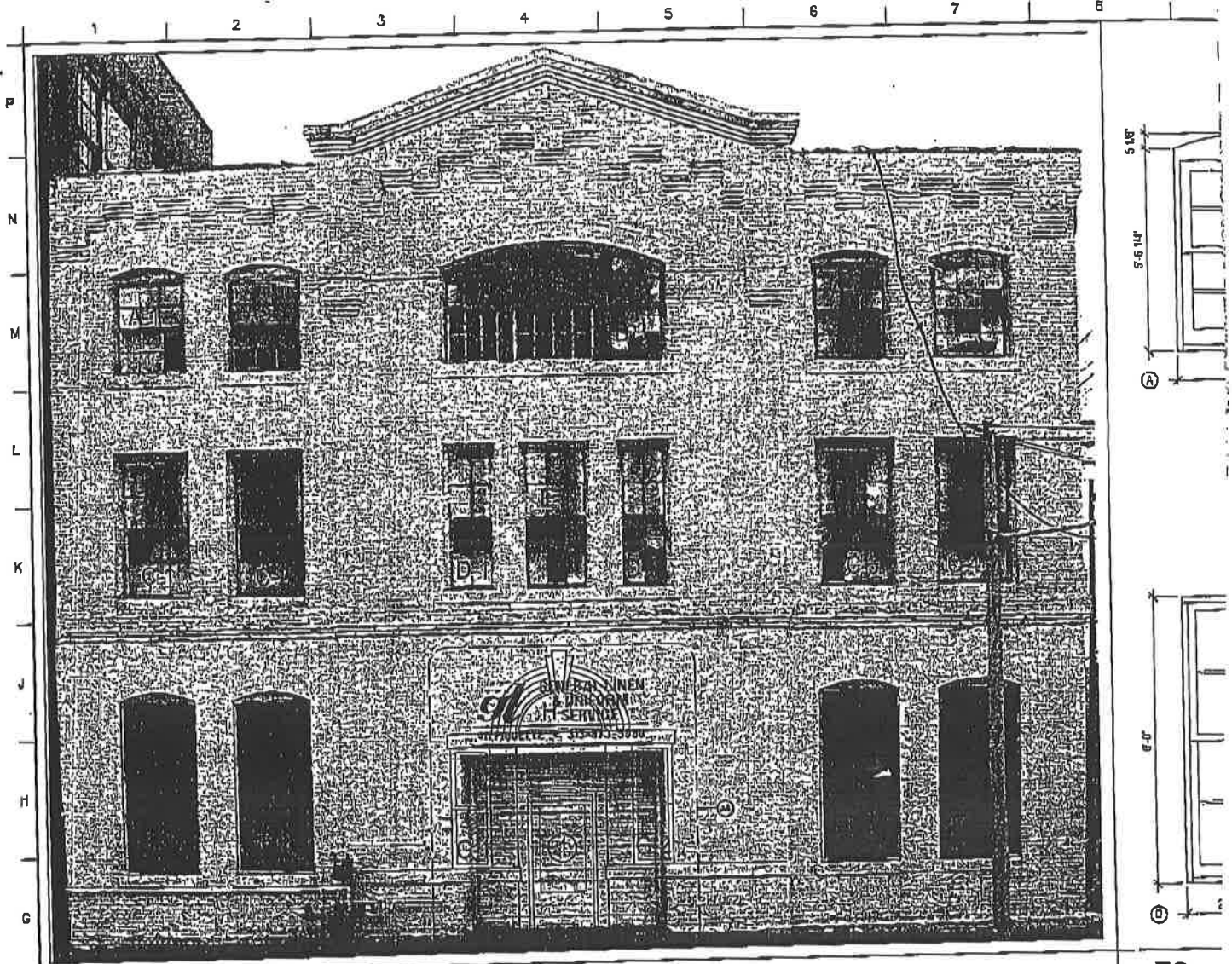
3" = 1' REFERRED FROM: File Name:

A-2

1-1/2" = 1' REFERRED FROM:

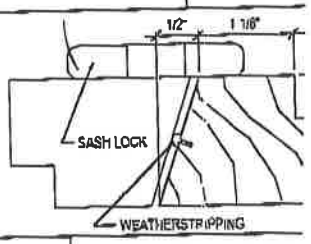
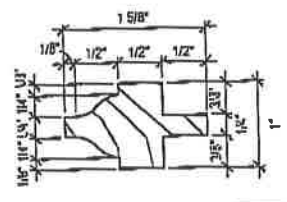
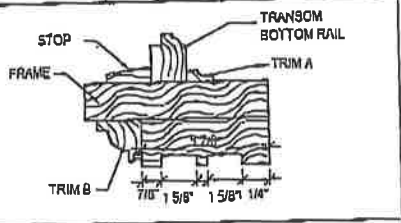
A-2

1-1/2" = 1' REFERRED FROM:



F1 WINDOW KEY

A-3 SCALE: 1/4"=1' REFERRED FROM:

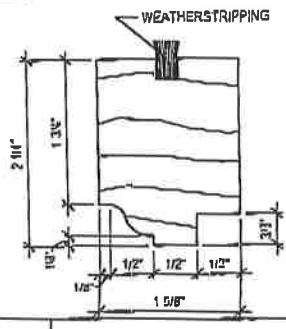


F8

A-3

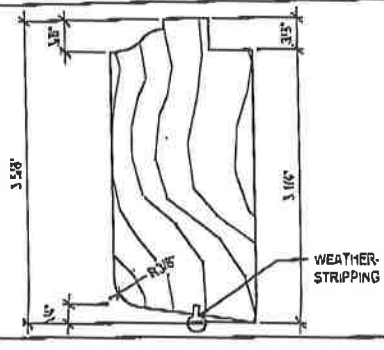
D1 TRANSOM BAR

A-3 SCALE: 3/4"=1' REFERRED FROM:



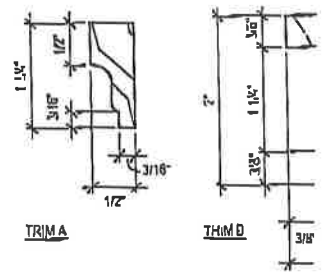
D3 MUNTIN

A-3 FULL SCALE REFERRED FROM:



D7 MEETING RAIL

A-3 FULL SCALE REFERRED FROM:



A1 SIDE/TOP RAILS

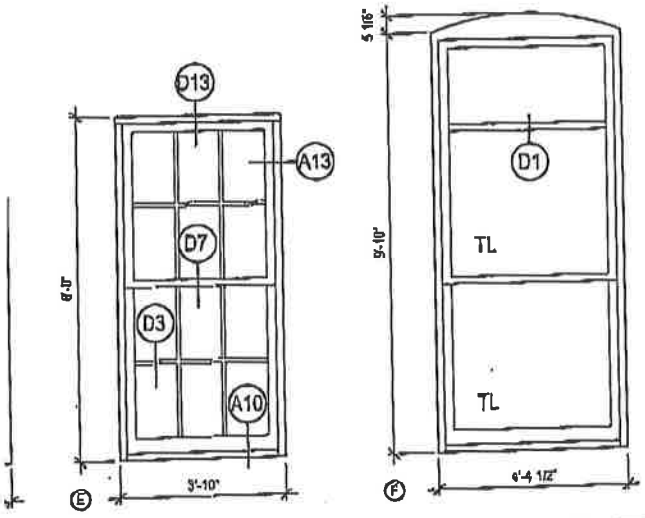
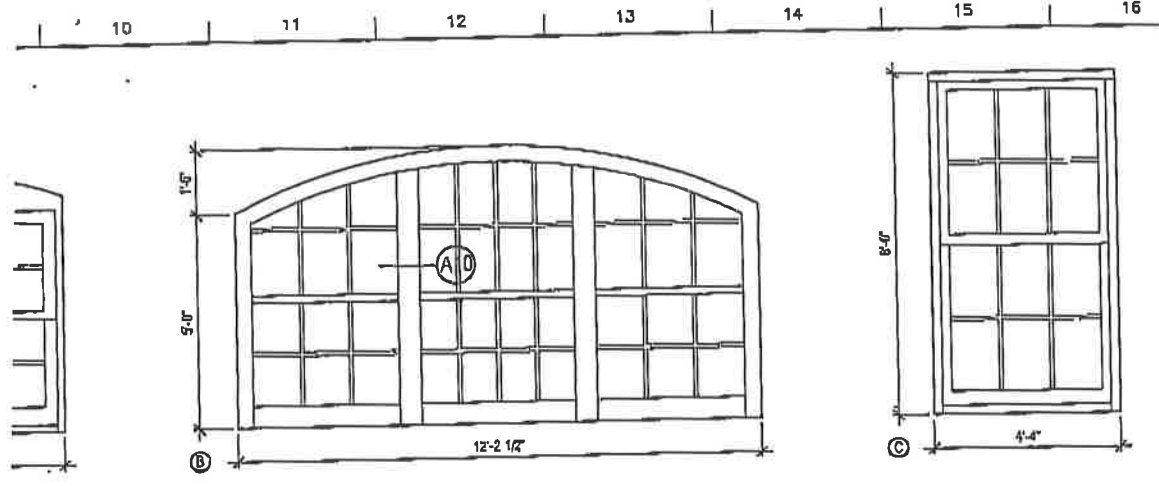
A-3 FULL SCALE REFERRED FROM:

A3 BOTTOM RAIL/BOTTOM SASH

A-3 FULL SCALE REFERRED FROM:

A7 TRIM DETAILS

A-3 FULL SCALE REFERRED FROM:



GENERAL NOTES

- A. RESTORE ALL EXISTING WINDOWS.
- B. ROUT SASH AND PROVIDE NEW WEATHERSTRIPPING AT ALL WINDOWS.
- C. PROVIDE SASH LOCKS AT ALL DOUBLE HUNG WINDOWS.
- D. PROVIDE NEW SASH TO MATCH EXISTING SASH AT WINDOWS F-3 AND F-4. RETURN EXISTING SASH TO OWNER.
- E. REMOVE AND REINSTALL EXISTING WINDOWS A-1, A-2, F-1, AND F-2 AS NEEDED TO ACCOMMODATE MASONRY ARCH RECONSTRUCTION. REUSE EXISTING MATERIALS TO GREATEST EXTENT FEASIBLE.
- F. PRIME AND PAINT INTERIOR AND EXTERIOR OF ALL WINDOWS. BACK PRIME ALL NEW ELEMENTS.
- G. SEE SHEET A-4 FOR RECONSTRUCTION OF FRONT ENTRY WITH SIDE WINDOWS.
- H. CAULK EXTERIOR PERIMETER OF WINDOWS AT JOINTS BETWEEN TRIM AND MASONRY. REMOVE TRIM B, ROUT AND REINSTALL, THEN CAULK.
- I. REMOVE, PREP AND PAINT, AND REINSTALL SECURITY SCREENS AT F-1, F-2, F-3, AND F-4.



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FORD PIQUETTE

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FACADE
RESTORATION

DETROIT, MI
GEJA No. 05113.00.

WINDOW RESTORATION

WINDOW ELEVATIONS ALL DETAILS ARE TYPICAL

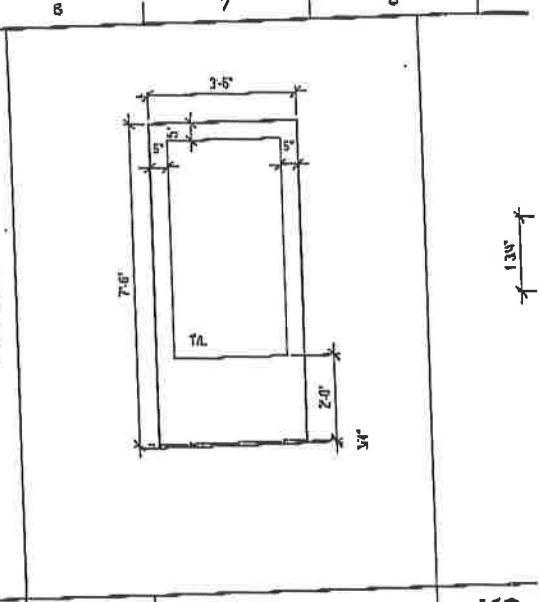
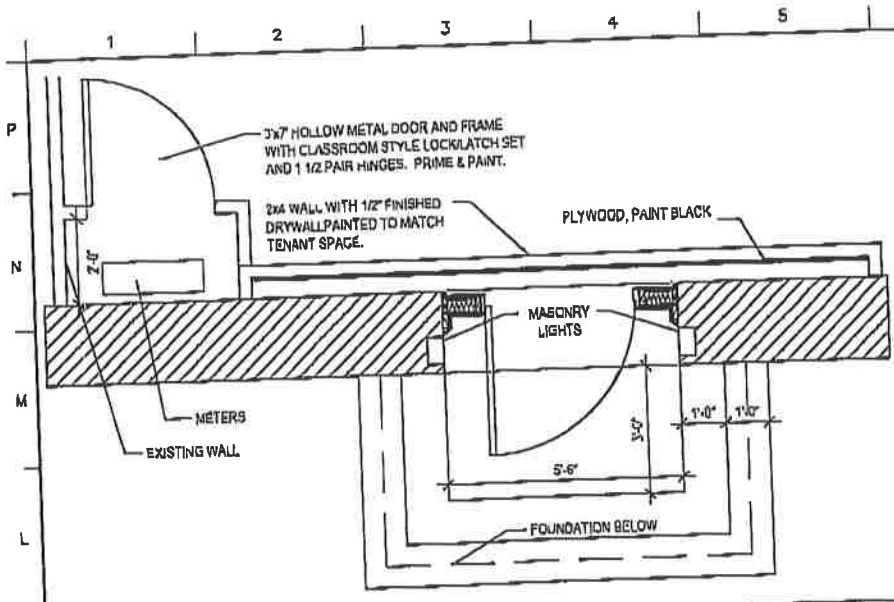
1/2"=1' REFERRED FROM: File Name:

<p>D10 SILL DETAIL</p> <p>A-3 SCALE: 3"=1' REFERRED FROM:</p>	<p>D13 HEAD @ ARCHED TOP</p> <p>A-3 SCALE: 3"=1' REFERRED FROM:</p>
<p>A10 MULLION AT 3RD FLOOR</p> <p>A-3 SCALE: 3"=1' REFERRED FROM:</p>	<p>A13 WINDOW JAMB</p> <p>A-3 SCALE: 3"=1' REFERRED FROM:</p>

NO.	TITLE	DATE
1	REVIEW SET	02/02/05
2	CONSTRUCTION	03/16/05

FILE NAME: FORD.MXD

A-3

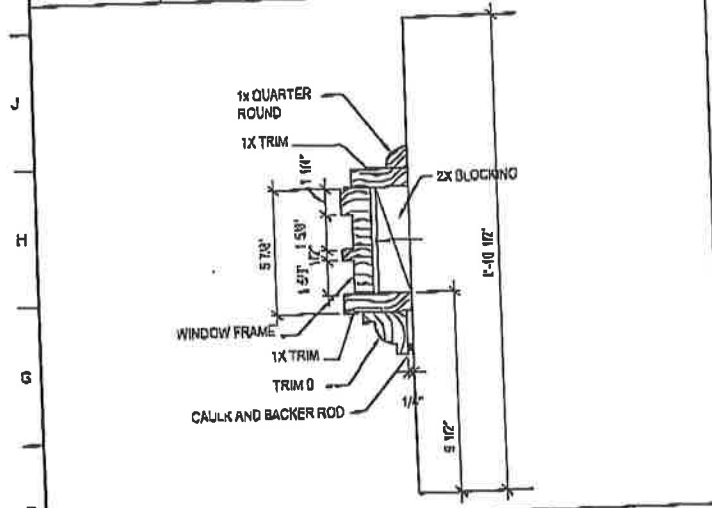


K1 ENTRY PLAN

SCALE: 1/2" = 1'-0" REFERRED FROM: File Name.

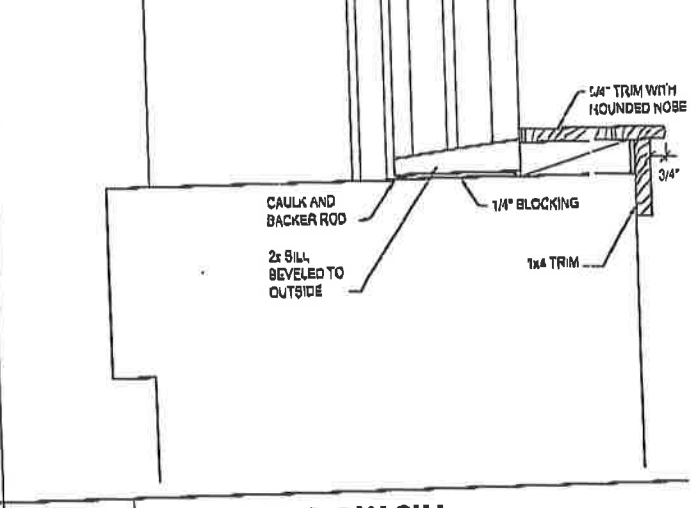
K6 DOOR ELEVATION K8

SCALE: 1/2" = 1'-0" REFERRED FROM:



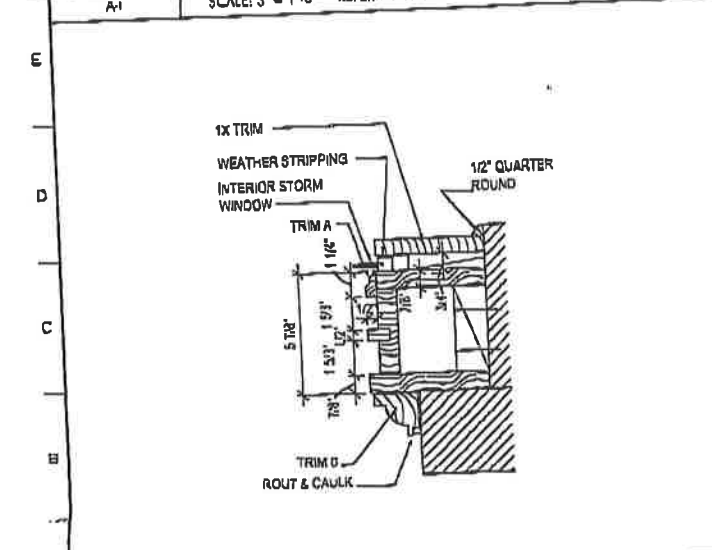
F1 NEW WINDOW HEAD/JAMB

SCALE: 3/4" = 1'-0" REFERRED FROM:



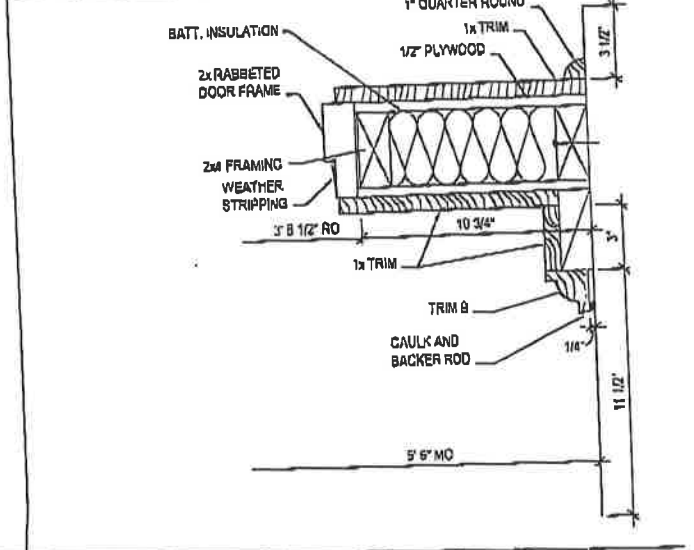
F5 NEW WINDOW SILL

SCALE: 3/4" = 1'-0" REFERRED FROM:



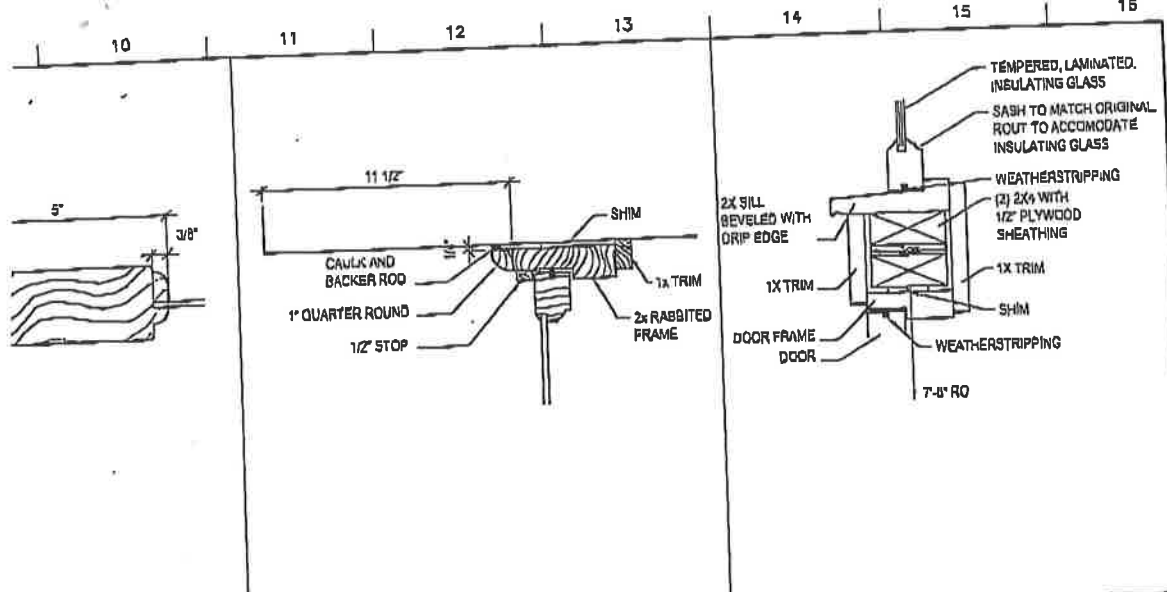
A1 INTERIOR STORM JAMB

SCALE: 3/4" = 1'-0" REFERRED FROM: File Name:



A5 DOOR JAMB

SCALE: 3/4" = 1'-0" REFERRED FROM: File Name:

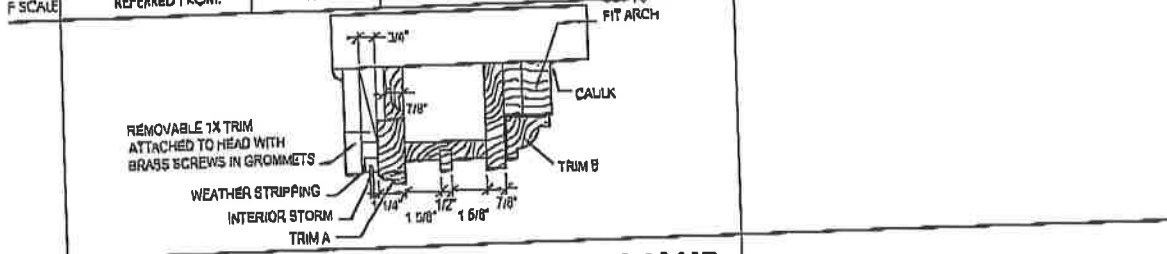




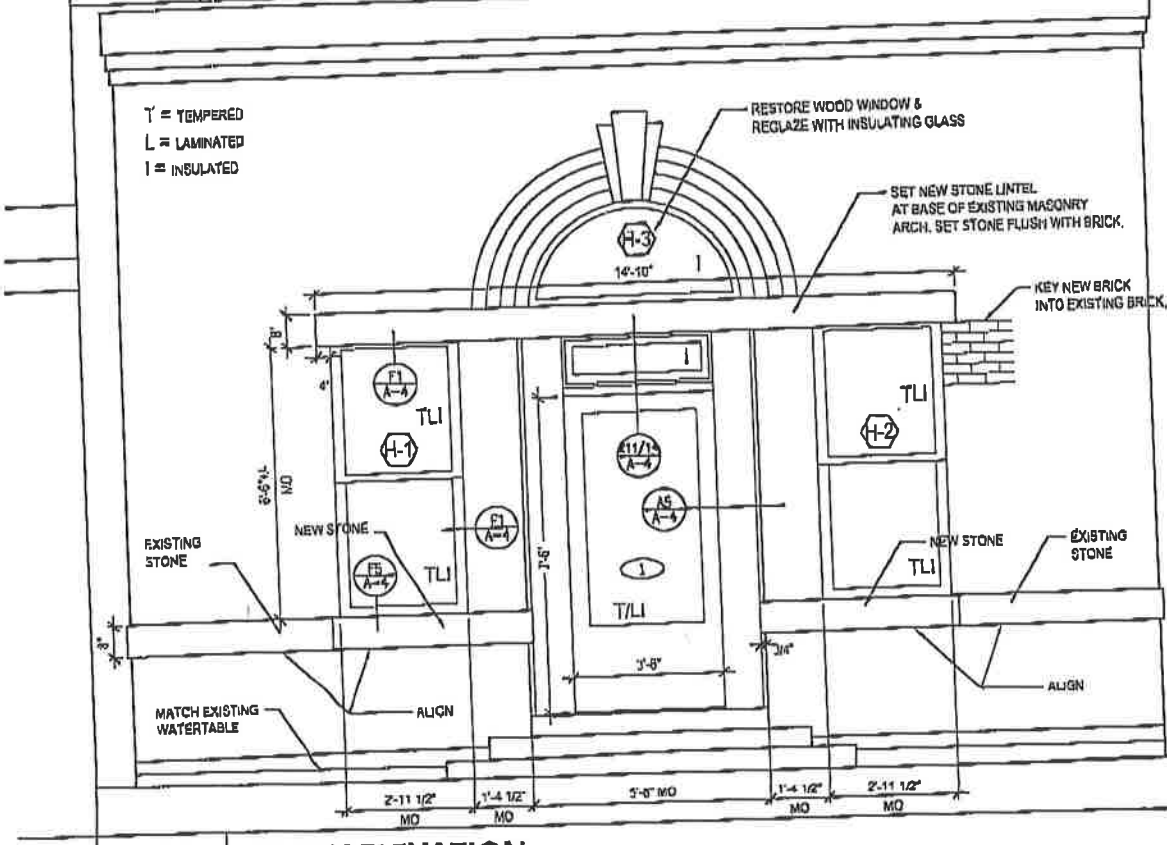


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DOOR STILE/RAIL **K11** **TRANSOM HEAD** **K14** **TRANSOM RAIL**
 REFERRED FROM: A4 SCALE: 3" = 1' REFERRED FROM: A4 SCALE: 3" = 1'-0" REFERRED FROM:



H10 **INTERIOR WINDOW STORM JAMB**
 A4 SCALE: 3" = 1'-0" REFERRED FROM:



A10 **ENTRY ELEVATION**
 SCALE: 1/2" = 1'-0" REFERRED FROM: File Name:

FORD
PIQUETTE
 MODEL PLANT
 FACADE
 RESTORATION

 DETROIT, MI
 02 | A No. 03 | 13.00

ENTRY
RE-
CONSTRUCTION

NO.	TITLE	DATE
1	REVIEW SET	01/02/15
2	CONSTRUCTION	01/16/15

FILE NAME: File Name

A-4